

**Report to** Planning applications committee

**Item**

10 August 2017

**Report of** Head of planning services

**Subject** Application no 17/00590/F - 65 Elm Grove Lane,  
Norwich, NR3 3LF

**Reason  
for referral** Objections

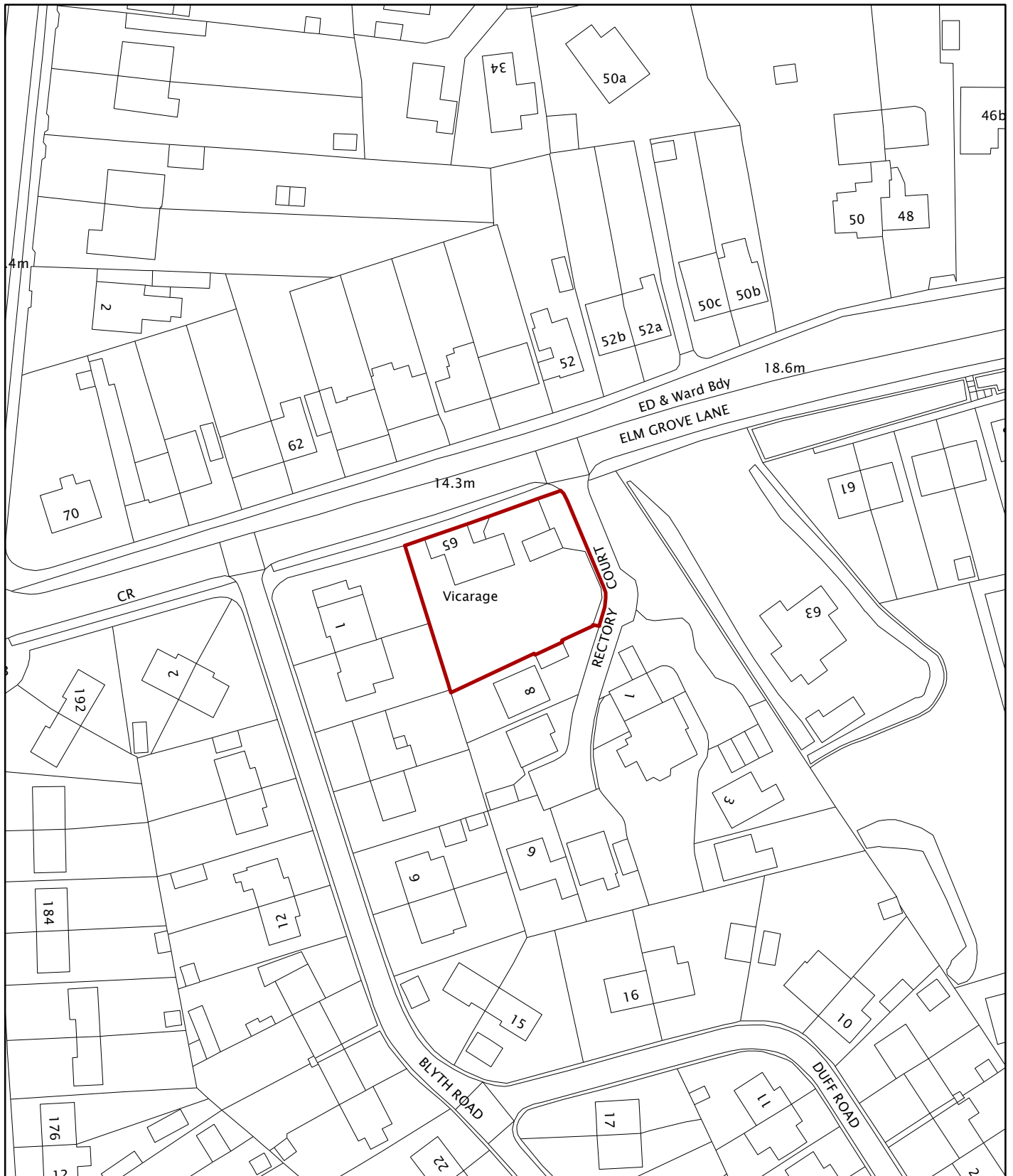
4(e)

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<b>Ward:</b>	Sewell
<b>Case officer</b>	Charlotte Hounsell - <a href="mailto:charlottehounsell@norwich.gov.uk">charlottehounsell@norwich.gov.uk</a>

Development proposal		
Single storey side extension and two-storey rear extension. Roof dormer windows in east and west elevations. New doors and windows in south elevation.		
Representations		
Object	Comment	Support
3	1	0

Main issues	Key considerations
1	Design – scale and materials
2	Amenity – overlooking and overshadowing
3	Impacts upon trees
<b>Expiry date</b>	29 June 2017
<b>Recommendation</b>	Approve



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Planning Application No 17/00590/F

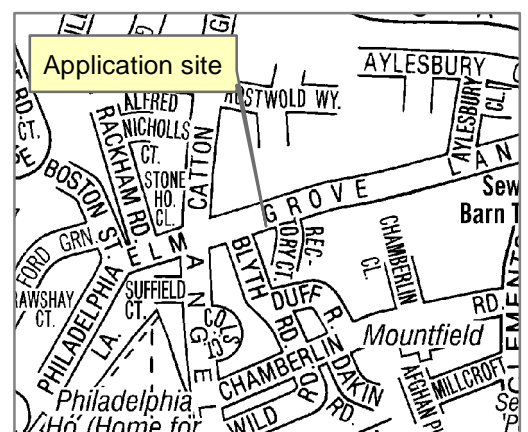
Site Address 65 Elm Grove Lane

Scale 1:1,000



**NORWICH**  
City Council

PLANNING SERVICES



## The site and surroundings

1. The subject property is located on the South side of Elm Grove Lane, North of the City Centre. The detached dwelling is constructed of red brick and clay pantiles. The property is located on a hill so that it is at a higher level than the properties located along Blyth Road. The property has a relatively blank elevation facing onto Elm Grove Lane. There is a single storey front extension which forms the entrance hall. There is an existing brick wall and metal fencing to the front of the property. A garage is located to the East of the dwelling and is accessed from Rectory Court. The garden to the rear and sides of the dwelling contains a number of trees which are subject to Tree Preservation Orders. Properties along Rectory Court and their gardens can be seen from the rear of the property. The properties in the surrounding area are of mixed age and design.

## Constraints

2. The property is located within a Tree Preservation Order site.
3. The property is located within a critical drainage area.

## Relevant planning history

- 4.

Ref	Proposal	Decision	Date
14/01483/TPO	T1 - T5 Lime: re-pollard; T6 Sycamore sapling: remove.	Approved	18/11/2014

## The proposal

5. The proposal is as follows:
  - (a) Single storey side extension
  - (b) Two storey rear extension
  - (c) Dormer windows to roof
  - (d) New external materials, windows and doors
6. A revised proposal was submitted omitting the balcony to the rear of the site replacing it with a Juliet balcony. The assessment below is based upon the revised proposal only.

## Summary information

Proposal	Key facts
<b>Appearance</b>	
Materials	White render, slate roof tiles and grey aluminium windows and doors
<b>Transport matters</b>	
Vehicular access	As existing
No of car parking spaces	As existing

## Representations

7. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. Four letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Proposal (particularly materials) out of keeping with character of area and existing dwelling	See Main Issue 1
Proposal would result in a cramped form of development	See Main Issue 1
Overlooking from rear upper floor windows, dormers and balcony	See Main Issue 2
Loss of light to neighbouring properties	See Main Issue 2
Concerns about conversion to flats or bedsits	See Other Matters
Additional parking pressures	See Other Matters

## Consultation responses

8. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

## **Tree protection officer**

9. The illustrated ground protection around the Mulberry (T1) will provide adequate protection during the build and the amended tree protection fence location encompasses all retained trees on site. Works on site must be carried out in accordance with the submitted AIA, AMS and TPP. Please condition a pre-construction site meeting. As mentioned previously the proposed extension and dormer windows will be in close proximity of TPO trees' canopies, T16 and T2, and will require ongoing management to reduce back from the building. Separate consent will be required for works to these trees. Applications to maintain and enhance the amenity provided by these protected trees is likely to be approved, requests to remove these trees because of leaf fall, shade, sap or bird excrement is likely to be refused.

## **Assessment of planning considerations**

### **Relevant development plan policies**

10. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
  - JCS1 Addressing climate change and protecting environmental assets
  - JCS2 Promoting good design
11. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
  - DM1 Achieving and delivering sustainable development
  - DM2 Ensuring satisfactory living and working conditions
  - DM3 Delivering high quality design
  - DM6 Protecting and enhancing the natural environment
  - DM7 Trees and development

### **Other material considerations**

12. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
  - NPPF0 Achieving sustainable development
  - NPPF7 Requiring good design
  - NPPF8 Promoting healthy communities

### **Case Assessment**

13. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

## **Main issue 1: Design**

14. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 9, 17, 56 and 60-66.
15. The proposed single storey and two storey extensions are considered to be appropriate additions in terms of their scale and design. The property is located within a large plot with ample garden space that is well vegetated. This proposal would retain a large proportion of the garden and would not encroach upon the existing boundaries. Therefore the proposal is considered to be of an appropriate scale and density and would not result in a cramped form of development.
16. The dormer windows would be located on the East and West roof slopes. The dormers would be set well within the roof slopes and retain the eaves of the main house. Whilst these would be noticeable additions to the roof slopes, they have been designed so that they will appear subservient to the main dwelling and are not considered to be overly dominant within the streetscene.
17. It is proposed to use render, timber cladding, slate and aluminium fittings for the alterations. Concerns were raised that the choice of materials would be out of keeping with the surrounding area and would not relate well to the existing dwelling. The proposed materials are now considered to be of good quality. Slate roofs are seen within Rectory Court, and render is commonly seen within the surrounding area. The properties along Elm Grove Lane, Rectory Court and Blyth Road are all of differing ages and designs. Therefore, whilst it is acknowledged that the materials would significantly alter the appearance of the dwelling, this is not considered to be detrimental to the character of the surrounding area.

## **Main issue 2: Amenity**

18. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
19. Concerns were raised that the proposal would result in a loss of light to properties on Rectory Court. Whilst there is an increase in the built form at the site, there would be approximately 12.00m distance to the boundary with the closest property. In addition, there is no increase to the maximum ridge height as the property is currently three storeys. Therefore, the proposal is not considered to result in a loss of light to neighbouring dwellings.
20. Concerns were raised that the increase in the proportion of glazing and installation of a covered balcony to the rear elevation would impact upon the amenity of dwellings on Rectory Court. The Officer noted during the site visit that the garden of No. 1 Rectory Court is already somewhat overlooked, however the provision of a balcony would have resulted in an unacceptable level of overlooking and increased activity at the upper floor of the dwelling. The revised proposal removes this balcony which is replaced by a Juliet balcony. Whilst this would still result in some overlooking, the revised proposal is considered to be an improvement upon the original scheme. It should be noted that the installation of Juliet balconies can be undertaken under permitted development rights. It is considered that material harm through overlooking would not arise from the Juliet balcony.
21. Concerns were raised that the proposal would also increase opportunity for overlooking from the new dormer windows. The East facing window is not

considered to result in a loss of privacy as it would face directly onto the canopy of trees and is well screened. Officers were concerned that the East facing dormer window would impact upon the privacy of dwellings along Blyth Road. The applicant has agreed to install obscured glazing to this window, which should be secured by condition, and this is considered sufficient to allay concerns.

### **Main issue 3: Trees**

22. Key policies and NPPF paragraphs – DM7, NPPF paragraphs 109 and 118.
23. The property is located within a TPO site and a number of the trees are protected. Officers were concerned that the alterations to the roof had the potential to conflict with the canopies of the protected trees. The tree protection officer is satisfied that the development could be achieved without long term damage to the trees. They highlighted that, as a separate application for works to TPO trees would need to be submitted and approved prior to any ongoing maintenance works, the Council would be able to refuse an application for works that would harm the trees. The tree officer also noted that the tree protection works would be sufficient and should be conditioned along with a pre-construction meeting to ensure they are undertaken correctly.
24. Therefore, the proposal is not considered to result in significant harm to the protected trees and Officers are satisfied that the requirement to apply for tree works for ongoing maintenance would further insure against the loss of or damage to these trees.

### **Compliance with other relevant development plan policies**

25. Whilst the alterations at the property are extensive, the increase in the footprint of the building is moderate. Given this and the remaining permeable garden space on site, the proposal is not considered to have a significant impact upon the drainage situation of the site.

### **Other matters**

26. Concerns were raised that the proposal relates to the creation of flats or bedsits within the already large property. The application is for alterations to a residential dwelling only and has therefore been assessed as such. A change of use application would be required for the sub-division of the dwelling.
27. Concerns were also raised that the proposal would result in increased parking pressures within the area due to a possible increase in the number of residents. Officers understand that the property would be used as a family home. It is also not located within a controlled parking zone and provides parking space in the garage on Rectory Court. Therefore the proposal is not considered to result in additional parking pressures within the surrounding area.

### **Equalities and diversity issues**

28. There are no significant equality or diversity issues.

## **Local finance considerations**

29. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
30. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
31. In this case local finance considerations are not considered to be material to the case.

## **Conclusion**

32. The revised scheme is considered to be of an appropriate scale and would use high quality materials which are seen in the surrounding area. The proposal would not represent overly dominant additions and is not considered to result in a loss of light to neighbouring dwellings. Amendments were made to reduce the impact of the proposal in terms of overlooking. The proposal is considered to be achievable in the context of the tree constraints of the site and Officers are satisfied that the extra measures in place as part of works to TPO trees applications are sufficient to ensure the survival of the protected trees.
33. Therefore, the development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

## **Recommendation**

To approve application no. 17/00590/F - 65 Elm Grove Lane Norwich NR3 3LF and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. In accordance with AIA/AMS;
4. Pre-construction site meeting;
5. Obscure glazing to West facing dormer.

## **Article 35(2) statement**

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.

## **Informative**

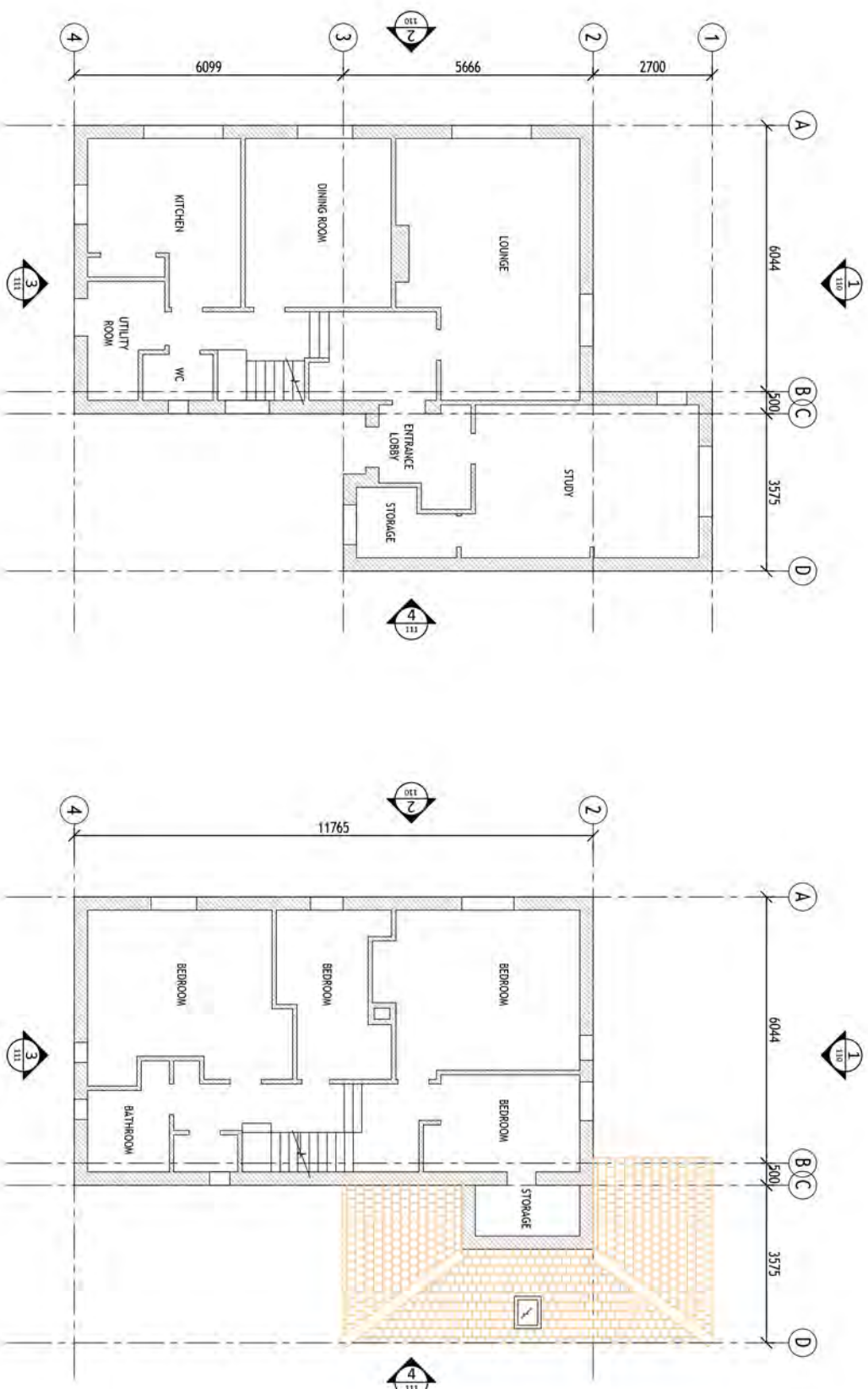
- Works to trees applications should be submitted for maintenance works
- Applicant should be aware of relevant protection of biodiversity legislation

Notes:

Read in conjunction with drawings:

- 001 : SITE LOCATION PLAN
- 002 : SITE PLANS & TREE SURVEY
- 020 : PROPOSED FOUNDATION SKETCHES
- 100+ : EXISTING PLANS
- 110+ : EXISTING ELEVATIONS
- 200+ : PROPOSED PLANS
- 210+ : PROPOSED ELEVATIONS

This is a colour drawing.  
All dimensions given are in millimeters  
unless noted otherwise.  
Do not scale from this drawing.



EXISTING  
GROUND FLOOR PLAN  
1  
SCALE 1:100 @ A3

EXISTING  
FIRST FLOOR PLAN  
2  
SCALE 1:100 @ A3

Notes:

Read in conjunction with drawings:

- 001 : SITE LOCATION PLAN
- 002 : SITE PLANS & TREE SURVEY
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- B 19-07-17 EXISTING ROOF LIGHTS SHOWN.
- A 28-03-17 EXISTING WINDOW SHOWN - 2nd FLR; GRID C.
- A 28-03-17 ISSUED FOR PLANNING APPLICATION.

Rev Date Comments/Changes

Status:

FOR PLANNING

Client:

SENTINEL PROPERTY

Project Title:

65 ELM GROVE LANE  
NORWICH, NR3 3LF

Drawing Title:

PLANNING APPLICATION DRAWING  
EXISTING FLOOR PLANS  
SHEET 2

Drawn By:

PCB

Current Revision:

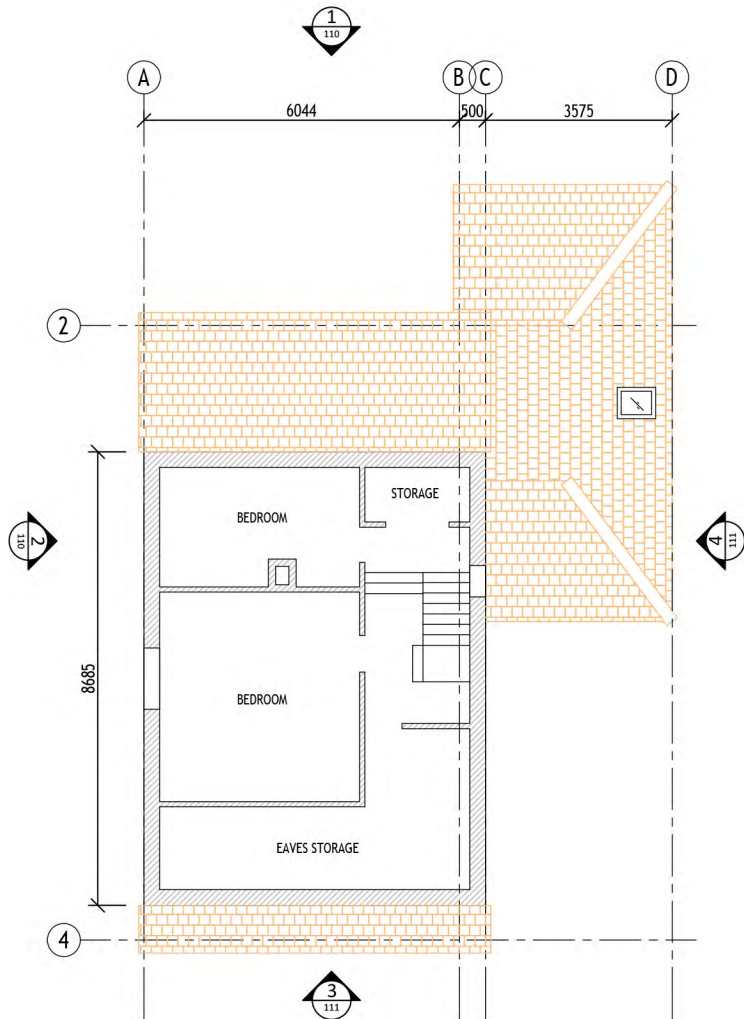
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Date Drawn:

2nd March 2017

Drawing Number:

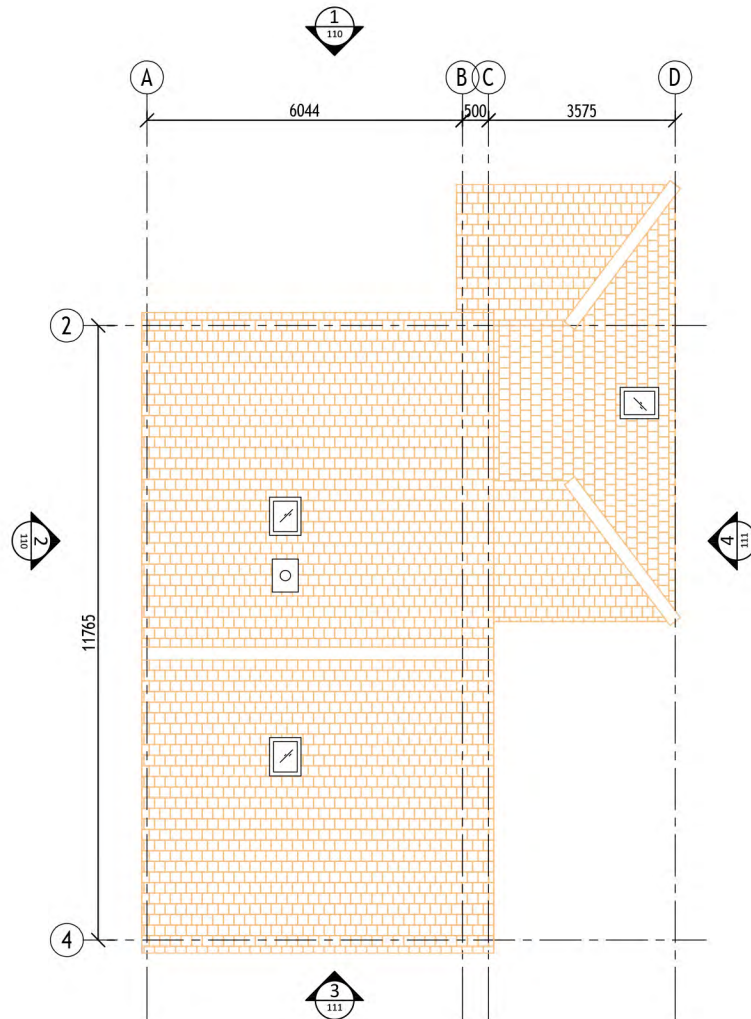
PBCS\_101



EXISTING  
SECOND FLOOR PLAN

SCALE 1:100 @ A3

3  
-



EXISTING  
ROOF PLAN

SCALE 1:100 @ A3

4  
-

Notes:

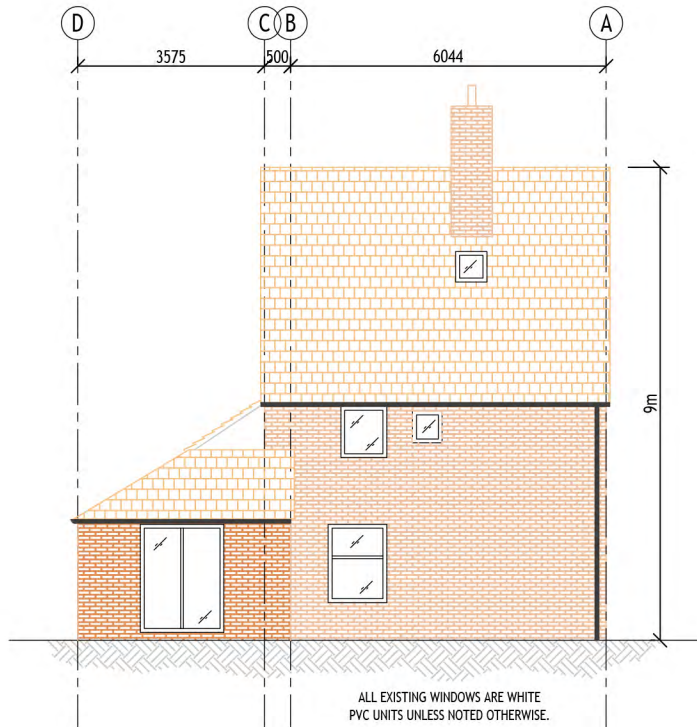
Read in conjunction with drawings:

001 : SITE LOCATION PLAN  
002 : SITE PLANS & TREE SURVEY  
020 : PROPOSED FOUNDATION SKETCHES  
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210+ : PROPOSED ELEV

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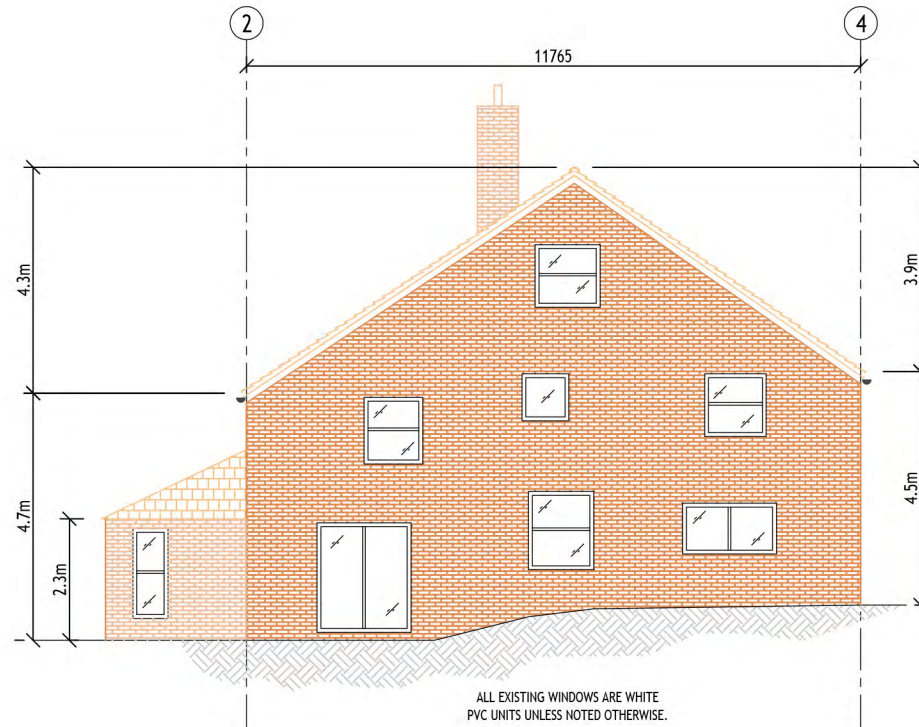
Do not scale from this drawing.



EXISTING ELEVATION

SCALE 1:100 @ A3

1



EXISTING ELEVATION

SCALE 1:100 @ A3

2

B 19-07-17 EXISTING ROOF LIGHT SHOWN (ELEV 1).  
A 28-03-17 ISSUED FOR PLANNING APPLICATION.

Rev	Date	Comments/Changes

Status:

FOR PLANNING

Client:

SENTINEL PROPERTY

Project Title:

65 ELM GROVE LANE  
NORWICH, NR3 3LF

Drawing Title:

PLANNING APPLICATION DRAWING  
EXISTING ELEVATIONS  
SHEET 1

Drawn By:

PCB

Current Revision:

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Date Drawn:

2nd March 2017

Drawing Number:

PBCS\_110

Notes:

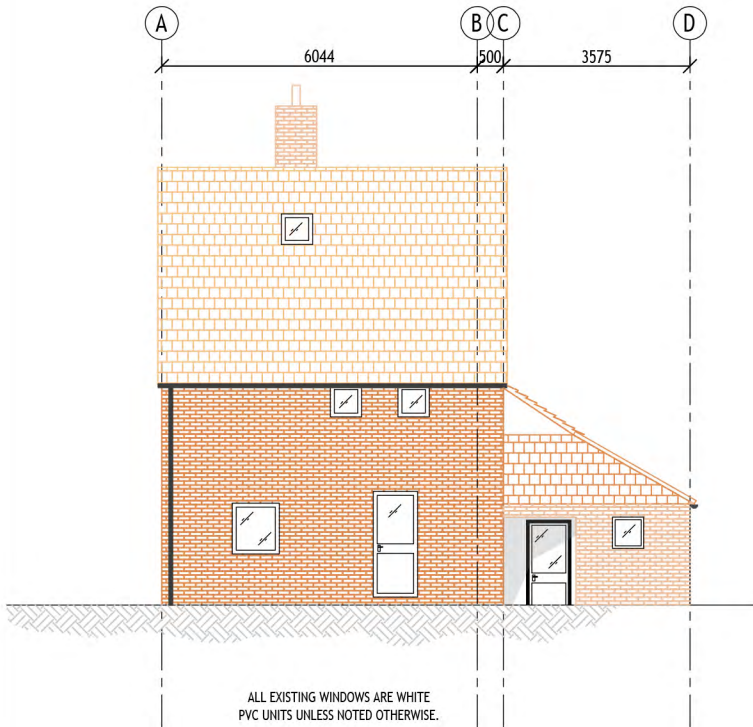
Read in conjunction with drawings:

001 : SITE LOCATION PLAN  
002 : SITE PLANS & TREE SURVEY  
020 : PROPOSED FOUNDATION SKETCHES  
100+ : EXISTING PLANS  
110+ : EXISTING ELEVS  
200+ : PROPOSED PLANS  
210+ : PROPOSED ELEVS

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All dimensions given are in millimeters  
unless noted otherwise.

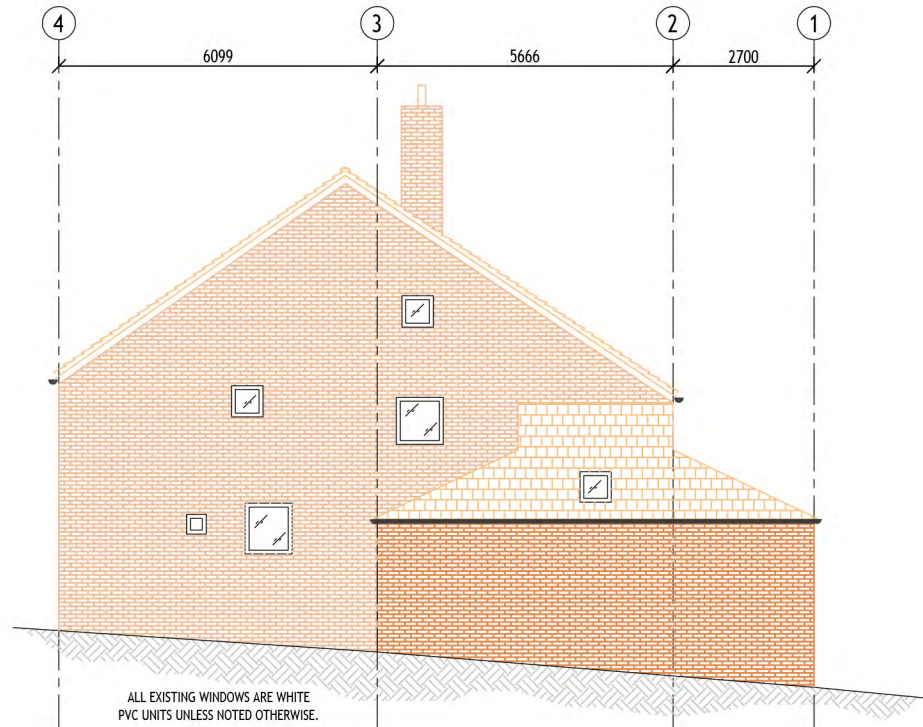
Do not scale from this drawing.



EXISTING ELEVATION

SCALE 1:100 @ A3

3



EXISTING ELEVATION

SCALE 1:100 @ A3

4

B 19-07-17 EXISTING ROOF LIGHT SHOWN (ELEV 1).  
A 28-03-17 ISSUED FOR PLANNING APPLICATION.

Rev	Date	Comments/Changes

Status: FOR PLANNING

Client: SENTINEL PROPERTY

Project Title:  
65 ELM GROVE LANE  
NORWICH, NR3 3LF

Drawing Title:  
PLANNING APPLICATION DRAWING  
EXISTING ELEVATIONS  
SHEET 2

Drawn By: PCB	Current Revision: B
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Date Drawn: 2nd March 2017	Drawing Number: PBCS_111
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Notes:

Read in conjunction with drawings:

- 001 : SITE LOCATION PLAN
- 002 : SITE PLANS & TREE SURVEY
- 020 : PROPOSED FOUNDATION SKETCHES
- 100+ : EXISTING PLANS
- 110+ : EXISTING ELEV
- 200+ : PROPOSED PLANS
- 210+ : PROPOSED ELEV

This is a colour drawing.

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Do not scale from this drawing.

B 19-07-17 GF WINDOWS ON GRID A UPDATED.  
A 28-03-17 ISSUED FOR PLANNING APPLICATION.

Rev Date Comments/Changes

Status:

FOR PLANNING

Client:

SENTINEL PROPERTY

Project Title:

65 ELM GROVE LANE  
NORWICH, NR3 3LF

Drawing Title:

PLANNING APPLICATION DRAWING  
PROPOSED FLOOR PLANS  
SHEET 1

Drawn By:

PCB

Current Revision:

B

Date Drawn:

2nd March 2017

Drawing Number:

PBCS\_200

**PROPOSED  
GROUND FLOOR PLAN**

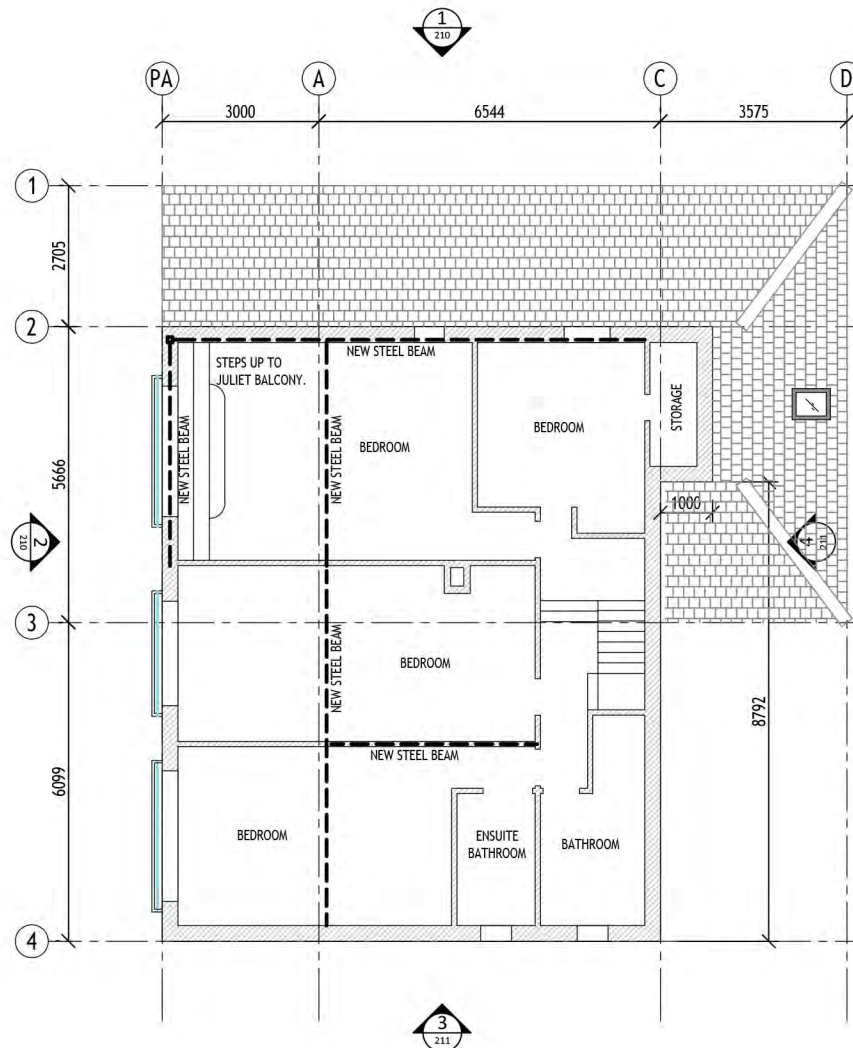
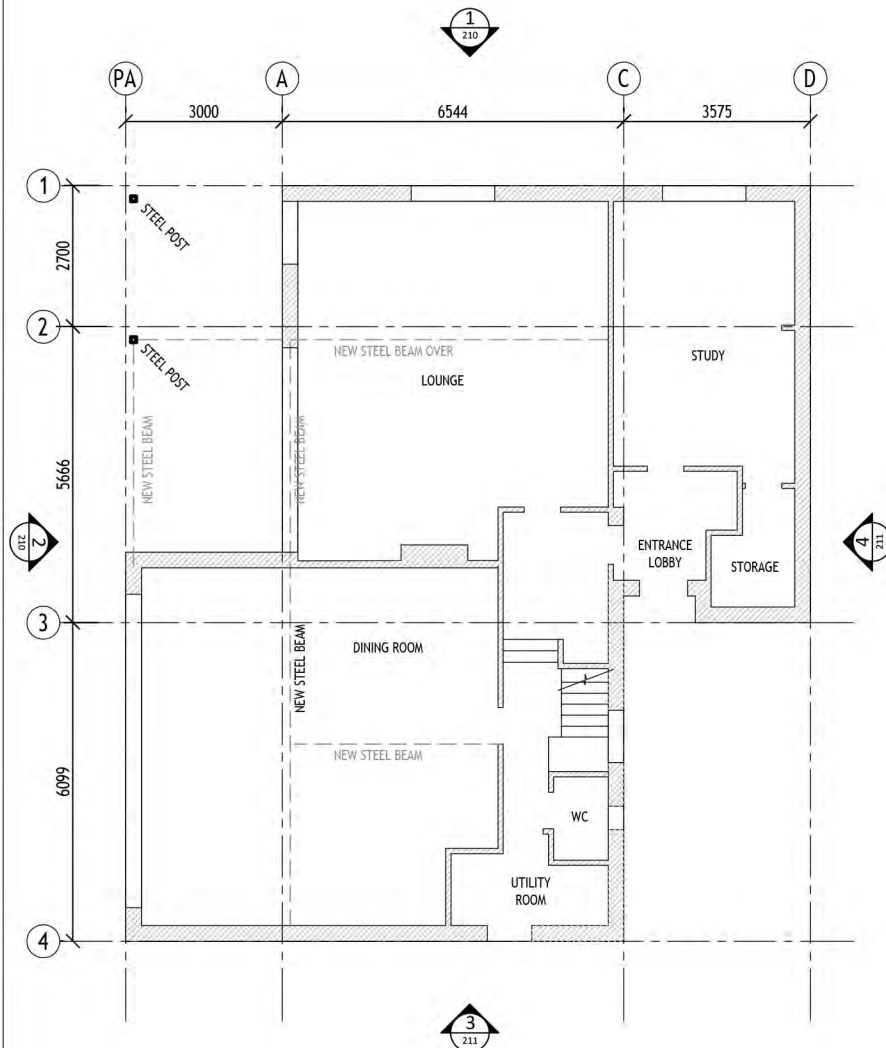
SCALE 1:100 @ A3

1

**PROPOSED  
FIRST FLOOR PLAN**

SCALE 1:100 @ A3

2



Notes:

Read in conjunction with drawings:

- 001 : SITE LOCATION PLAN
- 002 : SITE PLANS & TREE SURVEY
- 020 : PROPOSED FOUNDATION SKETCHES
- 100+ : EXISTING PLANS
- 110+ : EXISTING ELEV
- 200+ : PROPOSED PLANS
- 210+ : PROPOSED ELEV

This is a colour drawing.

All dimensions given are in millimeters unless noted otherwise.

Do not scale from this drawing.

- B 30-07-17 COVERED BALCONY IS NOW INTERNAL SPACE.
- A 28-03-17 ISSUED FOR PLANNING APPLICATION.

Rev Date Comments/Changes

Status:

FOR PLANNING

Client:

SENTINEL PROPERTY

Project Title:

65 ELM GROVE LANE  
NORWICH, NR3 3LF

Drawing Title:

PLANNING APPLICATION DRAWING  
PROPOSED FLOOR PLANS  
SHEET 2

Drawn By:

PCB

Current Revision:

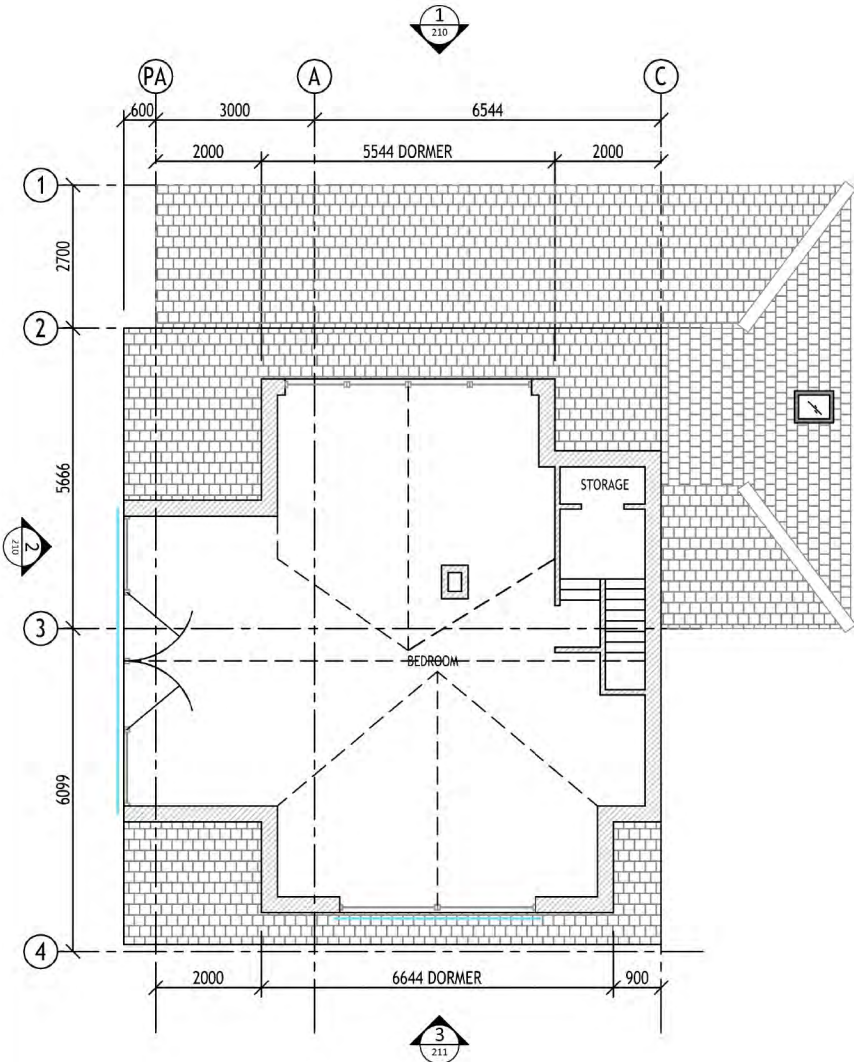
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Date Drawn:

2nd March 2017

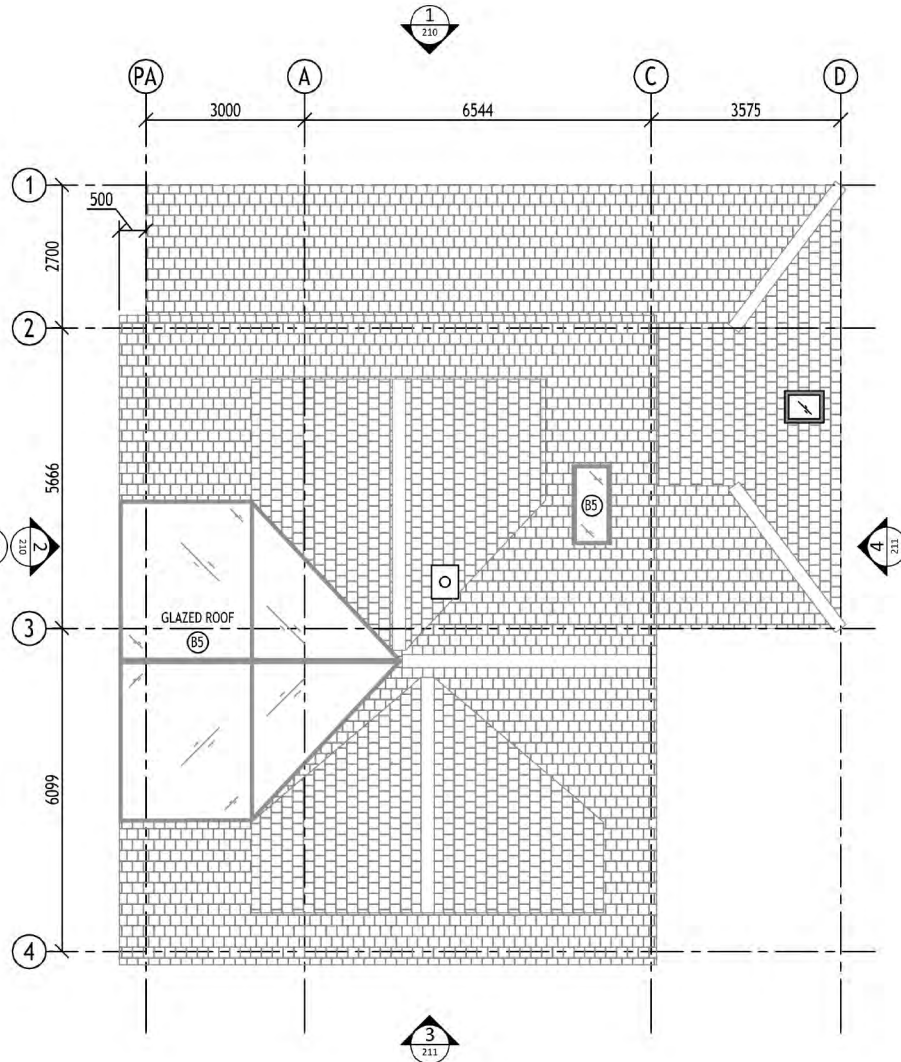
Drawing Number:

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PROPOSED  
SECOND FLOOR PLAN

SCALE 1:100 @ A3



PROPOSED  
ROOF PLAN

SCALE 1:100 @ A3



Scale:

As noted (@ A3)

Notes:

Read in conjunction with drawings:

001 : SITE LOCATION PLAN  
002 : SITE PLANS & TREE SURVEY  
020 : PROPOSED FOUNDATION SKETCHES  
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Do not scale from this drawing.

Key:

#### FINISHES

- A1 WHITE RENDERED WALL FINISH.  
A2 FEATHER EDGE TIMBER CLADDING.  
A3 SLATE TILES.  
A4 DARK GREY PPC ALUMINIUM CLADDING TO PROPOSED STEEL POST.  
A5 PAINTED TIMBER SOFFIT / FASCIA BOARDS.

#### FITTINGS etc

- B1 DARK GREY ALUMINIUM FRAMED DOUBLED GLAZED WINDOW.  
B2 DARK GREY ALUMINIUM FRAMED DOUBLED GLAZED DOOR.  
B3 DARK GREY ALUMINIUM DOUBLED GLAZED SLIDING / FOLDING DOOR.  
B4 DARK GREY PPC GUTTERING / DOWNPIPES.  
B5 DARK GREY ALUMINIUM FRAMED ROOF LIGHT.  
B6 GLASS JULIET BALCONY.  
~~B7 GLASS BALUSTRADE TO COVERED GABLE BALCONY.~~

B 30-07-17 COVERED BALCONY IS NOW INTERNAL SPACE.  
FINISHES A3 - REVISED TO SLATE TILES.

A 28-03-17 ISSUED FOR PLANNING APPLICATION.

Rev Date Comments/Changes

Status:

FOR PLANNING

Client:

SENTINEL PROPERTY

Project Title:

65 ELM GROVE LANE  
NORWICH, NR3 3LF

Drawing Title:

PLANNING APPLICATION DRAWING  
PROPOSED ELEVATIONS  
SHEET 1

Drawn By:

PCB

Current Revision:

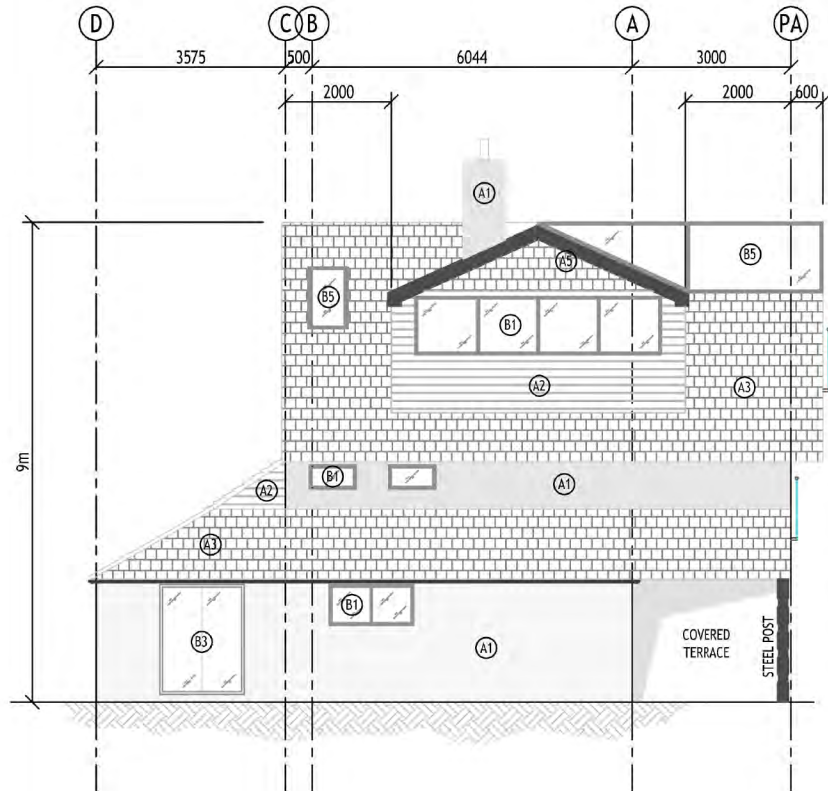
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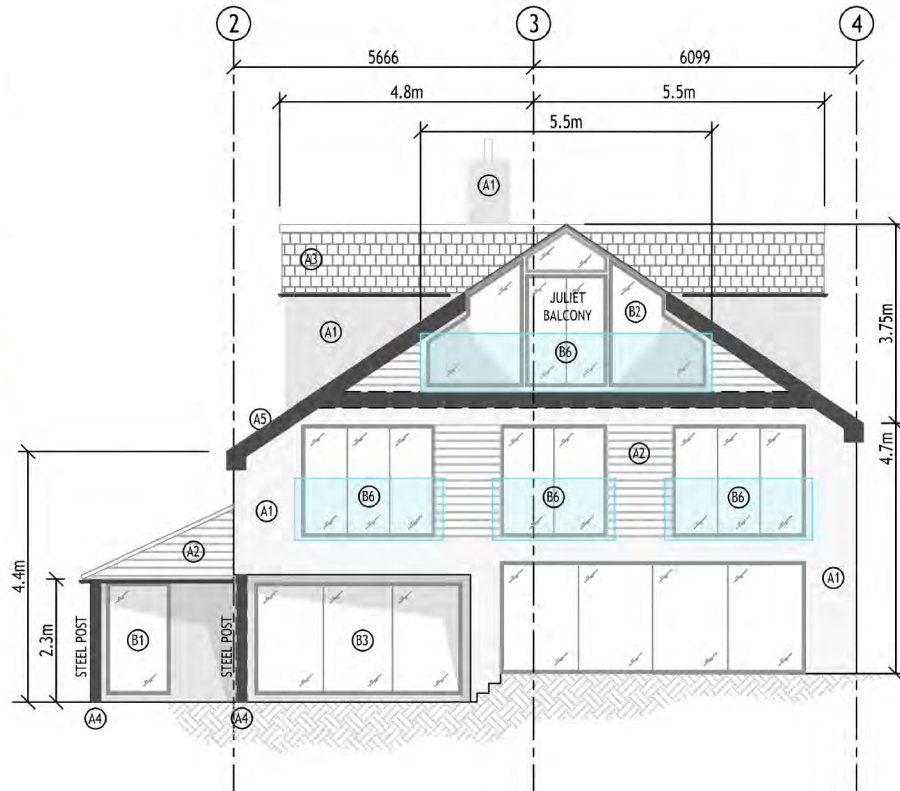
2nd March 2017

Drawing Number:

PBCS\_210



PROPOSED ELEVATION 1  
SCALE 1:100 @ A3



PROPOSED ELEVATION 2  
SCALE 1:100 @ A3

Scale:

As noted (@ A3)

Notes:

Read in conjunction with drawings:

- 001 : SITE LOCATION PLAN  
002 : SITE PLANS & TREE SURVEY  
020 : PROPOSED FOUNDATION SKETCHES  
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110+ : EXISTING ELEV  
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210+ : PROPOSED ELEV

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Key:

**FINISHES**

- A1 WHITE RENDERED WALL FINISH.  
A2 FEATHER EDGE TIMBER CLADDING.  
A3 SLATE-EFFECT CEMENT FIBRE TILES.  
A4 DARK GREY PPC ALUMINIUM CLADDING TO PROPOSED STEEL POST.  
A5 PAINTED TIMBER SOFFIT / FASCIA BOARDS.

**FITTINGS etc**

- B1 DARK GREY ALUMINIUM FRAMED DOUBLED GLAZED WINDOW.  
B2 DARK GREY ALUMINIUM FRAMED DOUBLED GLAZED DOOR.  
B3 DARK GREY ALUMINIUM DOUBLED GLAZED SLIDING / FOLDING DOOR.  
B4 DARK GREY PPC GUTTERING / DOWNPIPES.  
B5 DARK GREY ALUMINIUM FRAMED ROOF LIGHT.  
B6 GLASS JULIET BALCONY.  
B7 GLASS BALUSTRADE TO COVERED GABLE BALCONY.

- B 19-07-17 GABLE END WINDOWS REMOVED (ELEV 4).  
NEW LARGER WINDOW ADDED (ELEV 4).  
WINDOW REMOVED TO SUIT PLAN (ELEV 3).

- A 28-03-17 ISSUED FOR PLANNING APPLICATION.

Rev Date Comments/Changes

Status:

FOR PLANNING

Client:

SENTINEL PROPERTY

Project Title:

65 ELM GROVE LANE  
NORWICH, NR3 3LF

Drawing Title:

PLANNING APPLICATION DRAWING  
PROPOSED ELEVATIONS  
SHEET 2

Drawn By:

PCB

Current Revision:

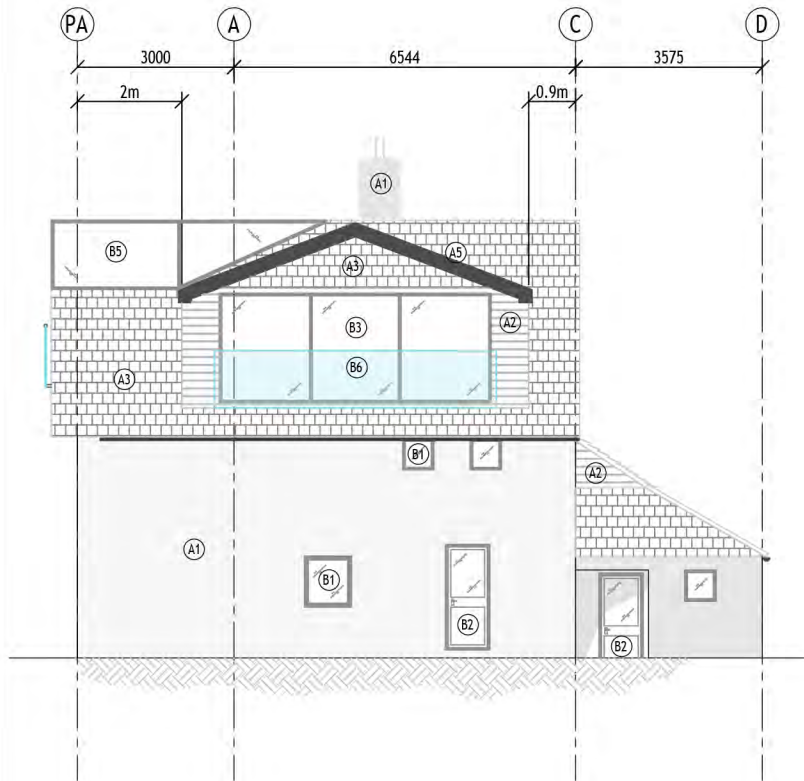
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Date Drawn:

2nd March 2017

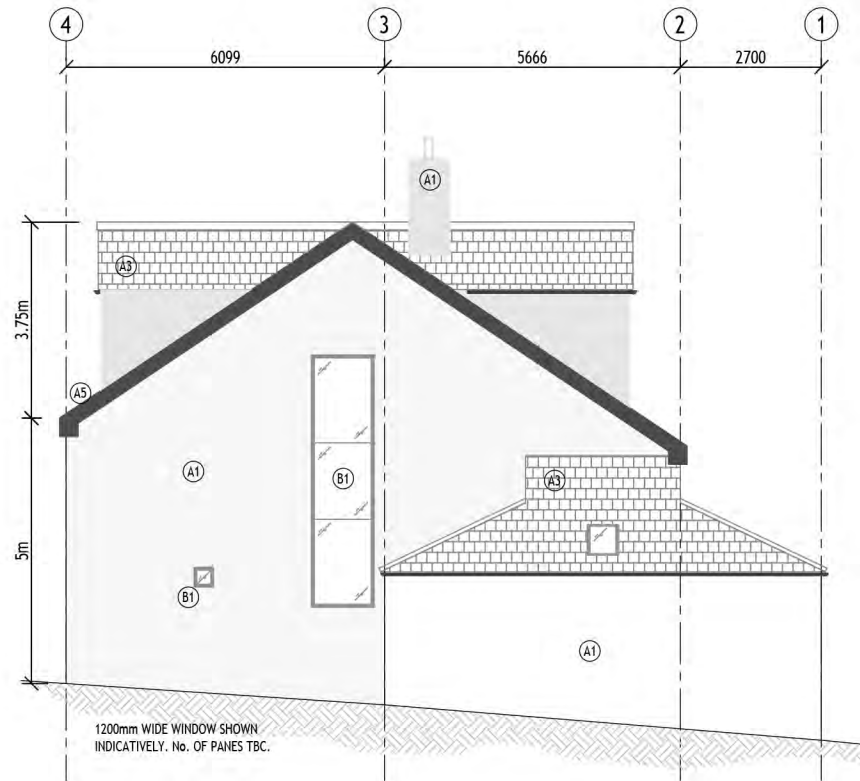
Drawing Number:

PBCS\_211



**PROPOSED ELEVATION 3**

SCALE 1:100 @ A3



**PROPOSED ELEVATION 4**

SCALE 1:100 @ A3