

Report for Resolution

Report to Planning Applications Committee
Date 8th May 2014
Report of Head of Planning Services
Subject 14/00030/F Fieldgate Town Close Road Norwich NR2 2NB

Item
4(7)

SUMMARY

Description:	External alterations including raising main ridge of bungalow to form first floor with dormer and roof windows; removal of conservatory and widen rear of west end; erection of detached double garage.
Reason for consideration at Committee:	Objection
Recommendation:	Approve subject to conditions
Ward:	Town Close
Contact Officer:	Mrs Joy Brown Planner 01603 212543
Valid Date:	5th February 2014
Applicant:	Mr & Mrs Sewell
Agent:	Mrs Julie Rackham

INTRODUCTION

The Site

Location and Context

1. The property is situated on the south side of Town Close Road on the corner of the junction with Orwell Road. The property, which is a bungalow, was built during the mid 20th century and is of no particular architectural merit. The property is well set back from the highway and is situated within a large plot which has a number of mature trees and a significant amount of planting. The bungalow is constructed of brick with render and black fake beams on the front and rear facing gables, pantiles on the roof and uPVC windows and doors.
2. The bungalow is located within the former garden of number 13 Town Close Road and part of the garden of number 12 Town Close Road. Both 12 and 13 Town Close Road are grade II listed properties which were constructed in the early to mid 19th century. They are yellow brick and have a slate roof. The dwelling adjacent to the site (13 Town Close Road) has recently been granted planning permission for a single storey rear extension and side garage extension. These are currently under construction.
3. The area is characterised by having large detached or semi detached properties which are set back from the highway. Most of the properties are mid 19th century two storey dwellings which are set within large plots and there is only one other bungalow on Town Close Road. A number of the properties in the area, including the application site, are well

screened from the road by boundary fences and mature trees and planting.

Constraints

4. The property is situated within the Newmarket Road conservation area and is adjacent to and opposite statutory listed buildings. There are a number of mature trees on and adjacent to the site.

Topography

5. The site slopes up from the road to the house although the rear garden is relatively flat.

Planning History

12/02375/F - Erection of double garage in front garden. (APPR - 05/04/2013)

Equality and Diversity Issues

There are no significant equality or diversity issues.

The Proposal

6. The application seeks planning permission to increase the ridge height of the main section of the building to create a first floor which will change the property from a bungalow to a 1.5 storey dwellinghouse. The existing ridge height of the bungalow is currently 4.9m and 5.8m and the existing eaves height is currently 2.2m. The part of the building which is proposed to increase in height will have a ridge height of 7.6m and eaves height of 4.1m. It is not proposed to increase the ridge height of the rear projection, the existing garage or the section of the building closest to 13 Town Close Road. New dormer windows are proposed within the front and rear elevation, a single rooflight within the rear elevation, two windows and glazing within the roof within the north west elevation and three obscure glazed and fixed windows within the south east elevation. All of the windows on the ground floor are to be replaced with aluminium windows with some of the openings being enlarged.
7. The proposal also includes the removal of the existing conservatory on the rear elevation, the provision of a new detached double garage forward of the property, enlarging the existing porch, creating a small extension on the rear elevation to bring the rear elevation of the lounge and study in line with the rest of the house, moving the door of the existing garage to the side rather than on the front elevation and the provision of an air source heat pump.
8. The proposal has changed during the process of assessing the application following concerns raised by the Council regarding the overall design of the proposal. Although it was considered that the principle of the proposal was acceptable, there were concerns that the proposal would not be of a high quality design, particularly as it was unlikely that the brick at first floor level would match exactly that at ground floor level. The applicant has subsequently revised the proposal and rather than proposing materials to match, it is now proposed for the first floor to be clad in a greeny/grey weatherboarding and for all of the windows to be dark green aluminium.

Representations Received

9. The application as submitted was advertised on site and in the press and adjacent and neighbouring properties were notified in writing. Eight letters of representation have been received citing the issues as summarised in the table below.

Issues Raised	Response
<p>Design</p> <ul style="list-style-type: none"> • The existing bungalow is out of keeping with the other period properties on Town Close Road and would be unlikely to receive planning permission now. The only advantage is that it is single storey and therefore has a low profile. • The application acknowledges that the current building is 'ugly' but the proposed design does nothing to address this. It merely increases the size and scale of the existing building and makes it more dominant. The property is already out of keeping with the area and this will make it more visible from the road and neighbouring properties which will accentuates its anomalous style and render the proposed enlarged building as an eyesore in its surroundings. • The dormer windows and tiled roof are inappropriate for the area and would alter the skyline. • The development of the site offers an opportunity to enhance Town Close Road. A well designed original building such as an eco-house of high quality and contemporary design would be an enhancement. Alternatively the extension should be redesigned to provide a striking modern design and would be more appropriate if they extended at ground floor only. 	<p>See paragraphs 19-23</p>
<p>Impact upon the conservation area</p> <ul style="list-style-type: none"> • The site is situated within a conservation area and any development should preserve and enhance the character of the area. Extending the building significantly whilst retaining its 60s look does not improve the character of the conservation area and instead makes an inappropriate and poor quality design and style of building more 	<p>See paragraphs 26-27</p>

prominent.	
Impact upon residential amenity <ul style="list-style-type: none"> The existing building is close to the boundary of 13 Town Close Road which causes a privacy issue. Raising the roof will would cause more of an issue particularly as the building would look and feel enormous and would create overshadowing. The increased height would overlook neighbouring gardens and houses and the new windows in the side elevation would also increase overlooking to the adjacent property. 	See paragraphs 13-18
Precedence <ul style="list-style-type: none"> If granted the application would set a precedent. 	The application site is significant different in character to the other properties on Town Close Road and as such it is not considered that the proposal will set a precedent.
The use of the building <ul style="list-style-type: none"> It is stated that the usage of the dwelling would stay the same but the fact that there is space for parking for 13 cars makes one wonder if there would be some commercial consideration in the future. 	This is not applicable to the application. A change of use application would be necessary.

10. Following discussions with the applicant, the proposal has been revised. Another site notice and press notice was issued and neighbours were notified of the amendments. Four letters have been received which state that the previous objections still stand. Comments are also made that the changes to the proposal are very minor and do not address concerns of the local residents and that the amended proposal still does not improve or enhance the conservation area.

Consultation Responses

11. Tree officer – This will be achievable as long as conditioned to be in compliance with submitted AIA (including the replacement planting).

ASSESSMENT OF PLANNING CONSIDERATIONS

Relevant Planning Policies

National Planning Policy Framework:

Section 7: Requiring good design

Section 11: Conserving and enhancing the natural environment

Section 12: Conserving and enhancing the historic environment

Relevant policies of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk 2011 (amendments 2014):

Policy 1 – Addressing climate change and protecting environmental assets

Policy 2 – Promoting good design

Relevant Saved Policies of the adopted City of Norwich Replacement Local Plan 2004:

NE3 – Tree protection, control and cutting and lopping

EP22 – General amenity.

HBE8 - Development in Conservation Areas

HBE12 - High quality of design in new developments

Other Material Considerations including:

Written Ministerial Statement: Planning for Growth March 2011

Interim statement on the off-site provision of affordable housing December 2011

The Localism Act 2011 – s143 Local Finance Considerations

Emerging DM Policies (submitted for examination):

The Joint Core Strategy and Replacement Local Plan (RLP) have been adopted since the introduction of the Planning and Compulsory Purchase Act in 2004. With regard to paragraphs 211 and 215-216 of the National Planning Policy Framework (NPPF), both sets of policies have been subjected to a test of compliance with the NPPF. Both the 2011 JCS policies and the 2004 RLP policies above are considered to be compliant with the NPPF. The Council has now submitted the emerging Local Plan policies for examination and considers most of these to be wholly consistent with the NPPF. Weight must be given to the emerging Local Plan and relevant policies are listed below for context although none change the thrust of the current Local Plan policies discussed in the main body of this report:

DM1 Achieving and delivering sustainable development – **Significant weight can be applied.**

DM2* Ensuring satisfactory living and working conditions - **Significant weight can be applied.**

DM3* Delivering high quality design – **Several objections, only limited weight.**

DM7 Trees and development – **Significant weight can be applied**

DM9 Safeguarding Norwich's heritage – **Significant weight can be applied.**

*These policies are currently subject to objections or issues being raised at pre-submission stage. Even where DM policies have been objected to, the objection may concern only one aspect of the policy and significant weight may be applied to that policy depending on what extent the objection relates to this proposal. For clarity, the level of weight that can be attributed to each DM policy has been indicated above.

Principle of Development

Policy Considerations

12. The principle of enlarging the property is acceptable and as such the main issues for consideration are design, impact upon the conservation area and neighbouring listed buildings and impact upon the living conditions of neighbouring residents. There are no highway implications and Norwich City Council's tree officer has confirmed that there are no negative impacts upon the trees on or adjacent to the site subject to the works being carried out in accordance with the submitted Arboricultural Impact Assessment.

Impact on Living Conditions

Overlooking, overshadowing, loss of light and noise

13. The property is situated within a large plot and due to the distances involved and the screening provided by hedging it is not considered that the proposal will impact upon any of the neighbouring residents to the north, south or west, taking into consideration overlooking, overshadowing and loss of light.

14. The main issue for consideration therefore is the impact that the proposal will have upon the neighbouring resident to the east (13 Town Close Road). The side elevation of Fieldgate is situated around 8m from the side elevation of the neighbouring property, although the neighbouring residents are currently constructing a garage to the side of their property which will significantly reduce the gap between the two properties.
15. It is considered that increasing the roof height may result in a slight loss of light and overshadowing to the neighbouring property to the east however due to the orientation and the presence of a large tree on the boundary, any loss of light and overshadowing will only be minimal and at an acceptable level, particularly bearing in mind that the garage which is currently being constructed will in itself block out light to the ground floor of 13 Town Close Road. Furthermore the proposal is to only increase the ridge height of the main section of the bungalow and given that the bungalow is situated further forward in the plot than 13 Town Close Road even the loss of light from evening sunlight will be minimal.
16. With regards to overlooking concern was raised with the applicant that new windows were being introduced on the side elevation. The applicant has subsequently amended the proposal so that all windows on the east elevation are obscure glazed and fixed and a condition should be attached to any permission to ensure that this is retained in perpetuity. Furthermore given that the property is so well screened it is not considered that the introduction of windows at first floor level in the rear elevation will result in a significant amount of overlooking to any of the neighbouring properties.
17. It is proposed to install an air source heat pump on the eastern side of the property. In order to ensure that this does not create a noise nuisance for neighbouring residents to the east, a condition should be attached to any permission requiring full details of the unit.
18. Therefore, subject to conditions relating to the glazing and air source heat pump, it is not considered that the proposal will be of significant detriment to the living conditions of any of the neighbouring residents taking into consideration overlooking, overshadowing, loss of light and noise.

Design and impact upon heritage assets

Design, form, scale, height and materials

19. Fieldgate is a bungalow which is of no architectural merit. There are only two bungalows on Town Close Road with the road being characterised by having two storey early-mid 19th century dwellings of which most of the properties are listed.
20. The proposal does not result in a dwelling which is in keeping with the surrounding area and features such as first floor dormer windows have been introduced which are considered to be alien to the surrounding area. However when assessing the application it must be acknowledged that the existing bungalow is not in keeping with the area either and therefore the main issue when assessing the merit of the proposal is whether the changes which are proposed are acceptable bearing in mind the existing character of the property.
21. The proposal will significantly increase the overall size of the property, however due to the curtilage of the property being large, it is considered that the plot can easily accommodate a dwelling of this size. Furthermore the front curtilage is of sufficient size to accommodate a new double garage. Increasing the height of the building is also considered acceptable with the ridge height still being significantly lower than other buildings in the immediate area. Increasing the height, will increase the prominence of the building slightly; however it

is considered that the proposal will give the building a much more contemporary appearance and will help improve the overall appearance of the dwelling. The new building will still remain well screened from the road and is situated within a secluded plot. Therefore increasing its prominence slightly is not considered to be of detriment to the streetscene.

22. Concern was raised with the applicant that although the principle of the proposal was acceptable there was not sufficient detail to ensure that the proposal would be of good design. As such the applicant has revised the proposal and has provided further details on the materials. It is considered that the contemporary window surrounds add clean edges to the window apertures and that the provision of weatherboarding will help reduce the amount of out of character existing brickwork to the bungalow. The palette of materials is considered to be suitable for this plot and the use of weatherboarding has addressed concerns that it would not be possible to get brick to exactly match the ground floor.
23. As such, bearing in mind the character of the existing building, it is considered that the overall design of the proposal is acceptable and that the proposal will create a more contemporary, well-proportioned dwellinghouse.

Listed Building – Impact on Setting

24. The property is situated adjacent to and opposite grade II listed buildings. Given the amount of screening to Fieldgate and the properties opposite it is not considered that the proposal will affect their setting.
25. With regards to the neighbouring property to the east (13 Town Close Road), it must be acknowledged that this bungalow, which is of no architectural merit, already exists. Although the proposal does increase the height of the property and therefore increases its dominance, it is considered that the proposed development will help to improve the appearance of property. Furthermore although the proposal will have some impact upon the setting of the neighbouring listed building, the increase in height is not considered to be of significant harm to justify refusal particularly bearing in mind that the neighbouring property is currently constructing a new garage between the listed building and Fieldgate. Furthermore the section of Fieldgate which is closest to 13 Town Close Road is not increasing in height which will help retain a visual gap between Fieldgate and the listed property.

Conservation Area – Impact on Setting

26. The property is situated within a conservation area; however it is not considered that the dwelling is overly visible from Town Close Road or Orwell Road due to screening provided by existing boundary trees. Views of the property can however be made from the front driveway entrance and therefore it is important that the proposal is of good design and does not detract from the overall character of the conservation area.
27. It must be acknowledged that the bungalow already exists and that the property is and will never be in keeping with the other period properties on Town Close Road. Although the proposed changes will make the dwelling slightly more dominant, it is considered that the proposal will enhance the property itself. As such it is not considered that the proposal will have a detrimental impact upon the overall character of the area or the conservation area.

Local Finance Considerations

28. The development is CIL liable as the proposal increases the internal floor space by over

100 square metres. The current payment is £75 per square metres and therefore the charge has been calculated at £10,800 (£11,458.53 index linked) and will be payable on commencement. The level of payment may change if rates change between the date of decision and date of commencement. The applicant may however be able to apply for relief if the requirements set out in the 'Self build annex or extension claim form' are satisfied.

Financial Liability	Liable?	Amount
New Homes Bonus	No	Nil
Council Tax	Possibly, if the property is revalued.	Unknown
Community Infrastructure Levy	Yes	£11,458.53

Conclusions

29. It is considered that the alterations will not result in a significant loss of residential amenity for the adjoining properties by overlooking, loss of light, overshadowing or noise. Although the proposal significantly alters the appearance of the property, the design is acceptable and will enhance the appearance of this bungalow which is currently of no particularly architectural merit. Furthermore the site is well screened by mature trees and as such it is not considered that the proposal will have a significantly detrimental impact upon the character of the conservation area. The proposal is situated adjacent to a grade II listed building and is also situated opposite listed properties; however it is not considered that the proposal will impact significantly upon their setting due to the distances involved, screening provided by trees and due to the neighbouring property to the east constructing a new garage between the listed building and Fieldgate. As such the proposal accords with the criteria set out within saved policies NE3, HBE8, HBE12 and EP22 of the City of Norwich Replacement Local Plan, policies 1 and 2 of the Joint Core Strategy, the National Planning Policy Framework and policies of the emerging Local Plan.

RECOMMENDATIONS

To approve Application No 14/00030/F Fieldgate, Town Close Road and grant planning permission, subject to the following conditions:-

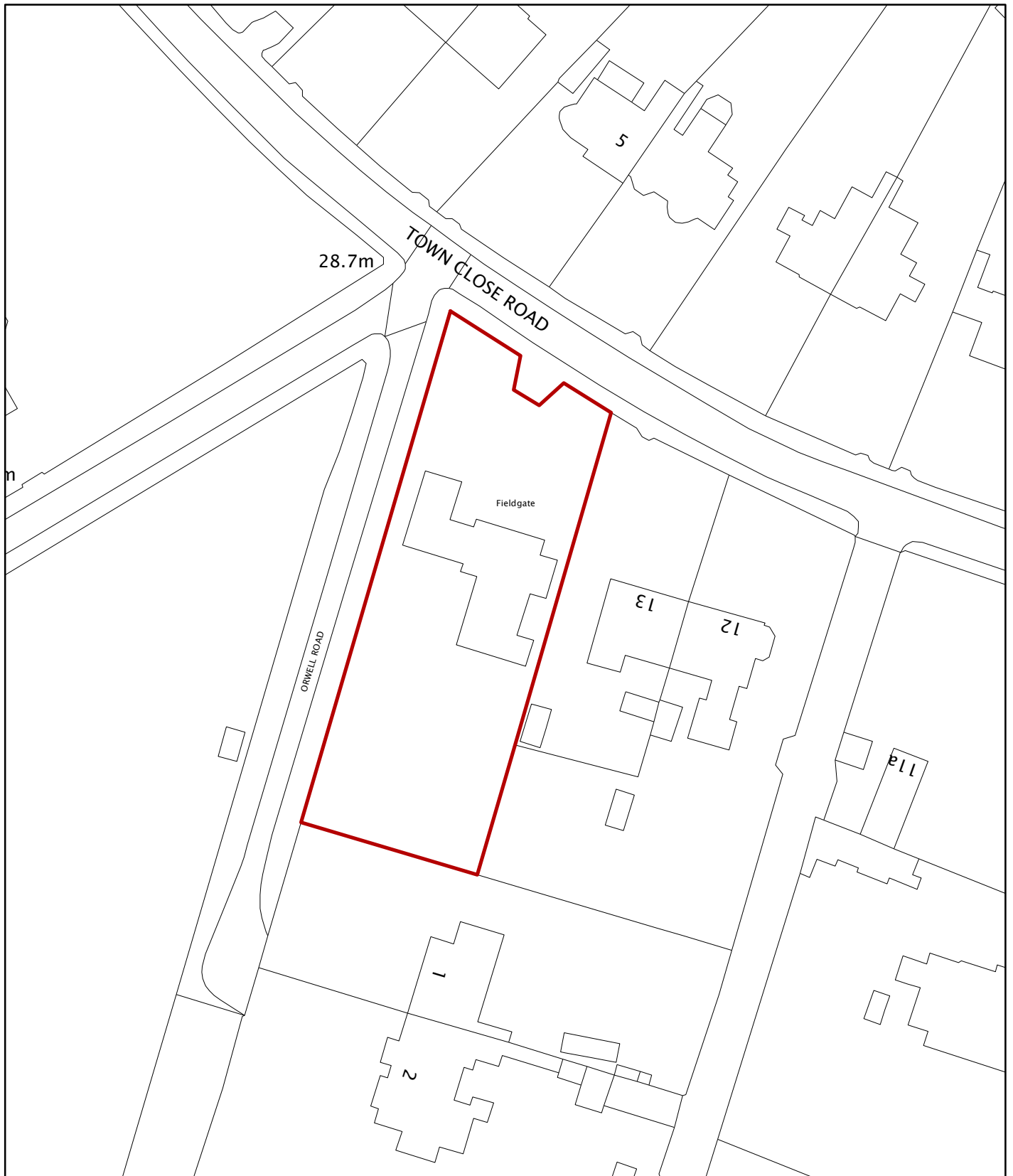
- 1) Standard time limit
- 2) In accordance with plans
- 3) Weatherboarding and windows in accordance with details submitted
- 4) Details of roofing materials and facing brick prior to commencement
- 5) Details of Air Source Heat Pump (including noise levels)
- 6) Windows in side elevation to be obscure glazed and fixed
- 7) In accordance with AIA (including replacement planting)

Informatives:

- 1) Development is CIL liable
- 2) Protective fencing for trees

Article 31(1)(cc) Statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.



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Planning Application No 14/00030/F

Site Address Fieldgate, Town Close Road

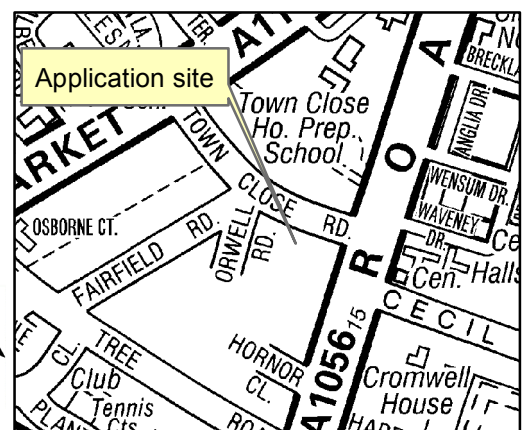
Scale

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NORWICH
City Council

PLANNING SERVICES



All dimensions to be verified on site by the Contractor before the start of work. Report any discrepancies to the client at once.

This drawing is to be read with all other relevant information.

Qualified Structural Engineer to ascertain suitability of all member sizes and fixings prior to any works carried out.

Product manufacturers recommendations and instructions to be followed at all times. With suitability of their product to be confirmed as fit for purpose before any works carried out.



Front Elevation



Rear Elevation

-	07.01.14	Issued for Planning Permission.
-	27.12.13	Issued to client for approval.
Rev.	Date	Reason for issue / any changes

Design, Planning, Building Regulations

JMR architectural designs

2 Holly Lane, Blofield, Norwich, NR13 4BX
www.jmrarchitecturaldesigns.co.uk
email: jmr.designs@virgin.net
07906 927037 or 01603 717541

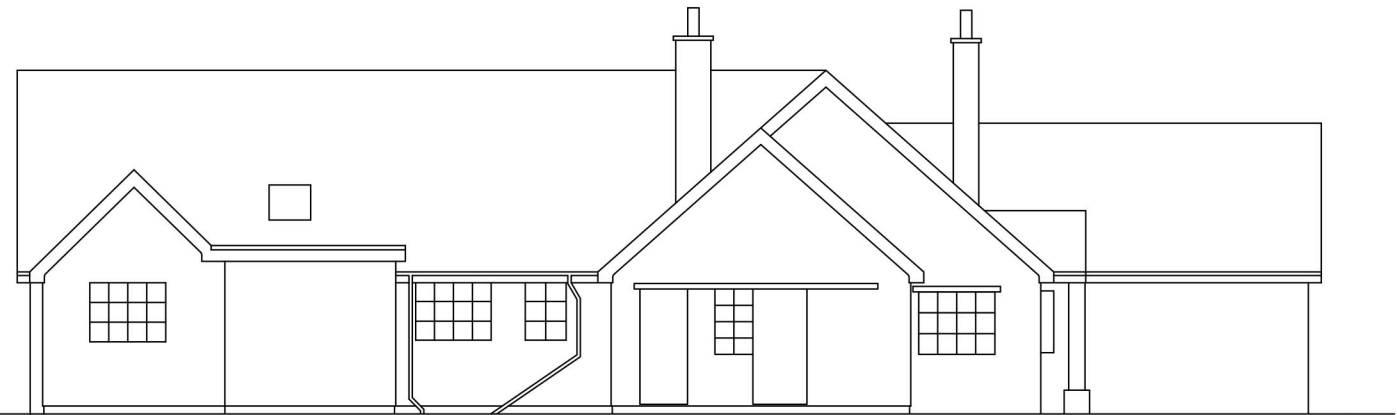
Client: Mr & Mrs Sewell	Address: Fieldgate Town Close Road Norwich NR2 2NB			
Drawing Title: As Existing Front & Rear Elevations				
Date: 23.09.13	Scale: 1/100	A3	Dwg: 03	Rev: -

All dimensions to be verified on site by the Contractor before the start of work. Report any discrepancies to the client at once.

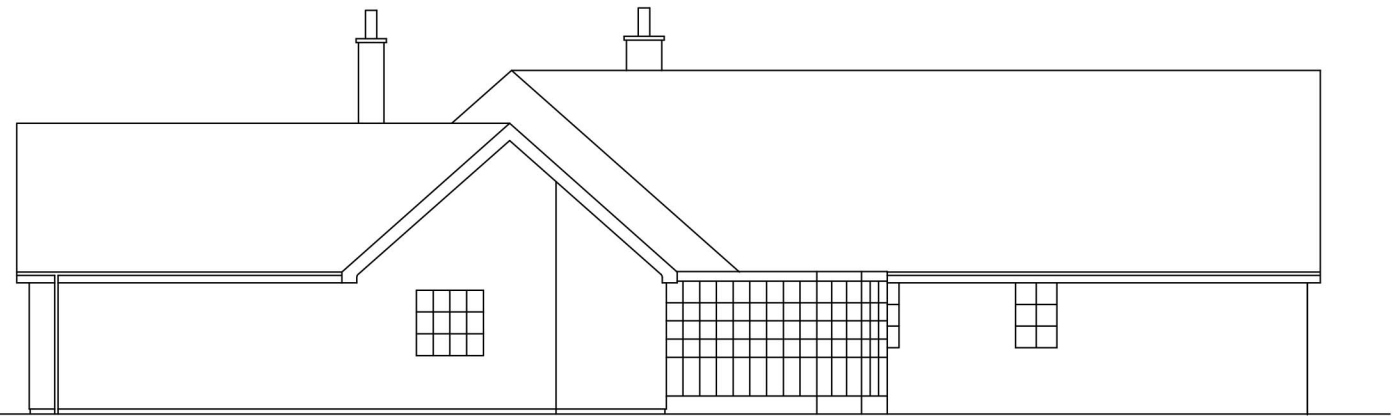
This drawing is to be read with all other relevant information.

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South-East Elevation



North-West Elevation

-	07.01.14	Issued for Planning Permission.
-	27.12.13	Issued to client for approval.
Rev.	Date	Reason for issue / any changes

Design, Planning, Building Regulations

JMR architectural designs

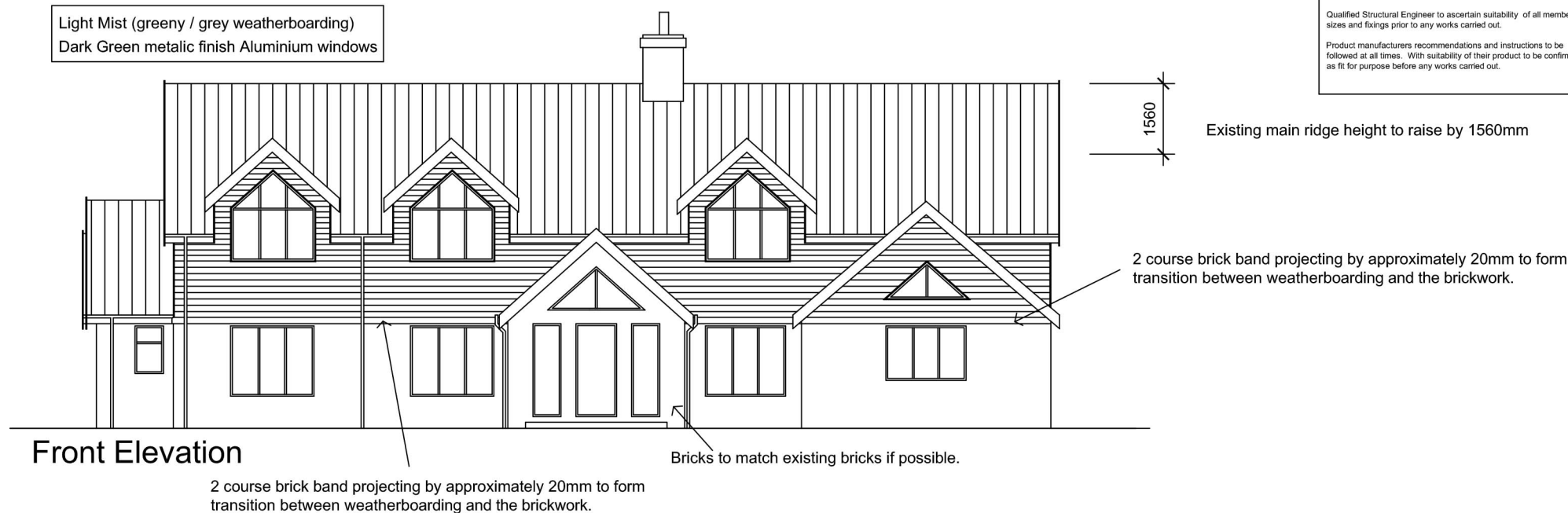
2 Holly Lane, Blofield, Norwich, NR13 4BX
www.jmrarchitecturaldesigns.co.uk
email: jmr.designs@virgin.net
07906 927037 or 01603 717541

Client: Mr & Mrs Sewell	Address: Fieldgate Town Close Road Norwich NR2 2NB			
Drawing Title: As Existing Side Elevations				
Date: 23.09.13	Scale: 1/100	A3	Dwg: 04	Rev: -

All dimensions to be verified on site by the Contractor before the start of work. Report any discrepancies to the client at once.
This drawing is to be read with all other relevant information.

Qualified Structural Engineer to ascertain suitability of all member sizes and fixings prior to any works carried out.

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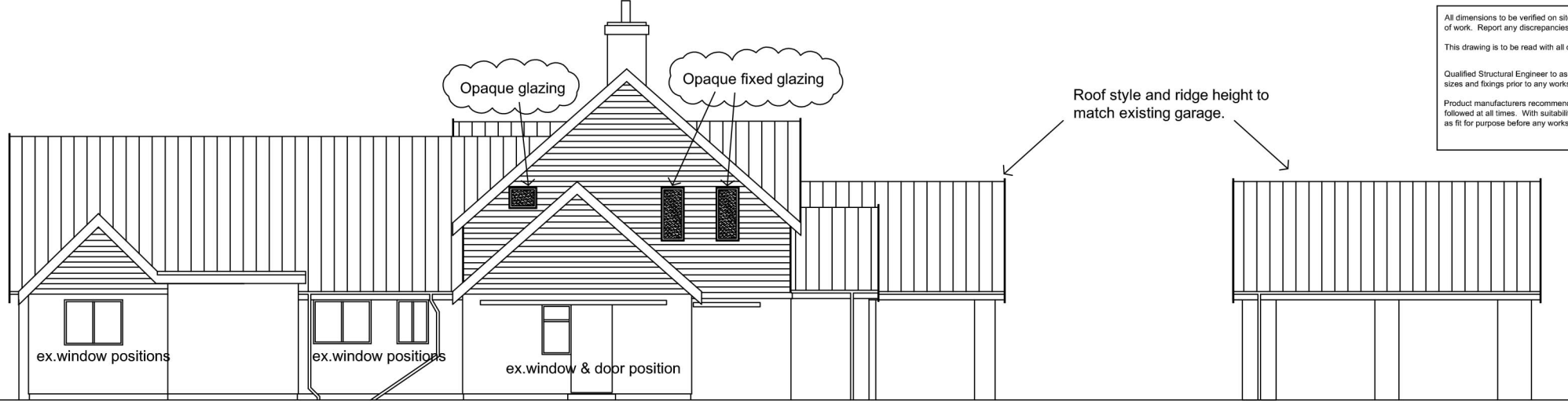
B	26.03.14	Weatherboarding added and more detail info.
A	07.01.14	Issued for Planning Permission.
-	27.12.13	Issued to client for approval.
Rev.	Date	Reason for issue / any changes

Design, Planning, Building Regulations

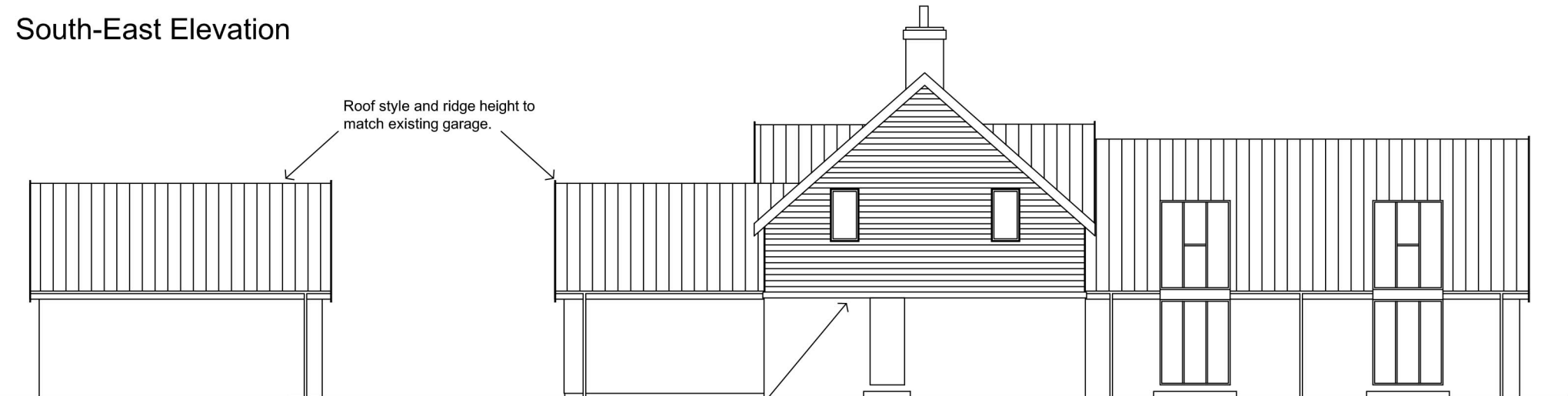
JMR architectural designs

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Client: Mr & Mrs Sewell	Address: Fieldgate Town Close Road Norwich NR2 2NB			
Drawing Title:		As Proposed Front & Rear Elevations		
Date: 23.11.13	Scale: 1/100	A3	Dwg: 07	Rev: B



South-East Elevation



North-West Elevation

Light Mist (greeny / grey weatherboarding)
Dark Green metallic finish Aluminium windows

All dimensions to be verified on site by the Contractor before the start of work. Report any discrepancies to the client at once.
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Qualified Structural Engineer to ascertain suitability of all member sizes and fixings prior to any works carried out.
Product manufacturers recommendations and instructions to be followed at all times. With suitability of their product to be confirmed as fit for purpose before any works carried out.

C	27.03.14	Weatherboarding added to ex North-West walls.
B	26.03.14	Weatherboarding added and more detail info.
A	07.01.14	Issued for Planning Permission.
-	27.12.13	Issued to client for approval.
Rev.	Date	Reason for issue / any changes

Design, Planning, Building Regulations
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email: jmr.designs@virgin.net
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Client: Mr & Mrs Sewell	Address: Fieldgate Town Close Road Norwich NR2 2NB
Drawing Title: As Proposed Side Elevations	
Date: 08.12.13	Scale: 1/100
A3	Dwg: 08
	Rev: C