

Planning Applications Committee
2 April 2009

Agenda Number:	C1
Section/Area:	INNER
Ward:	MANCROFT
Officer:	Rob Parkinson
Valid Date:	28th February 2009
Application Number:	09/00123/F
Site Address :	Stones Bistro Ground Floor 68 London Street Norwich NR2 1JT
Proposal:	Retrospective application for the construction of a new fire escape serving the existing smoking shelter/roof terrace.
Applicant:	Havana Bar
Agent:	Paul Abbott

THE SITE

The site is that of the ex-Stones Bistro, now the Havana Bar at 68 London Street, known as London House. This is a retrospective planning application concerning the rear of the ground floor unit, situated in a courtyard accessed from street level at the pedestrianised area to the north of London Street.

PLANNING HISTORY

08/00440/U - Change Of Use From Restaurant (Class A3) To Bar (Class A4) At Former Stones Restaurant (Approved 26.6.08).

08/01095/F - Creation Of New Smoking Shelter On First Floor Roof Terrace (Approved 28.11.08).

THE PROPOSAL

This is a retrospective application seeking authorised use of a new fire escape serving the established first-floor external smoking shelter/roof terrace. This is a new fire exit route to serve the recently-approved smoking shelter and roof terrace of the Havana Bar (application ref 08/01095/F) as is required by Building Regulations.

CONSULTATIONS

Advertised in the press and neighbours notified. No representations have been received as yet, but the public consultation period ends on 1st April 2009. Any representations made since the publication of the Committee Report will be updated to Members verbally.

PLANNING CONSIDERATIONS

HBE8 - Development within a Conservation Area.

HBE12 – High quality of design.

HBE19 – Design for safety and security including minimising crime.

Issues:

The proposal is within the City Centre Leisure Area Late Night Activities Zone and is considered an acceptable addition to the permitted use of the premises that are appropriate to this area.

The facility is located to the rear of the property and is not publically accessible except through the premises themselves. The entrance hall to the building is shared by other users of London House, and is the only means of access and egress to the application site. As such, the fire escape is necessary to allow access from the roof terrace, across the roof of the adjacent hairdressers, to connect to the existing stairwell within London House and provide a route back onto London Street.

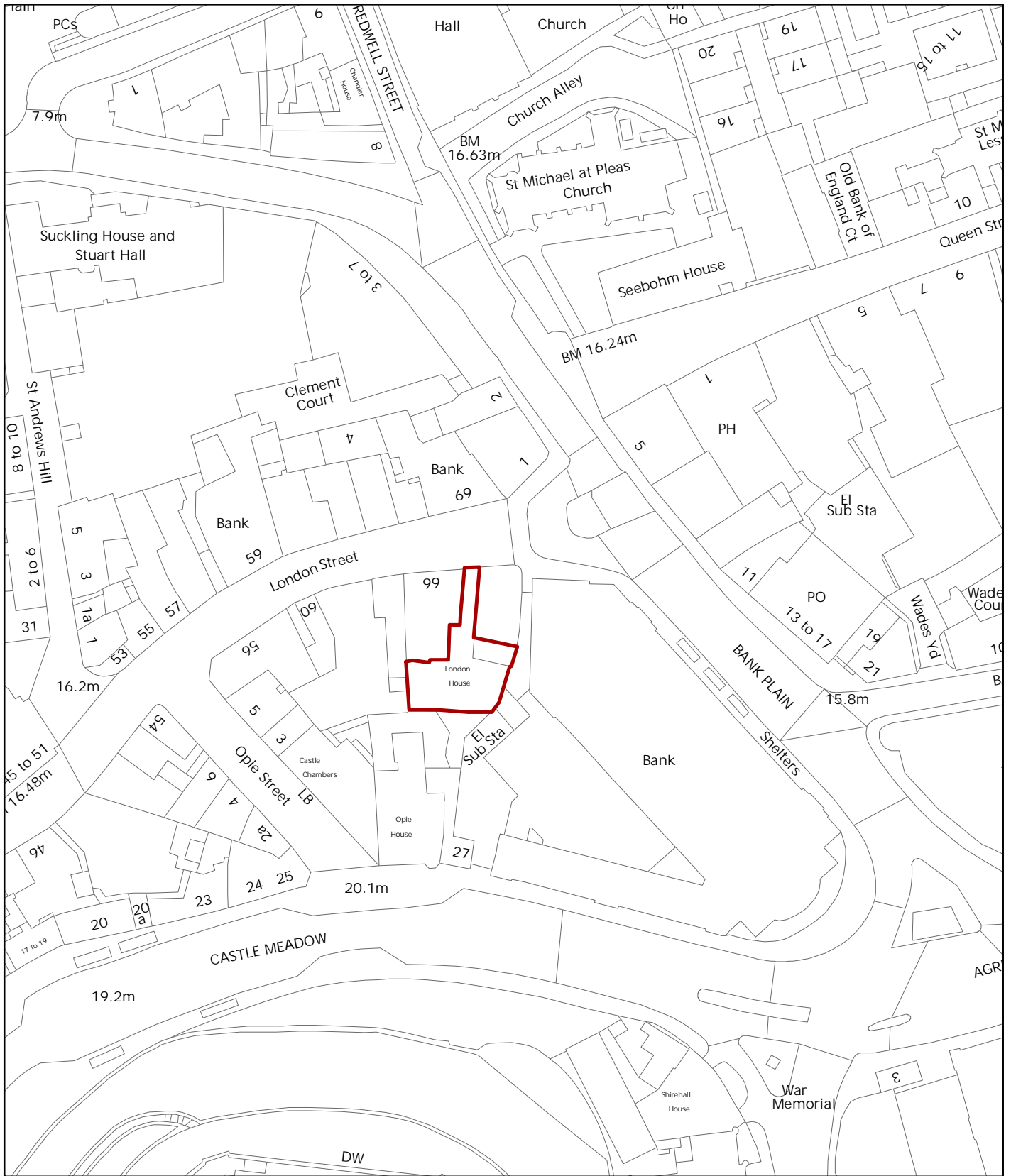
The construction provides a new timber decking walkway from the first floor roof terrace and a small external lobby connected to the existing stairwell, providing an enclosure for the fire escape door to open in the direction of escape only, without causing disruption to the existing staircase. The works are considered to be sympathetic to the existing London House and adjoining buildings by using a shallow pitched lead roof and rendered external wall. As a safety measure, an oak panelled fence has been used to enclose the fire escape route from the smoking shelter / roof terrace, to prevent anyone falling onto the existing glazed rooflight over the hairdressers. The works are all at the rear of the building and are considered to have had no detrimental impact on the City Centre Conservation Area.

No residential uses are evident nearby so there are no amenity concerns that are considered relevant to this particular development. Although the property is adjacent to established business uses (a recruitment agency, hairdressers and betting shop), any concerns for amenity arising from the hours of use of the premises should be addressed through licensing and Environmental Health noise mitigation measures. Retrospective restrictions are not possible in this instance. Environmental Health have considered this proposal and consider it to be appropriate.

RECOMMENDATIONS

APPROVE PLANNING PERMISSION on the following grounds:

The development provides a necessary safety measure to ensure the continued use of the permitted and established use of the premises, and avoids detrimental impact on the character of the City Centre Conservation Area in accordance with City of Norwich Replacement Local Plan (Adopted 2004) policy HBE8.



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Site Address - Stones Bistro, Ground Floor, 68 London Street
Scale - 1:1,250



NORWICH
City Council

DIRECTORATE OF REGENERATION
AND DEVELOPMENT

