

Report to Planning applications committee
Date 12 September 2013
Report of Head of planning services
Subject 13/01152/F & 13/01153/L - Hellesdon House 28 Hellesdon
Mill Lane Norwich NR6 5AY

Item
5(1)

SUMMARY

Description:	Extension and alteration of water tower and associated buildings to convert to 1 No. five bedroom dwelling; alteration of stable attached to main house to convert to 1 No. two bedroom dwelling and; erection of 1 No. five bedroom two storey dwelling within curtilage of Hellesdon House adjacent to 18 Hellesdon Mill Lane (revised design).
Reason for consideration at Committee:	Objection
Recommendation:	Approve both applications
Ward:	Wensum
Contact Officer:	Jo Hobbs Planner 01603 212526
Valid Date:	19th July 2013
Applicant:	
Agent:	Mr Kevin Cole

INTRODUCTION

The Site

Location and Context

1. The site is located in Hellesdon to the north west of the city, near to the River Wensum. To the west of the site is the river Wensum, Hellesdon Mill to the north. The surrounding areas to the north, east and south of the site are predominantly residential.
2. The site is within the Hellesdon Conservation Area, with the main building of Hellesdon House forming a Grade II listed building. Within the site is the main house with attached stables, a separate water tower with stables and other minor structures around the garden including a water fountain, grotto, former kennel enclosure and landscaped gardens. The site is around 0.98ha in size.
3. The site has mature vegetation and trees across the site and the site is subject to a Tree Protection Order (TPO.35). The site has recently been re-landscaped in consultation with the council's tree officer.
4. Part of the site is also within flood zone 2 and 3, as the land slopes down significantly from the east to the west as the river is to the west of the site. This change in land level also leads to the residential dwellings to the east of the site being at a significantly higher land level than the main house and water tower. The site is also within the outer area of the Health and Safety Executive consultation zone for Bayer Crop Science.

Planning History

5. There is no relevant planning history to the proposed development. There are according to council tax records three residential units on site. The main dwelling and two dwellings forming The Coach House and The Carriages, which form flats in the main building.

Equality and Diversity Issues

6. There are no significant equality or diversity issues.

The Proposal

7. The application is for the conversion of the water tower to a separate dwelling, conversion of the ground floor stables on the main house to a separate flat and construction of a new dwelling to the south of the site.

Representations Received

8. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. Three letters of support and two letters of objection have been received. The letters of objection cite the issues as summarised in the table below.

9. Letters of support:

Issues Raised	Response
Good to see historic building being brought back to a good state of repair	Noted
General support for proposals	Noted
New dwelling to south of site will have no adverse impact on adjacent 18 Hellesdon Mill Lane	Paragraphs 24-27

10. Letter of representation:

Issues Raised	Response
Traffic, parking and accessibility concerns – alternative exit proposed	Paragraphs 41-48
Loss of trees	Paragraphs 55-57
Emergency vehicle access	Paragraphs 60-62
Disturbance from construction traffic	As above
Unstable land	As above
Sewer connections	As above

Consultation Responses

11. Historic Environment Service (Archaeology) – no objections.
12. Local Highway Authority – no objections subject to conditions.
13. Natural Areas Officer – no objections subject to mitigation measures.
14. Norwich Society – support sensitive development of water tower and stables.

15. Health and Safety Executive – does not advise against the development.

ASSESSMENT OF PLANNING CONSIDERATIONS

Relevant Planning Policies

National Planning Policy Framework:

Statement 4 – Promoting sustainable transport

Statement 6 – Delivering a wide choice of high quality homes

Statement 7 – Requiring good design

Statement 10 – Meeting the challenge of climate change, flooding and coastal change

Statement 11 – Conserving and enhancing the natural environment

Statement 12 - Conserving and enhancing the historic environment

Relevant policies of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk 2011

Policy 1 – Addressing climate change and protecting environmental assets

Policy 2 – Promoting good design

Policy 3 – Energy and water

Policy 4 – Housing delivery

Policy 6 – Access and transportation

Policy 9 – Strategy for growth in the Norwich Policy Area

Policy 12 – Remainder of Norwich area

Policy 20 – Implementation

Relevant saved policies of the adopted City of Norwich Replacement Local Plan 2004

NE1 – Protection of environmental assets from inappropriate development

NE3 – Tree protection control of cutting, lopping etc.

NE8 – Management of features of wildlife importance and biodiversity

NE9 – Comprehensive landscaping scheme and tree planting

HBE4 – Other locations of archaeological interest

HBE8 – Development in Conservation Areas

HBE9 – Listed buildings and development affecting them

HBE12 – High quality of design

EP3 – Health and safety consultations

EP16 – Water conservation and sustainable drainage systems

EP18 – High standard of energy efficiency for new development

EP22 – High standard of amenity for residential occupiers

HOU13 – Proposals for new housing development on other sites

HOU15 – Conversion of vacant or underused parts of buildings

HOU18 – Conversion of larger properties to multiple occupation

TRA3 – Modal shift measures in support of NATS

TRA5 – Approach to design for vehicle movements and special needs

TRA6 – Parking standards – maxima

TRA7 – Cycle parking provision

TRA8 – Servicing provision

Supplementary Planning Documents and Guidance

Trees and Development (Adopted September 2007)

Other Material Considerations

Written Ministerial Statement: Planning for Growth March 2011
The Localism Act 2011 – s143 Local Finance Considerations
Interim Statement on the off-site provision of affordable housing December 2011
Enabling development and conservation of significant places. English Heritage, 2008

Procedural Matters Relating to the Development Plan and the NPPF

The Joint Core Strategy and Replacement Local Plan (RLP) have been adopted since the introduction of the Planning and Compulsory Purchase Act in 2004. With regard to paragraphs 211 and 215-216 of the National Planning Policy Framework (NPPF), both sets of policies have been subjected to a test of compliance with the NPPF. Both the 2011 JCS policies and the 2004 RLP policies above are considered to be compliant with the NPPF. The Council has also reached submission stage of the emerging new Local Plan policies, and considers most of these to be wholly consistent with the NPPF. Where discrepancies or inconsistent policies relate to this application they are identified and discussed within the report; varying degrees of weight are apportioned as appropriate.

Emerging DM Policies

(Please note that these policies were submitted to the Planning Inspectorate on 17th April 2013. After this time some weight can be applied to these policies. Some policies subject to objections have not been included in this list as these issues are unlikely to be resolved within the time frame of the application, and therefore should not be given much weight.)

- DM1** - Achieving and delivering sustainable development
- DM2** - Ensuring satisfactory living and working conditions
- DM3** - Delivering high quality design
- DM6** - Protecting and enhancing the natural environment
- DM7** - Trees and development
- DM9** - Safeguarding Norwich's heritage
- DM11** - Protecting against environmental hazards
- DM12** - Ensuring well-planned housing development
- DM13** - Communal development and multiple occupation
- DM28** - Encouraging sustainable travel
- DM30** - Access and highway safety
- DM31** - Car parking and servicing

Principle of Development

Policy Considerations

16. The proposed development entails the creation of three new dwelling units within the existing curtilage of the listed building of Hellesdon Hall. Two of the dwellings, in the stables and water tower, would be adjacent to the listed building, whilst the third dwelling has intentionally been designed to relate more to the development to the south of the site rather than the main listed building.
17. The principle of additional residential units in this location is acceptable in principle, as the site is in an existing residential area which is served by some public transport routes, and makes efficient use of existing residential land.
18. The new dwelling would be on land currently used as garden land for Hellesdon House. The National Planning Policy Framework identifies such land to be greenfield land, which should preferably not be developed over brownfield land. In paragraph 55 of the NPPF however it is clearly stated that local planning authorities should set policies to protect garden land as they see fit. The council does not have such a policy and so an

assessment must be made on the suitability of the site for housing through other principles set out in the NPPF and local policy.

19. The site however is in a fairly accessible location, well within the urban area and in an area of existing housing. Therefore the principle of the development on the site is considered to be acceptable subject to meeting the requirements of other development plan policy.
20. The key considerations for the proposed development are affordable housing, residential amenity of existing and future residents, design and impact on heritage assets, access and transport considerations, flood risk, archaeology, water conservation, impact on trees, landscaping and local finance considerations.

Housing Proposals

Affordable Housing

21. The number of dwellings proposed is under the threshold of 5 dwellings which requirement affordable housing, but as the site is over 0.6ha policy 4 of the Joint Core Strategy requires 33% of dwellings provided on site to be affordable.
22. The policy requirement has been considered in terms of this application and what the application aims to achieve. The development of the new dwelling aims to increase the land value to enable monies to be raised to repair and refurbish the water tower. In this instance the uplift in value of the land would be put towards heritage interest rather than the social interests of affordable housing. In this instance it is considered acceptable that no affordable housing is provided on the site.

Density of development

23. The density of development is considered to be acceptable as the site is set within sufficient grounds for future residents to have amenity space and space for parking, refuse storage and cycle storage. The development therefore would not have an adverse impact on the surrounding area.

Impact on Living Conditions

Existing residents

24. The converted stables and water tower would be at sufficient distance to surrounding neighbouring dwellings. There would not be any loss of amenity from these proposed dwellings. The existing flats on site would experience more residential use on the site, but there is sufficient space on site and distance between residential windows for no loss of amenity. The water tower would have two windows on upper floors facing east. Due to significant changes in land levels, a distance of over 25m and there only being garages and forecourts directly to the east of the site, it is not considered necessary to require obscure glazing on these windows.
25. The new dwelling would be closer to existing development, in particular 18 Hellesdon Mill Lane. The proposed dwelling would be to the north of the existing dwellings, which would prevent there being any loss of daylight or direct sunlight. The existing mature trees around the site screen the development to some degree.
26. The new dwelling has been designed to only have rooflights at a higher level looking towards the dwelling to the south. Overlooking has been reduced to an acceptable level. There is one first floor side window on the neighbouring dwelling, but this is only a side window and at sufficient distance from the neighbouring dwelling to not have an adverse impact on the outlook of neighbouring residents.

27. Given that the existing use of the land is residential garden and curtilage there is a certain amount of noise from the residential use. The proposed development would increase the level of residential use which could increase the noise. However, given the density of the overall development and size of the site it is not considered to lead to a loss of amenity to any surrounding neighbours.

Future residents of site

28. The proposed dwellings would have sufficient amenity space to provide a good standard of amenity. Residents of the water tower and stables would have access to the gardens of the main house. The new dwelling would have a good sized garden surrounding the site.
29. The residents of the water tower and new dwellings would receive good levels of outlook and privacy. The converted stables would have a good level of privacy, although the outlook would be slightly reduced by the high windows on the stables. The floor level has been increased, partly to preserve the brick flooring but also to provide better views out of the windows. Given the small nature of the unit and the good sized windows provided the outlook is considered to be sufficient.

Design

New dwelling

30. The new dwelling is located in the southern most corner of the site, at some distance and visual detachment from the main house. There are mature trees around the site of the proposed new dwelling that would screen this development from the surrounding area to some degree.
31. In assessing whether it was acceptable to allow the subdivision of the curtilage of the listed building, the justification of the new dwelling was considered. The new dwelling was required to provide uplift in value of the land to enable funds to be raised to make much needed repairs to the water tower and stables. The water tower was previously covered in ivy for many years, which covered some significant structural weakening of the building. When the ivy was cleared a few years ago some significant cracks were uncovered on the water tower. The stables also have some areas of significant damage on the entrance porch. The aim of the current application is to ensure the listed structures on site are brought back into a good state of repair. The monies raised from the value of the new dwelling would enable the refurbishment of the water tower and stables to secure their long term retention.
32. To ensure the water tower is repaired and to ensure the justification for the new dwelling, a condition is recommended for the water tower to be refurbished prior to works commencing on the new dwelling to the south of the site.
33. The design of the new dwelling has been amended throughout the course of the application to ensure it is of an appropriate scale and that it does not link to the main house on site. The design, choice of brickwork and use of boundary treatment on site have all been selected to ensure the new dwelling remains as detached as possible from the existing house. A red brick has been chosen, whereas the main house has a white brick. Also a boundary fence and mature planting along the north boundary will provide a good visual break between the two areas of the site.

34. The design of the dwelling has been considered in the context of the surrounding conservation area. There are a variety of different architectural styles in the surrounding conservation area to the south of the site. Provided good quality materials are used, the proposed design is considered to be acceptable to the surrounding conservation area. A condition is recommended for external facing materials to be agreed.

Water tower

35. The proposals to the water tower entail conversion of the water tower and existing stables, with extension to the north east elevation, east elevation of the stables and to the south east of the tower. The alterations will not be highly visible when viewed from the main house as they are predominantly behind the existing built form of the water tower.

36. The proposed extensions to the stables retain the existing layout of the building to a large degree which is welcomed as the original character of the building is retained. The stable doors are also proposed to be retained internally to retain the original features where possible.

37. The proposed alterations and extensions to the existing water tower are therefore considered to be a sympathetic modification to the existing building that will preserve the building in the longer term.

Stables

38. The stables attached to the main house at ground floor currently form one open room with three horse stalls within. The building also has an open entrance porch which is in a poor state of repair currently with a tin roof.

39. The proposed conversion would create a two bedroom flat at the ground floor, retaining many of the original features of the stables. One partition would need to be removed, but the majority would be retained. The existing stable floor has exposed bricks which have been worn down from use over the years. It is proposed to cover the bricks at the entrance to the stables with a toughened glass to expose this feature still. The remaining floors will be covered with a suspended floor to retain the existing bricks in situ and to raise the level of the floor to enable views out of the raised windows. The ironwork fittings within the stables are to be retained as well.

40. The conversion of the stables are therefore considered to be a sensitive alterations to the existing building which retains the character of the original use, whilst providing a re-use that will ensure the longer term maintenance of the building.

Transport and Access

41. The addition of extra traffic to the road from the additional dwellings has been considered. The additional three dwellings being created would not lead to a level of traffic that would merit refusal of the application on this ground. The additional traffic would not lead to increased congestion, and if following the speed limits would not reduce highway safety. It is difficult to refuse the application on this basis as there would be such a small increase in number of cars using the road. A site layout plan has been submitted to show car parking, refuse storage and cycle storage locations.

42. An alternative vehicle exit has been identified for the new dwelling to the south of the site in a letter of representation. This would use the exit to the north west of the site near the main house. The issue with this arrangement would be a long driveway along the historic garden of the house and also a connection of the new house to the main house. This is not desirable in terms of the relationship of the listed building to the new dwelling. These need to be detached from each other to ensure the character of the listed building is retained.
43. The new access to the south west of the site onto Hellesdon Mill Lane is not considered to have a significant amount of traffic entering and exiting the site, and is therefore considered to be acceptable in terms of highway safety and access.

Refuse storage and collection

44. A joint refuse storage area is proposed adjacent to the north east entrance to the site. This would contain the refuse storage for the main house, stable and water tower. The communal refuse storage would be wheeled out to the highway on collection days.
45. A condition is recommended for the details of the refuse storage area, including screening materials to be put in place around the enclosure, to be agreed.

Car Parking

46. The site layout plan received indicates 8 defined parking spaces and two other areas for parking within the grounds of the listed building. These are mostly existing parking spaces with two new spaces formed adjacent to the north east entrance to the site. The maximum number of parking spaces for the dwellings in or near to the main house would be 7 under the local plan.
47. However, as these parking spaces already exist it is difficult to prevent parking. In any case, there is sufficient parking within the site to ensure no on-road parking is required. If residents chose to park on the road it is difficult to prevent this in the absence of parking restrictions. Parking restrictions through a Traffic Regulation Order would only be reasonable if there was no parking in the site leading to parking on roads surrounding the development.
48. An area of hardstanding is provided adjacent to the new dwelling to the south of the site. This has space for two cars within the maximum parking standards. Again, sufficient off-road space is provided.

Cycling Parking

49. Cycle parking spaces have been provided for the water tower and stables conversion. No cycle storage has been provided for the new dwelling but there is sufficient space around the grounds for a cycle storage shelter to be included. A condition is recommended for these details to be agreed.

Environmental Issues

Flood Risk

50. The site is partly within flood zone 3a and 3b. The new dwelling, stable and water tower are all within the lower risk flood zone 1, with the access to the north east of the site on higher ground. As the main access for the new dwelling is via the south west of the site which is in a higher risk flood zone, a flood evacuation plan enabling access

across the garden of the main house to the north east exit on higher ground. A pedestrian gate out of the site of the new dwelling is proposed. Conditions are recommended for the flood evacuation plan to be agreed and these details to be made available to future occupants of the new dwelling.

Archaeology

51. An archaeological investigation was carried out prior to the application being submitted. No artefacts were found and so no further investigation is required. A condition is recommended to require works to stop if any further archaeological items are found.

Water Conservation

52. Given the small number of dwellings proposed there would be no requirement for on-site renewable energy provision. The new dwellings would need to meet Code for Sustainable Homes level 4 for water usage. A condition should be applied to any consent to ensure as such.

Biodiversity

53. A protected species survey was carried out on the water tower but the building was found to have limited roosting niches indicating it to be less likely bats were present. A further survey is recommended to be conditioned to confirm the initial findings. The stables adjoining the main house are currently in use and the proposals would only disturb a small open porch area on the building where bats are unlikely to roost. As the site is within a river valley and there is high quality foraging areas to the west of the site along the river, enhancement measures to provide bat roosting boxes are recommended.
54. The proposals to entail the development of a new dwelling on former garden land. This area of land has been used as garden land and was not considered to contain any habitat that protected species would rely on. The increased planting along the northern boundary to this site was considered to adequately mitigate the development of this land and enhance the biodiversity value.

Trees and Landscaping

Impact on Trees

55. There are a number of mature trees around the site that form an important part of the setting of the Grade II listed building. An Arboricultural Implications Assessment has been submitted to demonstrate that the new development on site would not be within the root protection zones of trees on site.
56. The new driveway for the new dwelling to the south of the site could have an adverse impact on the root protection areas it would go through. To ensure that appropriate methods of hand digging any soil to be removed and an appropriate membrane to stop leachate from concrete affecting tree roots, an additional Arboricultural Method Statement is recommended to be conditioned.
57. The remaining gardens are already well landscaped. However a condition is recommended for landscaping details to be agreed, including new paving in the courtyard to the rear of the water tower and boundary fence details to the new dwelling.

Local Finance Considerations

58. Under Section 143 of the Localism Act the council is required to consider the impact on local finances. It is a material consideration when assessing this application. The benefits from the finance contributions for the council however must be weighed against the above planning issues however.

Financial Liability	Liable?	Amount
New Homes Bonus	Yes	Based on council tax band. Payment of one monthly council tax amount per year for six years.
Council Tax	Yes	Band not yet known
Community Infrastructure Levy	Yes	£36,000 (indexed)
Business Rates	No	-

59. Community Infrastructure Levy would be liable for the three dwellings as they are new development.

Other matters raised in letters of representation

60. Concerns have been raised over sewer connections and access for emergency vehicles. These issues are covered by other consents and so are not covered by planning legislation. The existing road does provide access for emergency vehicles however and so it is not unreasonable to think that the existing roads can be used for such access.

61. The stability of land within the garden has also been raised, but no building operations are proposed within the garden. Any land stability issues would therefore not be a result of this planning application.

62. Lastly concern has been raised over disturbance from construction traffic. The site is relatively detached from neighbouring properties for there to be disturbance by works on site adjacent to the main house. The new dwelling to the south of the site would be closer to neighbouring dwellings at 18 Hellesdon Mill Lane. An informative note is therefore recommended to advise the applicants of construction practices to minimise disruption to neighbouring dwellings.

Equality and Diversity Issues

63. The proposed uses are private dwellings. As such they will be subject to building regulation to ensure good accessibility. Whilst the site is not in a highly accessible location, leading to some reliance on private car which younger people may not have access to, this does not raised significant equality issues.

Conclusions

64. The proposed alterations, extensions and new build to form three new dwelling units on the site will provide the refurbishment of the existing listed buildings, ensuring their future good maintenance through use as residential units. The new dwelling to the south of the site is considered to be acceptable in this instance due to the benefits that this will enable to the water tower. A condition is recommended to ensure that the

financial benefits from the new house are used to refurbish the water tower.

65. The new development will have a minimal impact on the existing listed building, and through use of good materials on the new dwelling will be positive additions to the surrounding conservation area. The new dwelling is sufficiently detached from the setting of the listed building, both visually and in terms of design and appearance to not have an adverse impact.
66. Subject to the recommended conditions below both applications are recommended for approval.

RECOMMENDATIONS

To approve:-

(1) Application No 13/01152/F at Hellesdon House, 28 Hellesdon Mill Lane and grant planning permission, subject to the following conditions:-

1. Standard time limit
2. In accordance with plans
3. Prior approval of all external facing materials, rainwater goods, conservation rooflights and stringcourse and rear wing banding detail on new dwelling
4. Works to water tower and stable complete before commencement of new dwelling to south of site
5. Works to stop if archaeological artefacts found during works
6. Water conservation
7. Landscaping details including:
 - a. hard landscaping details to the rear of the converted water tower
 - b. boundary fence to north boundary of new dwelling
 - c. entrance gates to site of new dwelling
8. Flood evacuation plan details to be agreed and made available to future residents
9. Refuse and cycle storage details to be agreed
10. Car parking to be provided as shown on site plan
11. Compliance with AIA
12. Additional Arboricultural Method Statement for construction of driveway to new dwelling and refuse storage area
13. Additional bat survey to determine precise usage of water tower by protected species and ecology enhancement measures – including bat boxes, native landscaping planting

Article 31(1)(cc) Statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined above.

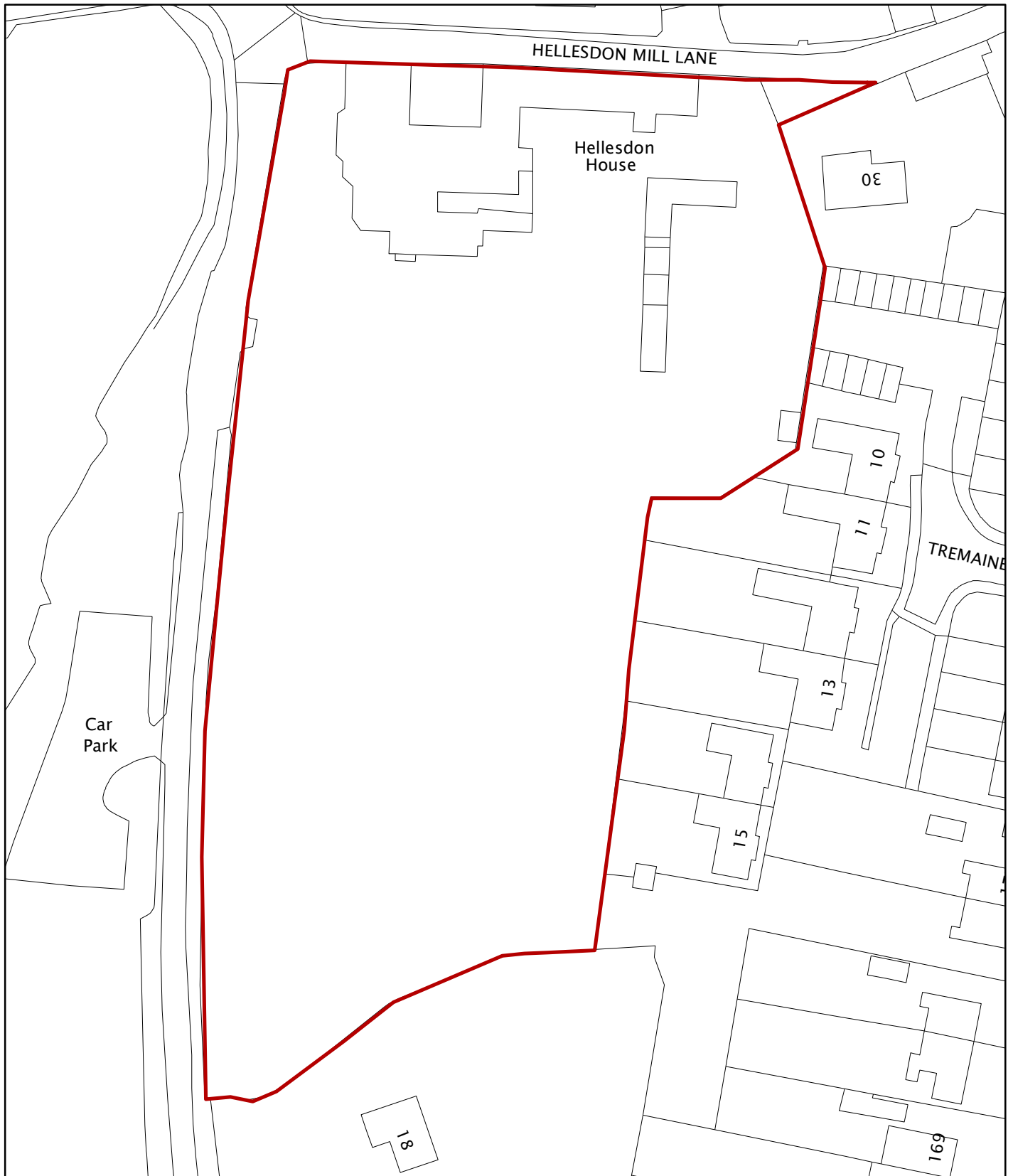
Informative note:

1. Tree protection barriers
2. Construction to reduce disturbance
3. Protected species licence

(2) Application No 13/01153/L at Hellesdon House, 28 Hellesdon Mill Lane and grant listed building consent, subject to the following conditions:

1. Standard time limit
2. In accordance with plans
3. Prior approval of all external materials, including paving, to be used on and around stables and water tower
4. Details of:
 - (a) suspended floor and ventilation in stables
 - (b) glazing and fanlights over doors in stables
 - (c) stud wall and ceiling work to be installed in stables
 - (d) refurbishment of entrance door to stables
 - (e) ventilation grills to be retained and any works to these required
 - (f) ironmongery to be retained within stables and water tower as required
 - (g) treatment and any repair of original and proposed new walls in the water tower
 - (h) new roof to stable porch
5. Photographic record of interior of stable (including flooring) and water tower
6. Make good any damage

(Reasons for approval: The decision is made with regard to policies HBE8, HBE9, and HBE12 of the adopted City of Norwich Replacement Local Plan (November 2004), policy 2 of the adopted Joint Core Strategy (2011) and statements 7 and 12 of the National Planning Policy Framework (2012). The alterations and extensions to the stables and water tower are of suitable scale and appearance to make sympathetic alterations to the existing listed building, with key features of both building being retained to keep the existing layout and character of the buildings.)



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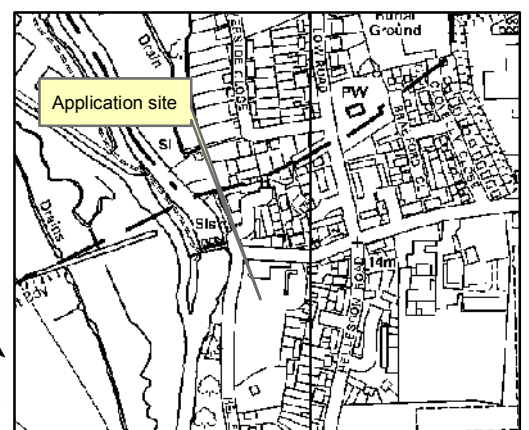
Planning Application No 13/01152/F & 13/01153/L
 Site Address Hellesdon House
 28 Hellesdon Mill Lane

Scale 1:800



NORWICH
 City Council

PLANNING SERVICES



HELLEDSON MILL LANE

House
Helledson

Proposed Stable conversion

Proposed Water Tower
conversion

Reinforce planting with
lateral and first trees
2m high close boarded fence on
north boundary

Gravel access to rear of site

San enclosure

Proposed New Dwelling

2 no parking
spaces

Proposed new access