

## Report for Resolution

**Report to** Planning Applications Committee  
**Date** 21 July 2011  
**Report of** Head of Planning Services  
**Subject** 11/00799/F 17 Welsford Road Norwich NR4 6QA

Item  
**5(2)**

### SUMMARY

<b>Description:</b>	Conversion of attic space (amended).
<b>Reason for consideration at Committee:</b>	Objection
<b>Recommendation:</b>	Approved
<b>Ward:</b>	Eaton
<b>Contact Officer:</b>	Jo Hobbs Planner 01603 212504
<b>Valid Date:</b>	4th May 2011
<b>Applicant:</b>	Mr Johannes De Vrijer
<b>Agent:</b>	Mr John Shanks

### INTRODUCTION

#### The Site

##### Location and Context

1. The site is located on Welsford Road in the Eaton Rise area in the south of the city. The area is predominantly residential, with dwellings to the north, south, east and west of this site. The site is located on the south side of Welsford Road, adjoining residential dwellings to the east and west (15 and 19 Welsford Road respectively). The dwellings along this street are predominantly detached, two storey residential dwellings but also with some bungalows and chalet bungalows in the immediate area.
2. The dwelling subject to the application is a detached two storey dwelling constructed of red brick with a red pantile roof and white UPVc windows. It is set back around 4m from Welsford Road with a larger rear garden to the south of around 25m in depth. The adjoining residential dwellings to the south are located on Irving Road.

##### Constraints

3. There are no constraints associated with this site.

##### Planning History

4. An application was approved in 1962 for the extension of the lounge and garage

(reference 26949). There has been no planning history since this application.

### **Equality and Diversity Issues**

There are no significant equality or diversity issues.

### **The Proposal**

5. The proposal is for the conversion of the attic space, involving the installation of a dormer window and rooflights. A dormer window and one rooflight is proposed on the east elevation of the roof, one rooflight on the south elevation of the roof and two dormer windows on the west elevation of the roof. The plans were amended on 22 June 2011 altering the design of the rooflights on the west elevation to be part obscure glazed and part clear glazed. The obscure glazing will prevent overlooking up to 1.7m from floor level and this part of the rooflight will be non-opening.

### **Representations Received**

6. Adjacent and neighbouring properties have been notified in writing. Two letters of representation have been received citing the issues as summarised in the table below.
- 7.

Issues Raised	Response
<b>In response to initial plans:</b>	
The proposed south facing rooflight will lead to a loss of privacy to the residential dwelling to the south of the site at 18 Irving Road. Request that frosted glass be used.	See paragraph 13 and 14.
The rooflights proposed in the west elevation would lead to a loss of privacy and amenity to the residential dwelling to the west of the site at 19 Welsford Road. The proposed rooflights would look directly into the first floor rooms of this dwelling, which are used as bedrooms.	See paragraph 15 and 16.
<b>In response to revised plans:</b>	
The proposed rooflights although now avoiding the issue of loss of privacy will lead to the only view from two bedrooms to be onto the west elevation of 17 Welsford Road which now will include two rooflights.	See paragraph 17.

## **ASSESSMENT OF PLANNING CONSIDERATIONS**

### **Relevant Planning Policies**

#### **Relevant National Planning Policies**

Planning Policy Statement 1 - Delivering sustainable development

## **Relevant policies of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk 2011**

Policy 2 – Promoting good design

## **Relevant saved policies of the adopted City of Norwich Replacement Local Plan 2004**

HBE12 - High quality of design

EP22 – High standard of amenity for residential occupiers

## **Written Ministerial Statement: 23 March 2011: Planning for Growth**

Support of enterprise and sustainable development.

## **Principle of Development**

### **Policy Considerations**

8. The conversion of the roof space is considered to be acceptable in principle as the space will be used in conjunction with the existing residential use in the dwelling. The key matters for consideration are the impact on living conditions of any adjacent occupiers and the design of any alterations.

## **Impact on Living Conditions**

### **Overlooking and loss of privacy**

9. There are alterations proposed to the east, south and west elevations. Each alteration needs to be considered in relation to the impact on the amenity and privacy of adjacent residential dwellings.
10. The proposed dormer window and rooflight on the east elevation will overlook the west elevation of 15 Welsford Road and the associated driveway and garage. This elevation of 15 Welsford Road contains a window to the stairs between the ground and first floor and obscure glazed windows and door on the ground floor. The east elevation of 17 Welsford Road contains an existing window to the stairway that is not obscured glazed.
11. The proposed dormer window will lead to minimal overlooking of these windows due to the floor levels adjacent to the window. The floor level will be lower nearer the dormer window as this where the access stairs to the attic space will be located. It will therefore not be possible to stand directly next to the dormer window and look down to these windows and doors.
12. The proposed rooflight on this elevation will lead to a greater potential for overlooking than the dormer window but, due to the neighbouring windows being at a lower level, being obscured glazed and the fact there is an existing window in 17 Welsford Road overlooking this property the loss of amenity would not be sufficient to merit a refusal.
13. The proposed rooflight on the south elevation would be opening and the base at 1.2m above the floor level. The nearest residential property to the south of the dwelling would be over 35m away. This distance would mitigate any loss of privacy to residential occupiers of the dwellings on Irving Road to a considerable degree. Although there may be some loss of privacy associated with this rooflight it would not be sufficient to recommend the application is refused.
14. The potential of using obscure glazing was considered but as this window needs to be opening to ventilate the bathroom this would still allow for overlooking. Considering the distance of this rooflight from the nearest residential dwelling to the south this part of the proposal is considered to be acceptable.

15. The proposed two rooflights on the west elevation were originally proposed to be fully opening with the base of the window at 1.2m above the floor level. This would have led to overlooking of two bedrooms at first floor in the adjacent 19 Welsford Road. Following on from concerns being raised by the occupants of 19 Welsford Road, the plans were revised to propose two rooflights that would only be opening and clear glazed above 1.7m. The part of the rooflight below 1.7m is proposed to be obscure glazed and non-opening. It should be noted that there is already a window at first floor level at 17 Welsford Road that looks directly across to 19 Welsford Road and, as such, there is already a level of overlooking between these two properties.
16. The potential to relocate rooflights or dormer windows to the north and south elevations would lead to a reduced level of light and ventilation to the attic space as the north and south roofs are much narrower than the east and west roofs. The revisions to the plans are considered to be the best solution and reduce the loss of privacy to a level that is considered to be acceptable, not leading to a significant loss of amenity to the occupiers of the neighbouring property.

## **Design**

17. The proposed rooflights are sited well within the roof slopes and are not considered to lead to a detrimental effect on the overall design of the dwelling. The concerns raised by the residents of 19 Welsford Road, about outlook and looking out onto the rooflights on the west elevation, have been considered, but the rooflights are considered to be appropriate in scale and location within the roof slope. The design of these is therefore considered to be acceptable.
18. The proposed dormer window is not considered to be of the best design. The design would lead to a large window on the roof slope in a location that is visible to the wider area, particularly from Welsford Road to the north and east of the site. Alternative solutions with a smaller window and pitched pantile roof have been discussed with the agent for the application. However, this alternative design for the proposal was not considered to be feasible or good alternative option by the applicant, as the point at which the pantiles would join the main roof slope would be visually awkward and lead to a poorer quality design finish. In addition, the potential to relocate the stairway up to the attic is limited without rearranging the first floor of the dwelling and losing a large proportion of bedroom space or bathroom space.
19. Although the proposed dormer window is not of great design, its impact is not considered to be harmful and consequently, it is considered that it would not be appropriate to refuse the application on design grounds due to this element of the proposal. The site is not in a conservation area nor is the building a statutory listed building or a locally listed building. The proposal is therefore considered to be acceptable.

## **Conclusions**

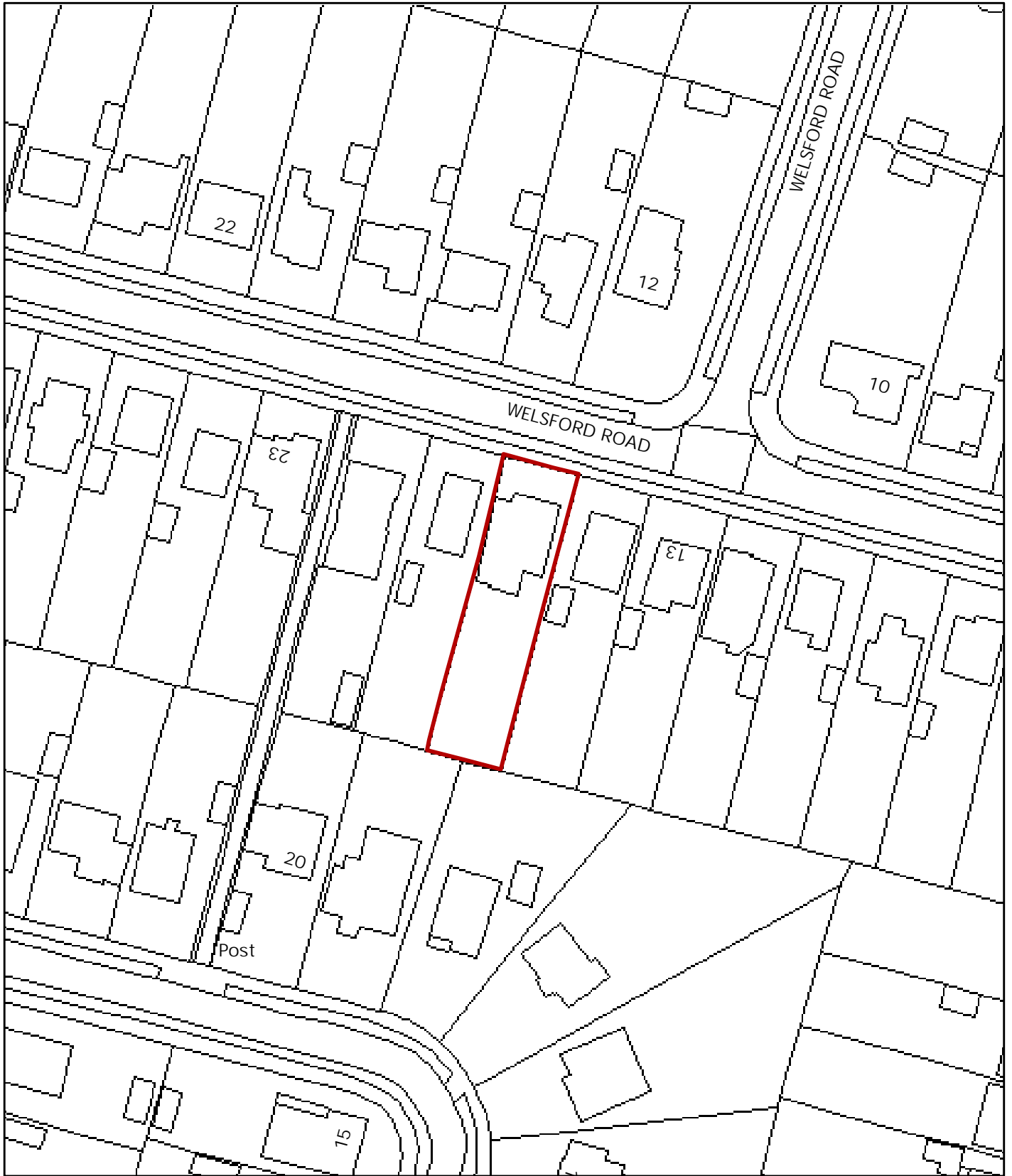
20. The proposed rooflights and dormer windows will not lead to a significant loss of amenity for adjacent residential occupiers. Although there would be the potential for some overlooking, the revised plans have mitigated the loss of amenity to a level that is considered to be acceptable.
21. The alterations to the roof would on the whole be acceptable in design terms. The proposed dormer window is considered to be the only design solution to enable the conversion of this attic space. The proposal is considered to be acceptable on balance and the issues surrounding design and amenity are not considered sufficient to warrant a refusal of this application.

## **RECOMMENDATIONS**

To approve Application No (11/00799/F, 17 Welsford Road, Norwich) and grant planning permission, subject to the following conditions:-

1. Standard time limit
2. Development in accordance with the submitted plans
3. Rooflights to be obscure glazed and fixed as shown on the amended plans

(Reasons for approval: The decision has been made with particular regard to saved policies HBE12 and EP22 of the adopted City of Norwich Replacement Local Plan and policy 2 of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk. Having considered relevant policy and other material considerations, it is considered that the proposed dormer window and rooflights are of a sufficiently good design and will not have an adverse impact on the neighbouring properties.)



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Planning Application No 11/00799/F  
Site Address 17 Welsford Road, Norwich  
Scale 1:750



**NORWICH**  
City Council

PLANNING SERVICES



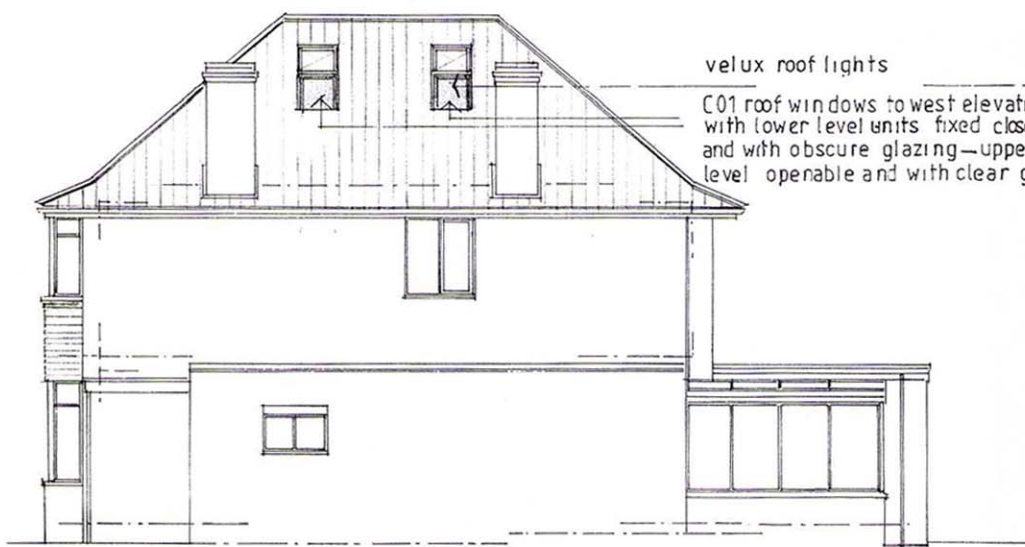


FRONT ELEVATION north

dormer  
felt flat roof  
plain tile cheeks  
white upvc window  
velux roof lights

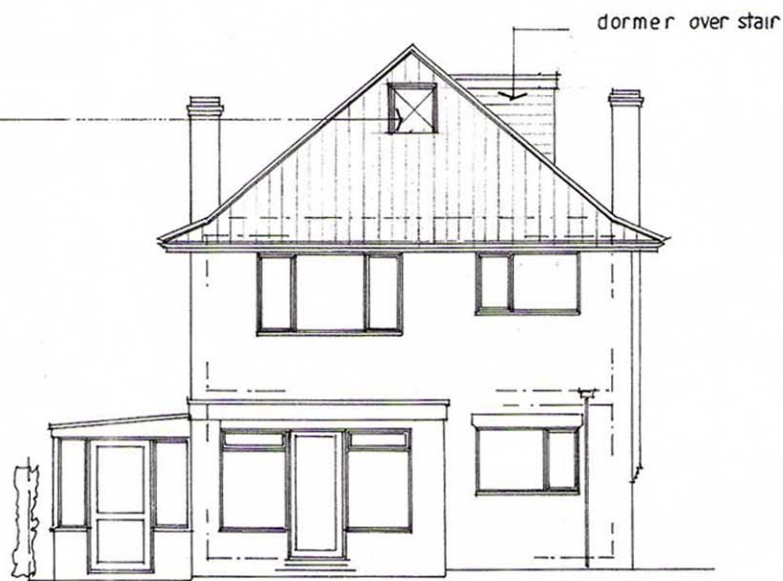


SIDE ELEVATION east



SIDE ELEVATION west

velux roof lights  
C01 roof windows to west elevation  
with lower level units fixed closed  
and with obscure glazing—upper  
level openable and with clear glass



REAR ELEVATION south

dormer over stair