

Report for Resolution

Report to Planning Applications Committee
Date 19 April 2012
Report of Head of Planning Services
Subject 12/00234/F 213 King Street Norwich NR1 2BU

Item
5(2)

SUMMARY

Description:	Addition of rooflight and window. Blocking up of external doorway. Creation of residential curtilage and changes to external works in the form of decking, shed, additional car parking and fencing to create private curtilage to dwelling.
Reason for consideration at Committee:	Objection
Recommendation:	Approve subject to conditions
Ward:	Thorpe Hamlet
Contact Officer:	Mr Mark Brown 01603 212505
Valid Date:	10 th February 2012
Applicant:	P J Livesey Country Homes (Eastern) Limited
Agent:	P J Livesey Country Homes (Eastern) Limited

INTRODUCTION

The Site

Location and Context

1. The site is located on the north east side of King Street adjacent to the foot of the Novi Sad Bridge. The property in question is a grade II listed building situated within the City Centre Conservation Area that was originally a pair of two storey cottages. Planning permission has since been granted to convert it to a single dwelling house which includes a number of internal and external alterations. To the rear of the property, between the property and the river is Cannon Wharf which forms part of the wider Read Mills flatted development. The property is just outside flood zone 2.

Planning History

2. 08/00155/F – Conversion and extension of the building to provide 1 No. 2 Bedroom detached house – application withdrawn 24 April 2008.
3. 08/00156/L – Partial demolition and rebuild with small extension – application withdrawn 16 April 2008.
4. 08/00485/F – Demolition of existing extension and rebuild of new larger extension – application approved 04 July 2008.

5. 08/00486/L – Demolition of existing extension and rebuild of larger extension, rebuild of one corner of main house – application approved 04 July 2008.
6. 10/01534/L – Refurbishment of existing cottage including enlargement of two existing openings, removal of one chimney and rebuilding of one corner of main house – application cancelled 27 September 2010.
7. 10/01622/L – External and internal alterations to form one dwellinghouse (Building B3) including enlargement of two existing openings, removal of one chimney and rebuilding of one corner of main house – application approved 28 October 2010.
8. 10/01623/F – External alterations to form one dwellinghouse (Building B3) including enlargement of two existing openings – application approved 28 October 2010.
9. 11/01945/MA – Minor Material Amendment through variation of Conditions 2: of previous planning permission (10/01623/F), 'External alterations to form one dwellinghouse (Building B3) including enlargement of two existing openings.' to allow changes to the approved drawings to provide new shed in garden; new kitchen window; new roof light in bathroom; blocking up of external doorway, provision of additional car parking space and new timber deck and fencing – application cancelled 07 February 2012.
10. 11/02187/F – Installation of rooflight and additional window, blocking of an external doorway , external amendments including decking, erection of 6ft fence and shed plus additional parking space – application cancelled 23 January 2012.
11. 11/02188/L – Installation of rooflight and additional window, blocking of an external doorway – application approved 06 February 2012.

Equality and Diversity Issues

12. There are no significant equality or diversity issues.

The Proposal

13. The application seeks consent for the following alterations:

- A new window which has been installed at ground floor level within the side elevation of the property. The window and associated alterations have already been granted listed building consent under permission number 11/02188/L.
- A new rooflight which has been installed on the rear (northeast) roof slope. The rooflight has already been granted listed building consent under permission number 11/02188/L.
- One of the existing doors within the rear elevation has been bricked up with bricks to match the existing. This has been granted listed building consent under permission number 11/02188/L.
- Raised timber decking with surrounding fencing which has been erected to the northwest corner of the property.
- Erection of a small timber shed behind the wall to the west of the property to provide storage space for garden equipment. The proposed shed is around

1.6m in width, 1.96m in depth and 2m in height.

- A new area of hardstanding which has been installed to provide an additional car parking space.
- An area of defined curtilage associated with the property surrounded by 5ft wrought iron fencing.

Representations Received

14. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. Two letters of representation have been received citing the issues as summarised in the table below.

15.

Issues Raised	Response
Any outbuilding should be brick construction with roof to match the cottage. A wooden garden shed does not suite a listed building.	See paragraph 26
Wooden sheds are easy to break into and add a security risk for the whole of Cannon Wharf.	See paragraph 20
There should be restrictions on the use of any shed so that it is used for storage only and does not turn into a workshop with the associated noise that could affect surrounding apartments.	See paragraph 21
The timber fence is out of keeping with the listed building and obscures part of the wall.	See paragraph 20
The fence could set a precedent for apartments along Cannon Wharf erecting fences along their balconies.	Fences around the curtilage are no longer proposed see paragraph 27. Fences on balconies would require planning permission and would have differing visual implications which could be assessed on their own merits/dismerits.
A sky light is not in keeping with a listed building.	See paragraph 24
Concern of overlooking from the rooflight to the balcony and rooms of adjacent flats at Cannon Wharf.	See paragraph 30

Consultation Responses

16. Design and Conservation – No objection to the alterations to the actual building which have been agreed in principle and carried out during the construction process. I do however have some concerns with regard to the treatment of the curtilage. Firstly, I am concerned at the shrub planting around the building which I consider unnecessary. The building is within an industrial area, and I consider that

in particular the shrubs in front of the south elevation detract from the appearance of the building in what would have originally been an industrial yard. Planting shrubs abutting the building could cause damp problems in terms of moisture retention and not allowing the lower sections of the wall to sufficiently breath and external water to wick/evaporate from the brick and flint work. I am also concerned at the domestic appearance of the fence. Being a former industrial area which also contained some housing it would be more appropriate to erect more solid walls around the curtilage. If this is the case the installation of sheds and raised timber decking within the curtilage will have less impact on the overall character as for all intents and purposes the are within the 'walled curtilage' will be a more domestic environment more closely associated with the domestic dwelling. To the east and behind the parking bay it may be preferable to have a lower brick wall and railing with shrub planting to avoid the wall being overbearing on the west elevation of the adjacent Canon Wharf block.

17. Transportation – Strictly, this proposal does not comply with our parking standards. Whilst there is an allowance for more than one parking space per dwelling in some city centre developments, this is to cater for the larger 3+ bedroomed dwellings rather than for modest two bedroomed cottages. I do seriously wonder, however, whether this arrangement is going to create more problems than it solves. The spaces are going to be incredibly awkward to use as the space within the main car park will have to be vacated, before a vehicle can exit from the internal space, and there is nowhere realistically for that car to wait without excessive manoeuvring. The gates block the access route to the fire escape when they are open. We have seen proposals of this type before, which have caused so much angst, and friction between neighbours for really very little benefit. My advice would be not to bother - despite that, I don't think it's refuseable.

ASSESSMENT OF PLANNING CONSIDERATIONS

Relevant Planning Policies

National Planning Policy Framework

Presumption in favour of sustainable development

Statement 4 – Promoting sustainable transport

Statement 7 – Requiring good design

Statement 12 - Conserving and enhancing the historic environment

Relevant policies of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk 2011

Policy 2 – Promoting good design

Relevant saved policies of the adopted City of Norwich Replacement Local Plan 2004

HBE8 – Development in Conservation Area

HBE9 – Listed Buildings and development affecting them

HBE12 – High quality of design

EP22 – Protection of residential amenity

TRA6 – Car Parking

Supplementary Planning Documents and Guidance

City Centre Conservation Area Appraisal

Principle of Development

Policy Considerations

18. The main matter of principle to assess is the definition of the curtilage of the property. The application also seeks a number of alterations to the property and changes within the proposed curtilage which are considered to be acceptable in principle subject to consideration of design, impact on the conservation area and listed building and impact in terms of amenity.
19. With regard to the extended curtilage, the area in question was previously defined as a landscaped area on the wider plans for Read Mills and Cannon Wharf, which would have no doubt formed one of a number of external communal areas within the development. The proposals seek to clearly define a curtilage to the property for external amenity space. Given the relationship with 213 King Street and its ground floor windows which face onto the space it is considered unlikely that the space would have been utilised by other occupants of the development. In principle the formation of a defined curtilage is considered to be appropriate in this case and subject to details could enhance the setting of the listed building.
20. Concern has been raised over the security of the shed, whilst clearly not as secure as a permanent structure it would not be considered reasonable to refuse permission for a shed out of a matter of principle. It is also relevant to note that sheds in residential curtilage normally do not require planning permission, consent is only required in this case due to its location in a conservation area.
21. With regard to suggested restrictions over the sheds usage, the shed is proposed to be ancillary to the domestic use of the cottage. Any change in use away from domestic use would require planning permission. It is not considered that there would be any justified reason in planning terms to restrict certain types of domestic use of the shed.

Impact on Listed Building and Wider Conservation Area

22. With regard to the design of the proposals and impact on the listed building and conservation area, each of the proposals has been assessed below.
23. The new window – this has already been installed and listed building consent obtained for the works. It was originally built using a poor choice of brick and cement pointing; however has been rebuilt using a more appropriate choice of brick and lime mortar to match existing repairs. Due to the height and size of the new opening it is not overly visible from King Street and it is not considered that it has a detrimental impact upon the character of the listed building or surrounding conservation area.
24. The new rooflight – again this has already been installed and listed building consent obtained for its insertion. This was proposed as an alternative to a further window in the side elevation. Because the houses are relatively simple in nature it is important that the simplicity is retained. All of the new openings are at ground floor height and are not visible when viewing the elevation from the King Street (as opposed to Novi Sad Bridge). Another opening would result in the further accretion of modern openings in the elevation to the extent that modern openings would start

to become the main feature of the elevation and it would become less apparent that this side of the building once abutted other buildings and was part of a continuous street elevation and malthouse yard complex. The conservation rooflight is flush fitting and would not involve the loss of any historic fabric as the roof has been constructed in new materials it is therefore not considered to be detrimental to the character of the listed building or surrounding conservation area.

25. Bricking up of the existing opening – the choice of bricks used is considered to be acceptable and matches the existing alterations at the property. The brickwork is set back slightly and the soldier course above the door has remained which shows that there was originally a door opening there. As such it is not considered that the alteration has a detrimental impact upon the overall character of the listed building.
26. Timber decking and shed – it is considered that the proposed decking, fencing and shed would have a fairly suburban appearance which is not ideal in this context. Certainly a more substantial brick built structure would be preferable. Currently the decking and fencing does stand out in the context of the listed building behind. However, given the relatively small area of the fencing and location of the shed both of which will be partly obscured from King Street by the existing brick wall (albeit not from Novi Sad Bridge) it is considered that subject to the fencing and proposed shed being painted in an appropriate colour (i.e. black or dark green for example) they would not have a detrimental impact on the listed building or conservation area.
27. Hardstanding & Railings – the hard standing for a car parking space has already been installed. Whilst not ideal, given the other areas of hard standing to the south and the location of the hardstanding in a fairly well obscured location behind the building, it is considered acceptable in this case. Previously fencing was proposed around the curtilage of the property, such a large area was not considered to be acceptable in this context. Following negotiations with the applicant this has been replaced by proposals to erect 5ft high (1.5m) railings around the curtilage with gates to the parking bay. Subject to further details of the proposed fencing this is considered to be acceptable.

Landscaping

28. The area around the property has already been laid to lawn. Further soft landscaping in the form of hedging has been indicated on the proposed site plan. As per the comments of design and conservation section certain hedging immediately adjacent to the dwellings is not considered appropriate, whereas hedging adjacent to and inside the boundary railings is considered appropriate. Hedging has been indicated along the line of railings to the northeast of the site however it is also considered appropriate for hedging to be provided along the line of railings to the northwest to provide a soft landscape buffer, enhance the appearance of the site and enhance the amenity given the curtilage of the dwelling.

Amenity

29. With regard to the amenity of future residents of 213 King Street the proposals are considered to be an improvement.
30. The main implication in terms of neighbour amenity is potential for overlooking from

the roof light to a neighbouring flat at Cannon Wharf (situated at a higher level). The rooflight in question is to a first floor bathroom and the base of the glazing is located approximately 2.2m above floor level. Views out of the window will look up towards balconies at Cannon Wharf, however it is not considered that this would result in a significant detrimental impact to the neighbouring properties.

Parking

31. An additional parking space is proposed within the site on the hard standing beyond a pair of access gates. The area for access to this space is also identified as a further parking space for 213. This parking area was previously identified for provision for Cannon Wharf and 213 King Street was originally approved as a car free development. Maximum parking provision for a dwelling of this size is 1 space per dwelling. One additional space is provided, however two are identified for allocation to 213 King Street and therefore this is not in line with policy TRA6. However given parking over the wider Cannon Wharf site would still be within parking standards on balance it is not considered that the proposals should be refused on this ground. With regard to obstruction of the fire exit path, it is suggested that simple sprung or hydraulic automatic closures are installed via condition to avoid obstruction.

Conclusions

32. The proposals involve a number of external alterations to 213 King Street and changes to the properties curtilage, these are considered to be acceptable in principle and subject to the conditions imposed would not have a negative impact on the character or appearance of the conservation area or the significance of the listed building. It is not considered that the proposals would have any significant detrimental impact on the amenities of neighbouring properties. Parking is above maximum parking standards, however given parking over the wider Cannon Wharf site would still be within parking standards on balance it is not considered that the proposals should be refused on this ground.

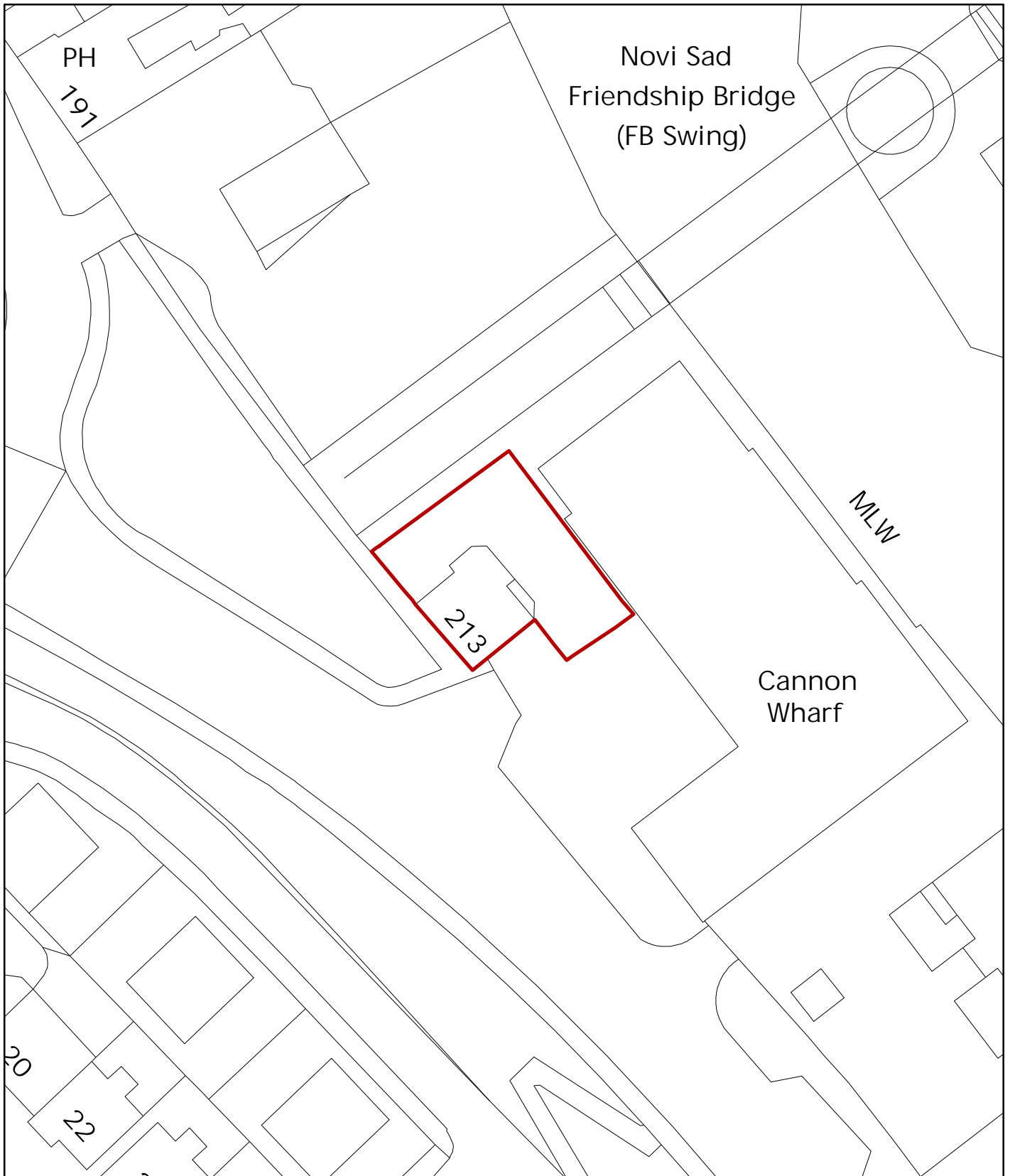
RECOMMENDATIONS

To approve Application No (12/00234/F 213 King Street Norwich NR1 2BU) and grant planning permission, subject to the following conditions:-

1. Standard time limit;
2. Development in accordance with approved plans;
3. Shed, fencing, decking sides and base to be painted in accordance with details to be submitted;
4. Large scale plans and/or manufactures details of the proposed wrought iron railings and gates, gates to be fitted with an automatic closures;
5. Notwithstanding information submitted, details of soft landscaping to be submitted, to include species, numbers and location of new planting and a timetable for provision.

(Reasons for approval: The decision has been made with particular regard to policy 2 of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk, saved policies HBE8, HBE9, HBE12, EP22 and TRA6 of the adopted City of Norwich Replacement Local Plan, the National Planning Policy Framework and other material considerations.

The proposals involve a number of external alterations to 213 King Street and changes to the properties curtilage, these are considered to be acceptable in principle and subject to the conditions imposed would not have a negative impact on the character or appearance of the conservation area or the significance of the listed building. It is not considered that the proposals would have any significant detrimental impact on the amenities of neighbouring properties. Parking is above maximum parking standards, however given parking over the wider Cannon Wharf site would still be within parking standards on balance it is not considered that the proposals should be refused on this ground.)



© Crown Copyright and database right 2012. Ordnance Survey 100019747.

Planning Application No 12/00234/F
Site Address 213 King Street
Scale 1:500



NORWICH
City Council

PLANNING SERVICES



Cannon Wharf

Means of
Escape
Staircase

Balcony above
greyed out for clarity

Minimum 3m wide maintenance
strip to be kept clear

5ft hg wrought iron fence to plot
boundary, to match existing
perimeter fencing, planting strip
to inside. Gates to parking bay
and footpath.
500mm Planting strip using
Evergreen Perennials & Ground
Cover Shrubs.

6ft high
treated
horizontal
boarded
timber
fence

Steps up
onto
decking.

Raised
timber
decking.

Timber
Shed

B3 Building
213 King Street

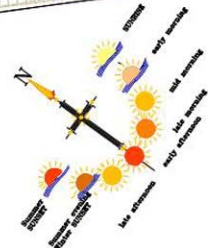
Fire escape route

213 King Street
Parking Bay

213 King Street
Parking Bay

Fire escape route

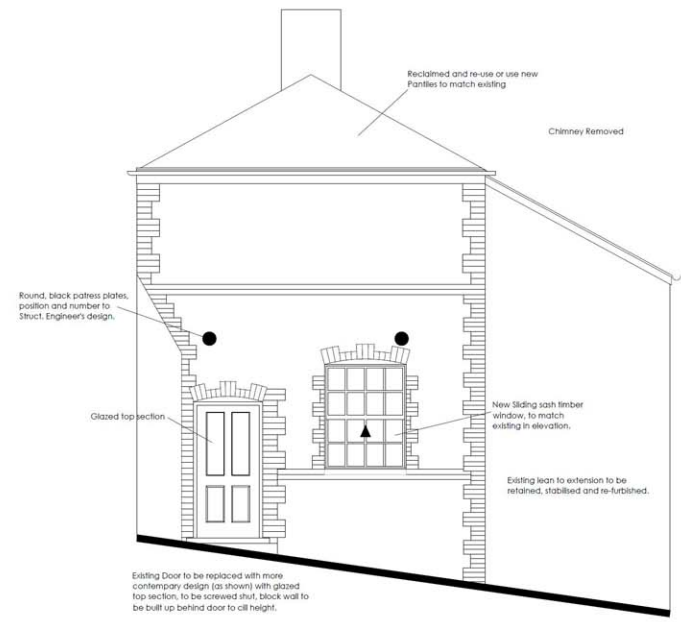
500mm
Planting strip
using
Evergreen
Perennials &
Ground Cover
Shrubs.



King Street



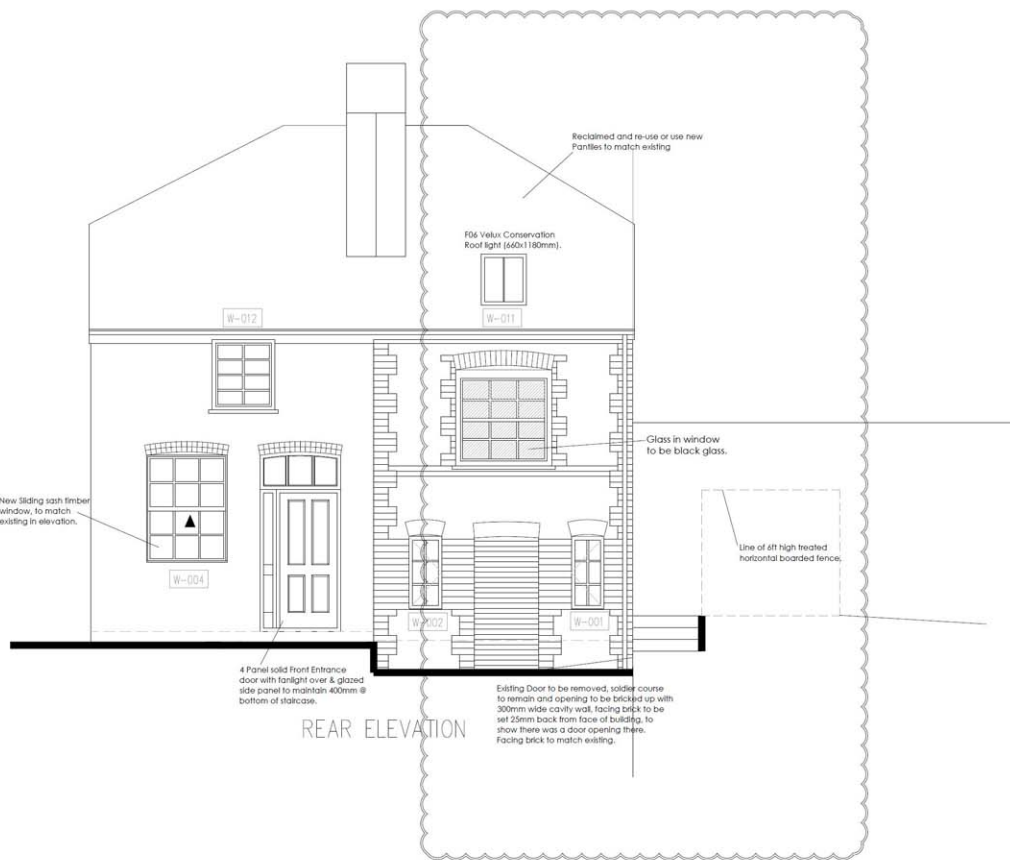
FRONT ELEVATION



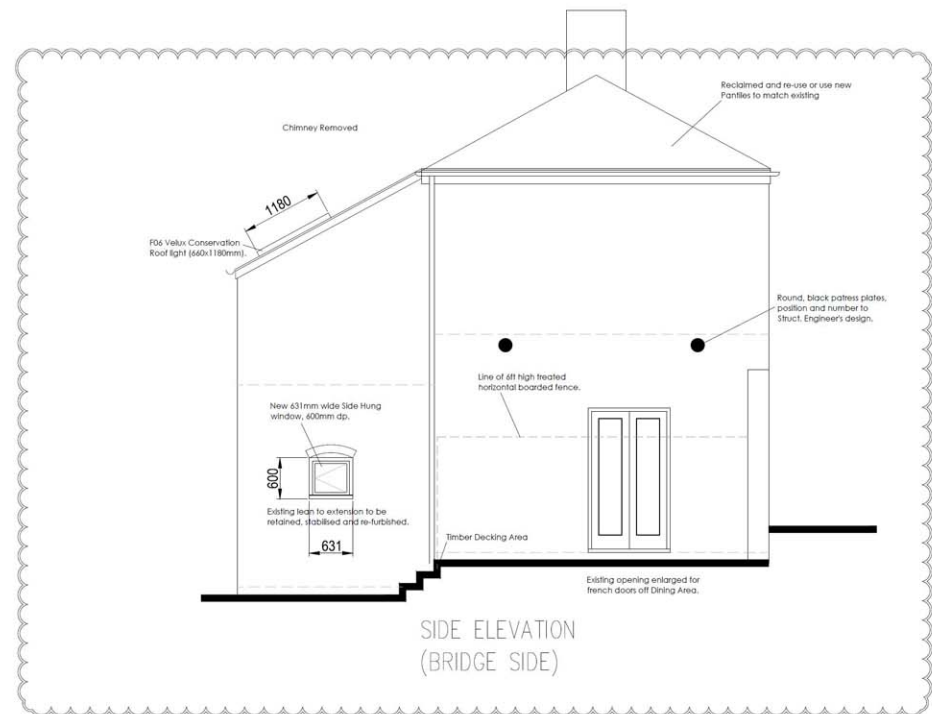
SIDE ELEVATION
(MILL SIDE)

GENERAL
Main Roof
Windows :
Gutters &

First Floor Plan



REAR ELEVATION



SIDE ELEVATION
(BRIDGE SIDE)