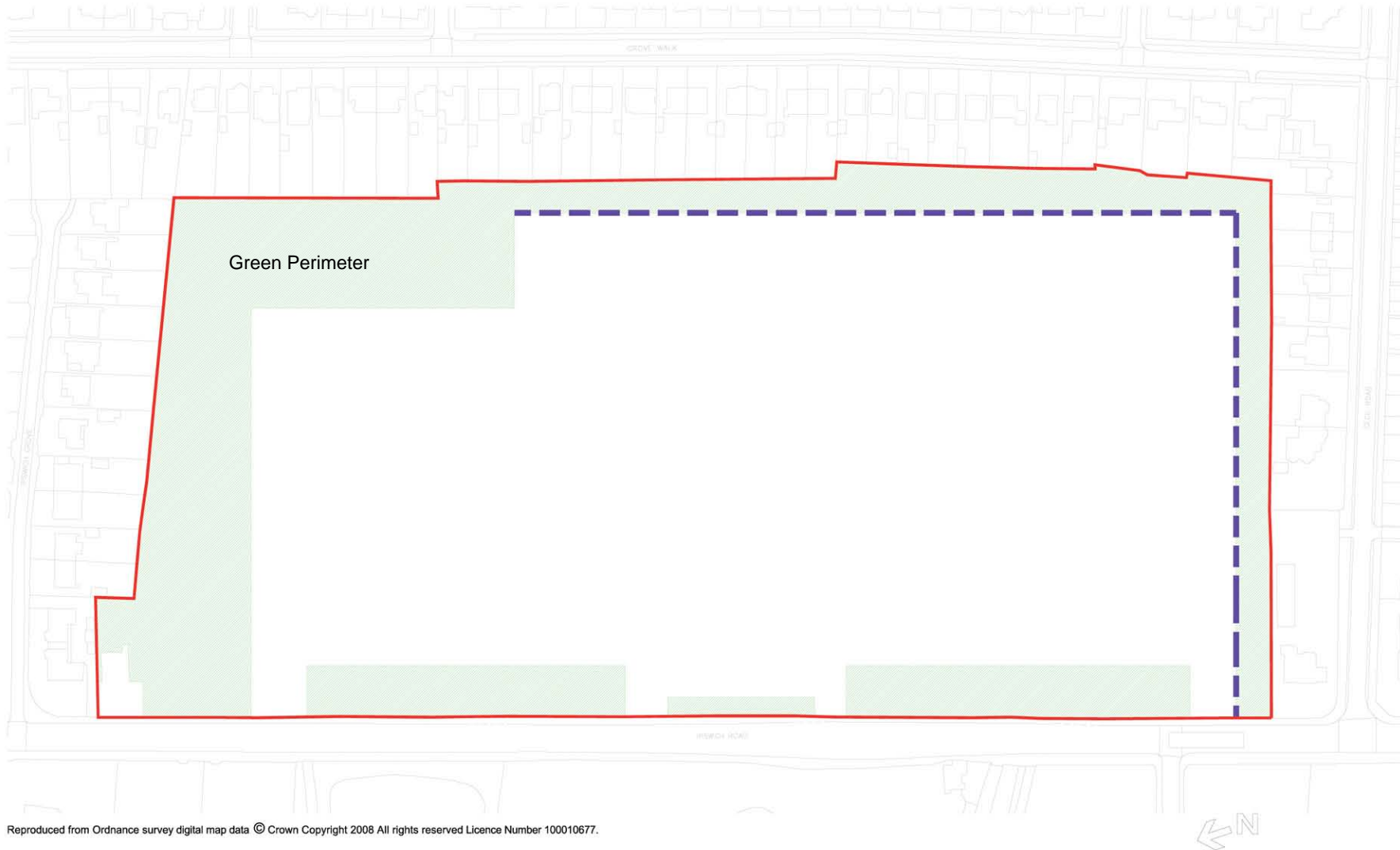


TPO and Conservation Area trees (Not to Scale)



- NOTES:**
- PLANNING APPLICATION SITE BOUNDARY
  - PERIMETER ZONE (TREES + LANDSCAPE)
  - MINIMUM WIDTH OF PERIMETER ZONE
- TOLERANCE OF ±2m PERMITTED UNLESS SHOWN AS MINIMUM WIDTH.

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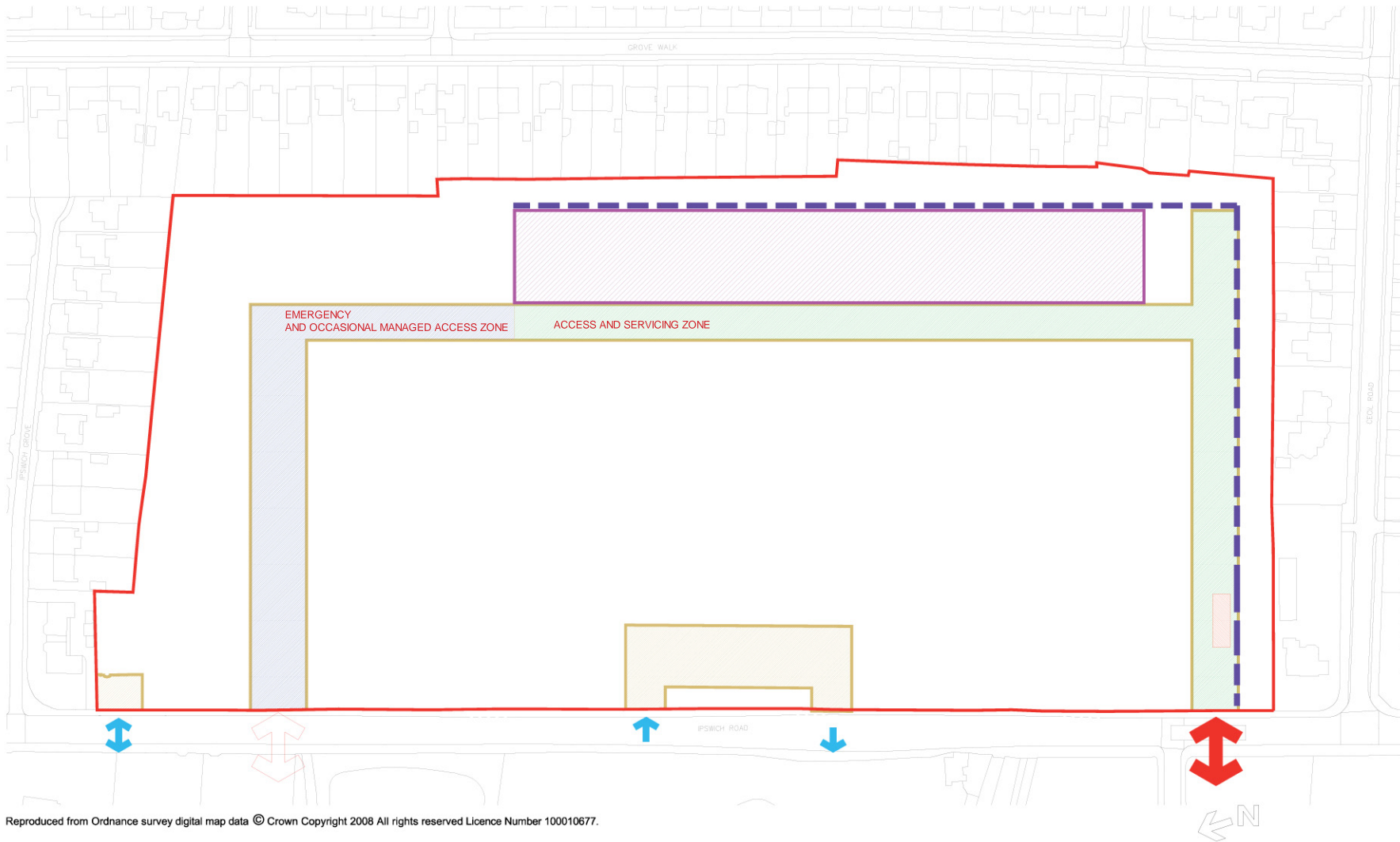
Appendix 1c

Parameter Plan 1\_Site Boundary Conditions

Drawn By: AM	Checked By: EN	Authorised By: PE	Revision By: AM	Rev. Authorised By: PE
Date: 16/01/08	Scale: 1:1500@A3	Drawing No: 20157-01-AR-09-070	Rev: E	Rev. date: 10/07/08

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10-Jul-08 1:35 PM By Elias Niaz



- NOTES:**
- PLANNING APPLICATION SITE BOUNDARY
  - ➔ PRINCIPAL ACCESS POINT (2 WAY)
  - ➔ EMERGENCY AND OCCASIONAL MANAGED SERVICE ACCESS (2 WAY)
  - ➔ SECONDARY ACCESS POINTS
  - ACCESS AND SERVICING ZONE
  - EMERGENCY AND OCCASIONAL MANAGED ACCESS ZONE
  - PARKING + ACCESS ZONE
  - PRINCIPAL CAR PARK - 345 SPACES SURFACE LEVEL ONLY
  - MINIMUM WIDTH OF PERIMETER ZONE
- TOLERANCE OF ±2m PERMITTED ON WIDTH OF ACCESS ZONE UNLESS SHOWN AS MINIMUM WIDTH OF PERIMETER ZONE
- WIDTH OF ROAD SUBJECT TO DETAILED DESIGN, CONSTRUCTION METHODOLOGY AND APPROVAL BY TREE PROTECTION OFFICE

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Appendix 1d

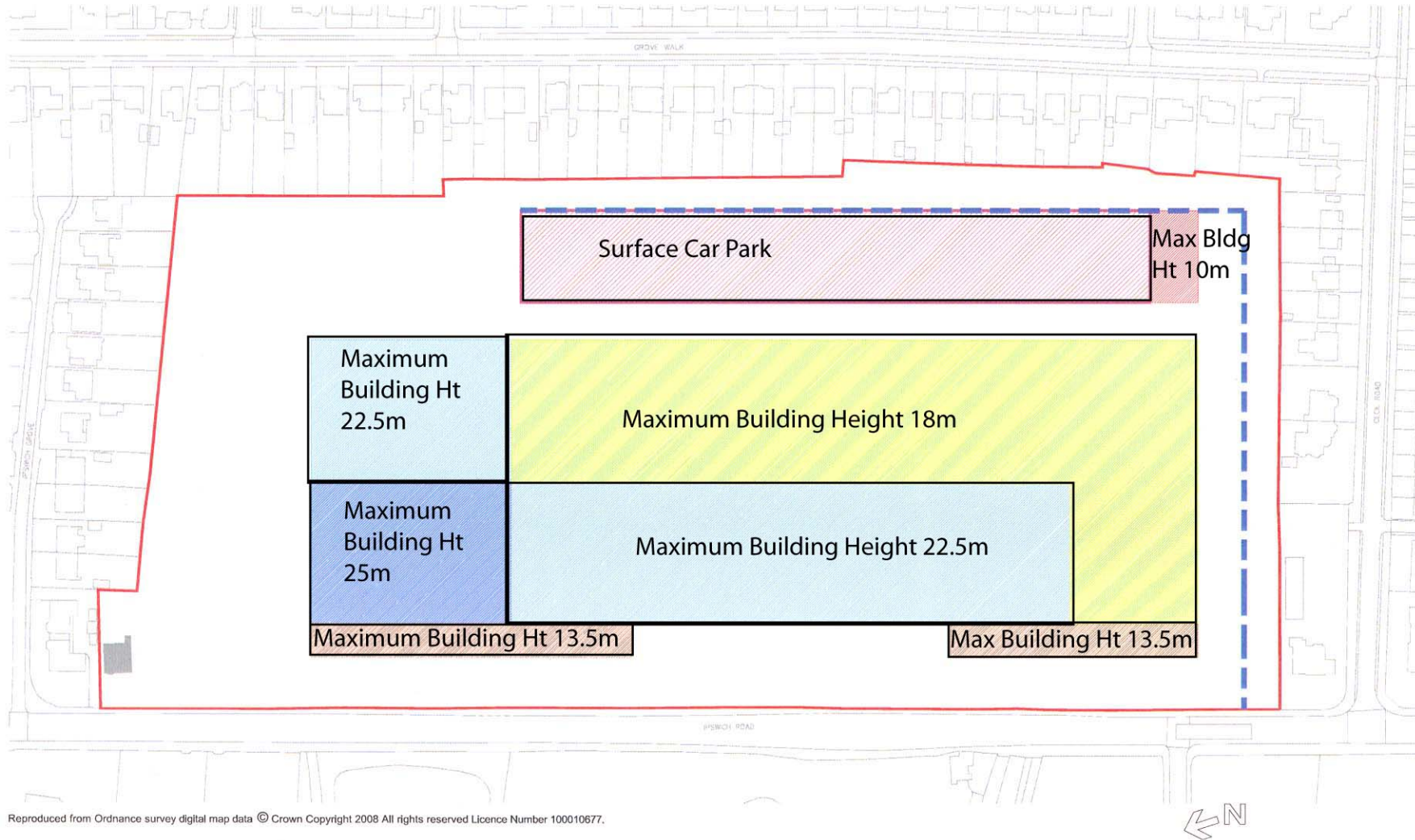
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Parameter Plan 2\_Access and Parking

Drawn By: AM	Checked By: EN	Authorised By: PE	Revision By: EN	Rev. Authorised By: PE
Date: 16/01/08	Scale: 1:1500@A3	Drawing No: 20157-01-AR-09-071	Rev. date: F	Rev. date: 15/07/08

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- NOTES:**
- PLANNING APPLICATION SITE BOUNDARY
  - MAXIMUM BUILDING HEIGHT - 10m
  - MAXIMUM BUILDING HEIGHT - 13.5m
  - MAXIMUM BUILDING HEIGHT - 18m
  - MAXIMUM BUILDING HEIGHT - 22.5m
  - MAXIMUM BUILDING HEIGHT - 25m
  - EXISTING BUILDING TO BE RETAINED.
  - PRINCIPAL CAR PARK  
345 SPACES ON GROUND LEVEL ONLY
  - MINIMUM WIDTH OF PERIMETER ZONE
- TOLERANCE OF ±2m IN ALL DIRECTIONS PERMITTED FOR EXTERNAL BUILDING LINE & ADDITIONAL FLEXIBILITY OF ±2m FOR OVERHANGS, CANOPIES & BRISE SOLEIL, UNLESS SHOWN AS MINIMUM WIDTH OF PERIMETER ZONE
- DIVISIONS BETWEEN ZONES ARE NOT ABSOLUTE. SOME TOLERANCE BETWEEN ZONES PERMITTED (±10m IN HORIZONTAL PLANE) EXCEPT FOR BETWEEN 13.5m ZONE & OTHER ZONES, WHICH IS TO BE FIXED.
- ALL BUILDING HEIGHTS ARE IN METRES & RELATE TO THE MAXIMUM HEIGHT (INCLUDING ROOF PLANT).
- ASSUMED FLOOR HEIGHTS ARE 4 - 4.5m (EXCLUDING SPORTS/POOL/DOUBLE HEIGHT AREAS).

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Appendix 1e

Parameter Plan 3\_Building Envelope

Drawn By:	Checked By:	Authorised By:	Revision By:	Rev. Authorised By:
AM	EN	PE	EN	PE
Date:	Scale:	Drawing No:	Rev:	Rev. Date:
16/01/08	1:1500@A3	20157-01-AR-09-072	G	15/07/08

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