

**Report to** Planning applications committee

**Item**

15 June 2015

**Report of** Head of planning services

**Subject**

Application no 17/00584/F - 475 Unthank Road, Norwich,  
NR4 7QN

**Reason**

**for referral**

Objection

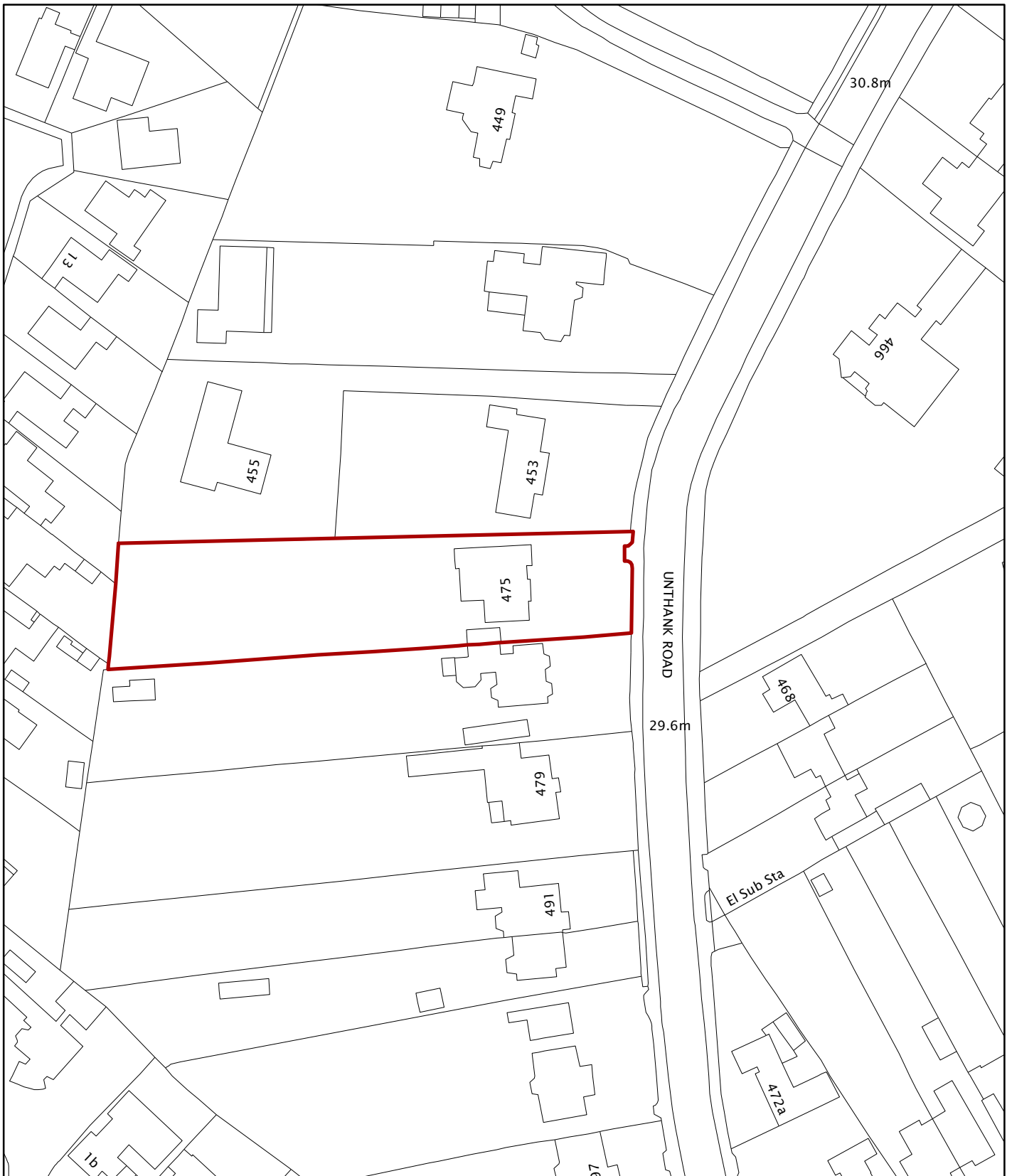
5(g)

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<b>Ward:</b>	Eaton
<b>Case officer</b>	Stephen Polley - <a href="mailto:stephenpolley@norwich.gov.uk">stephenpolley@norwich.gov.uk</a>

Development proposal		
Two storey rear extension		
Representations		
Object	Comment	Support
2	0	0

Main issues	Key considerations
1 Scale and Design	The impact of the development within the context of the original design and the surrounding conservation area
2 Residential Amenity	The impact of the development on the neighbouring properties nos. 453 and 477 Unthank Road
<b>Expiry date</b>	26 May 2017
<b>Recommendation</b>	Approve



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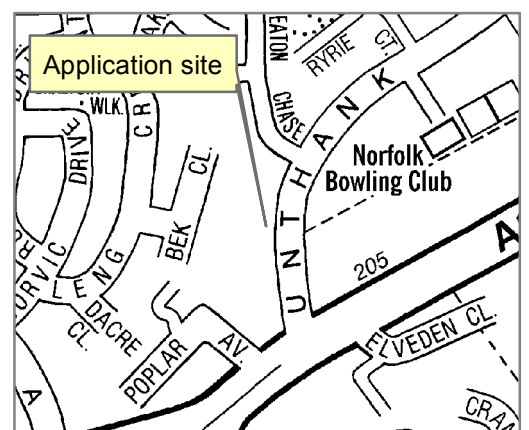
Planning Application No 17/00584/F  
Site Address 475 Unthank Road

Scale 1:1,000



**NORWICH**  
City Council

PLANNING SERVICES



## The site and surroundings

1. The site is located on the west side of Unthank Road to the south-west of the city. The subject property is a detached 2 storey dwelling originally constructed circa 1950 using red bricks, red clay pantiles and painted timber windows and doors. The property sits on a large plot with a gravel driveway to the front and a long, mature garden to the rear. The property has recently been extended and altered extensively in a matching style. A timber shed has been placed to the side (south) of the main house)
2. The prevailing character of the surrounding area is residential with most properties being large detached dwellings, many of which have been extended and altered. The site is bordered by no. 477 to the south and no. 453 to the north. The boundaries are marked by 2m high fencing and mature planting.
3. It should be noted that the current application has been submitted following consent having been granted on two previous occasions for a similar development. Following the commencement of construction it became apparent that the development was not being constructed in accordance with the previously approved plans. An application was submitted to regularise the differences but this was refused on the grounds that the amended scheme represented an unacceptable form of development, causing harm to the character and appearance of the subject property.
4. This application represents a proposal which is now only slightly larger in scale than the previously approved schemes. Construction of the rear extension has commenced with the majority of the structural work having been completed at the time of the most recent site visit.

## Constraints

5. Conservation Area: Unthank and Christchurch

## Relevant planning history

- 6.

Ref	Proposal	Decision	Date
07/00507/F	Two-storey extensions at front and side and single storey extensions and dormer window at rear of dwelling.	APPR	18/06/2007
16/00200/F	Two storey rear extension.	APPR	06/04/2016
16/00705/NM A	Amendment to planning permission 16/00200/F to allow juliet balcony.	Cancelled	16/06/2016
16/01137/F	Two storey rear extension with balcony.	APPR	30/09/2016
17/00107/F	Two storey rear extension with balcony.	REF	14/03/2017

## The proposal

7. The proposal is for the construction of a two storey rear extension with a balcony. The proposed extension is to be constructed on the south-west corner, projecting 6.5m into the rear garden on its north elevation and 7.1m along its south elevation. The proposed extension has a width of 5m and is to cover an area of 32.5m<sup>2</sup>.
8. The extension features a rear facing gable end with a hipped roof design. The proposed roof has an eaves height which sits slightly above the eaves of the existing dwelling at 5.6m tall and has a ridge height slightly lower than the main ridge measuring 7.7m tall.
9. The proposal also includes a rear facing bay window at ground floor level which allows for the creation of a 1m deep balcony above at first floor level. A canopy is proposed to be installed above the balcony area and a set of patio doors are proposed on both the north and south facing elevations.

## Representations

10. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. Two letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Proposal is too large / badly designed	See main issue 1
Proposal results in loss of light / loss of privacy (views from balcony) (no. 477 Unthank Road)	See main issue 2
Proposal being constructed using inaccurate drawings	See other matters

## Consultation responses

11. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

### Design and conservation

12. No comments submitted.

# Assessment of planning considerations

## Relevant development plan policies

13. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
  - JCS1 Addressing climate change and protecting environmental assets
  - JCS2 Promoting good design
14. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
  - DM1 Achieving and delivering sustainable development
  - DM2 Ensuring satisfactory living and working conditions
  - DM3 Delivering high quality design
  - DM9 Safeguarding Norwich's heritage

## Other material considerations

15. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
  - NPPF0 Achieving sustainable development
  - NPPF6 Delivering a wide choice of high quality homes
  - NPPF7 Requiring good design
  - NPPF10 Meeting the challenge of climate change, flooding and coastal change
  - NPPF11 Conserving and enhancing the natural environment
  - NPPF12 Conserving and enhancing the historic environment
  - NPPF13 Facilitating the sustainable use of minerals

## Case Assessment

16. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

## Main issue 1: Design & Heritage

17. Key policies and NPPF paragraphs – JCS2, DM3, DM9, NPPF paragraphs 9, 17, 56, 60-66 and 128-141.
18. The extension is to be constructed using matching materials including red bricks, red clay pantiles and painted timber windows and doors. The proposal is to contain a study at ground floor level, a bedroom at first floor level and a storage area within the roof space
19. Particular concern has been raised that the proposal is overly large and does not suit the character of the property or the surrounding conservation area. It is accepted that the proposed extension is of a noticeably large scale but it is not considered that its design or scale is out of keeping with the character and

appearance of the subject property or surrounding conservation area. The subject property was originally constructed as a large detached dwelling which has since been added to and sits on a substantial plot. The scale of the dwelling is typical of the area and as such is not considered to be out of keeping. The revised design now ensures that the overall appearance of the extension ensures that it appears subservient to the existing dwelling. Only the eaves appear higher than the original, however a step of 0.25m is not considered to cause significant harm to the visual amenity of the area.

20. Concern was raised that the proposed section of roof linking the roof of the extension to the main roof has not been constructed in accordance with the plans submitted. The originally submitted plans indicated a drop of 0.6m which is indeed greater than the now finished roof line, which has a much smaller drop of approximately 0.1m. This is not considered to be a significant change to the design of the extension; an amended plan has been submitted which illustrates the finished roof line accurately.
21. Concern has also been raised regarding the design of the balustrade on the balcony to the rear which is considered to be of an inappropriate design and is not in accordance with plans submitted. However, this detailed difference to the design of the balustrade does not materially affect the appearance of the proposed development.

## **Main issue 2: Amenity**

22. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
23. The proposed enlargement will result in an improved living space for the occupants of the subject property, however the scale may lead to some impacts on the residential amenities of neighbouring properties.
24. Particular concern was raised that the proposed balcony would result in a loss of privacy. The inclusion of a balcony will allow for some overlooking of the rear garden of no. 477, however the layout of the neighbouring property ensures that the only views possible are not of the main outdoor living space area, which is well screened by an earlier extension and mature planting.
25. Particular concern was raised that the height of the extension will result in some loss of light to no. 477 Unthank Road. As discussed above, the scheme now includes a hipped roof design which is only marginally larger in scale than the previously approved scheme. As was the case then, it is not considered that the proposal which will be noticeable will not result in significant harm to neighbouring residential amenities by way of loss of light or overshadowing. The scale of the extension and the large distances between dwellings will ensure that significant overshadowing, loss of light or outlook will occur.
26. The roof line has further been revised to reflect the true built form which as discussed above is considered to be a relatively minor change. As such, it is not considered that the height of the finished roof line will result in significant harm by way of loss of light or overshadowing.
27. The inclusion of patio doors and canopy above the balcony are not expected to have any significant impacts upon the residential amenities of the neighbouring

properties. The patio doors face the shared boundary with no. 477 at ground floor level only where there is existing screening in place. The canopy provides limited cover for the occupants of the subject property when using the balcony, the area of which is not particularly large.

### **Other matters**

28. The following matters have been assessed and considered satisfactory and in accordance with relevant development plan policies, subject to appropriate conditions and mitigation:
29. Concern was raised that the submitted block plans contained some inaccuracies which may have prejudiced earlier decision making. It is accepted that the location plan does not wholly accurately represent the site and its surrounding, however decisions have been made following extensive site visits which have formed the basis of decision making.

### **Equalities and diversity issues**

30. There are no significant equality or diversity issues.

### **Local finance considerations**

31. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
32. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
33. In this case local finance considerations are not considered to be material to the case.

### **Conclusion**

34. The proposal will result in an extended dwelling which is considered to be of an appropriate scale and design, which appears subservient to the original dwelling and does not cause significant harm to the character of the surrounding conservation area.
35. The proposed development will have a limited impact upon the residential amenities of neighbouring properties with no significant harm being caused by way of overshadowing, overlooking or loss of outlook.
36. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

## **Recommendation**

To approve application no. 17/00584/F - 475 Unthank Road Norwich NR4 7QN and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;





Existing Side Elevation



Existing Rear Elevation



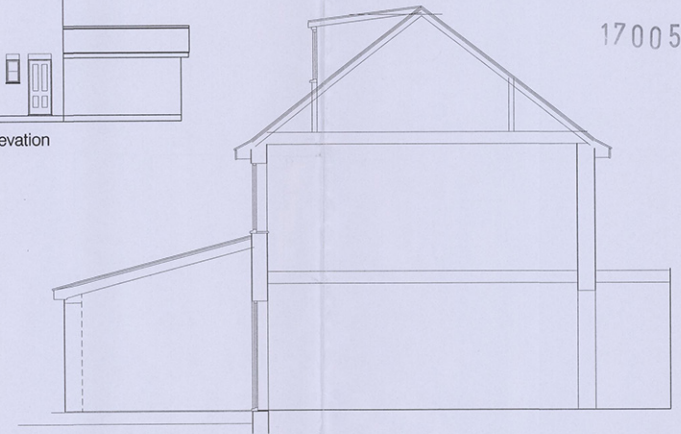
Existing Side Elevation



Location Plan  
Scale 1:2500

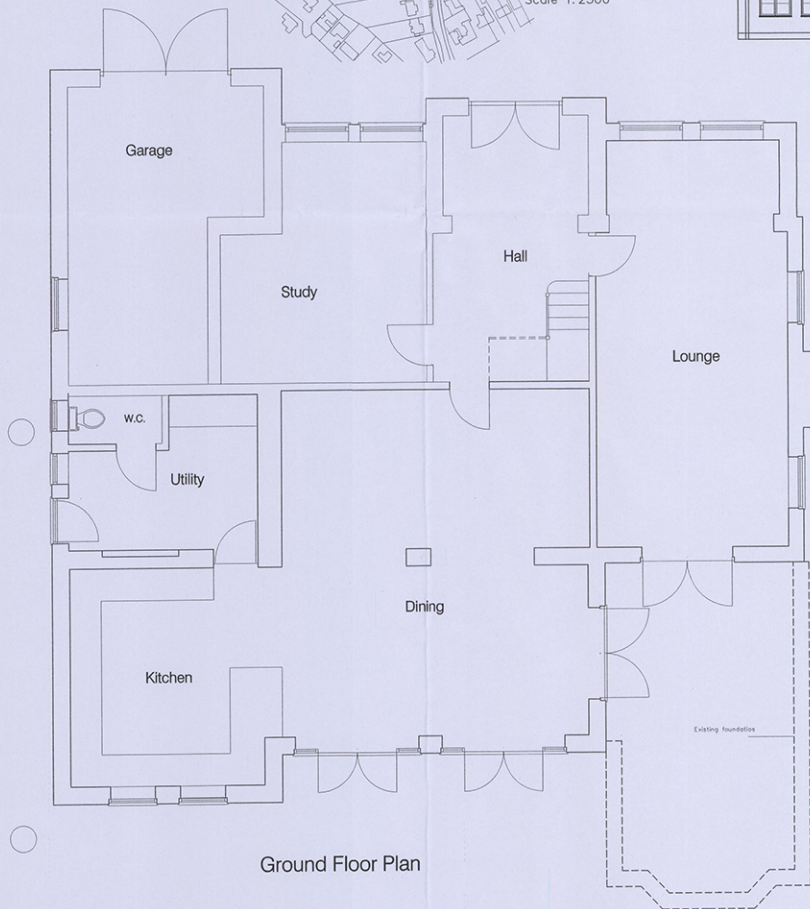


Existing Front Elevation

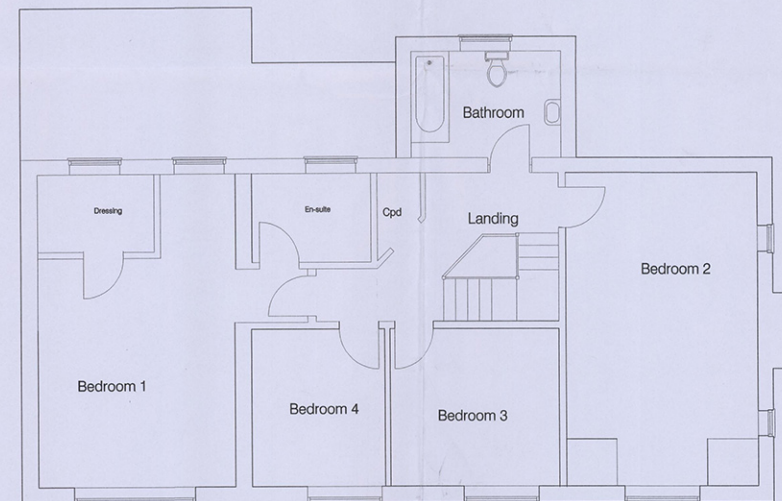


Section A-A

1700584F



Ground Floor Plan



First Floor Plan

31 MAR 2017  
Planning Services

Survey Drawing  
475 Unthank Road  
Norwich  
For Mr R Nassif & Dr R Soliman

Scale 1:50 & 1:100

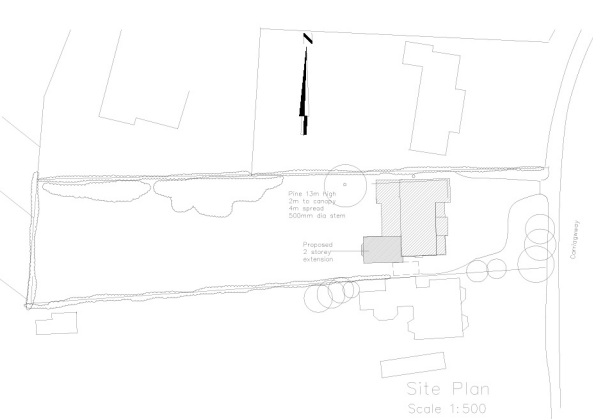
Date Dec 2015

Job No. 4888/A/1

Amended: 09/02/2016

**F.P.I.** design & planning ltd.

22 VICARAGE STREET, NORTH WALSHAM,  
NORFOLK, NR283DQ  
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Proposed Front Elevation



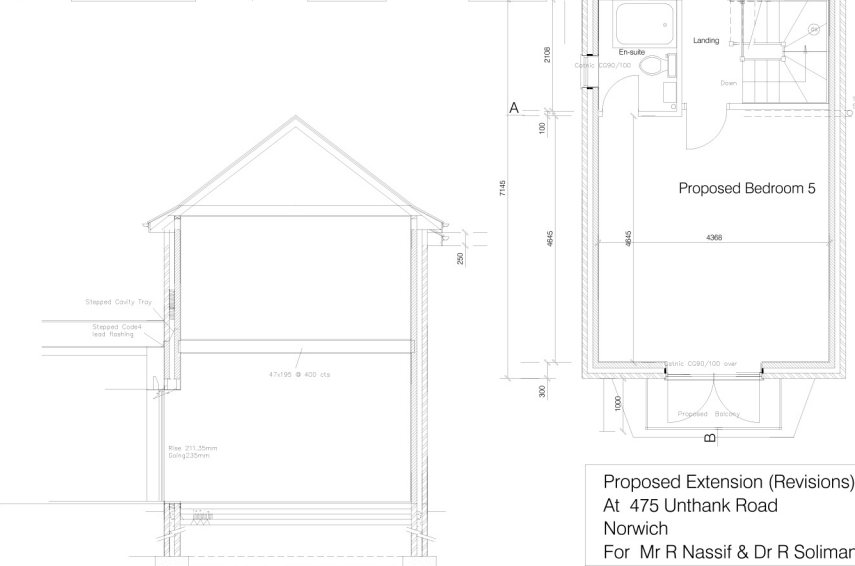
Proposed Rear Elevation



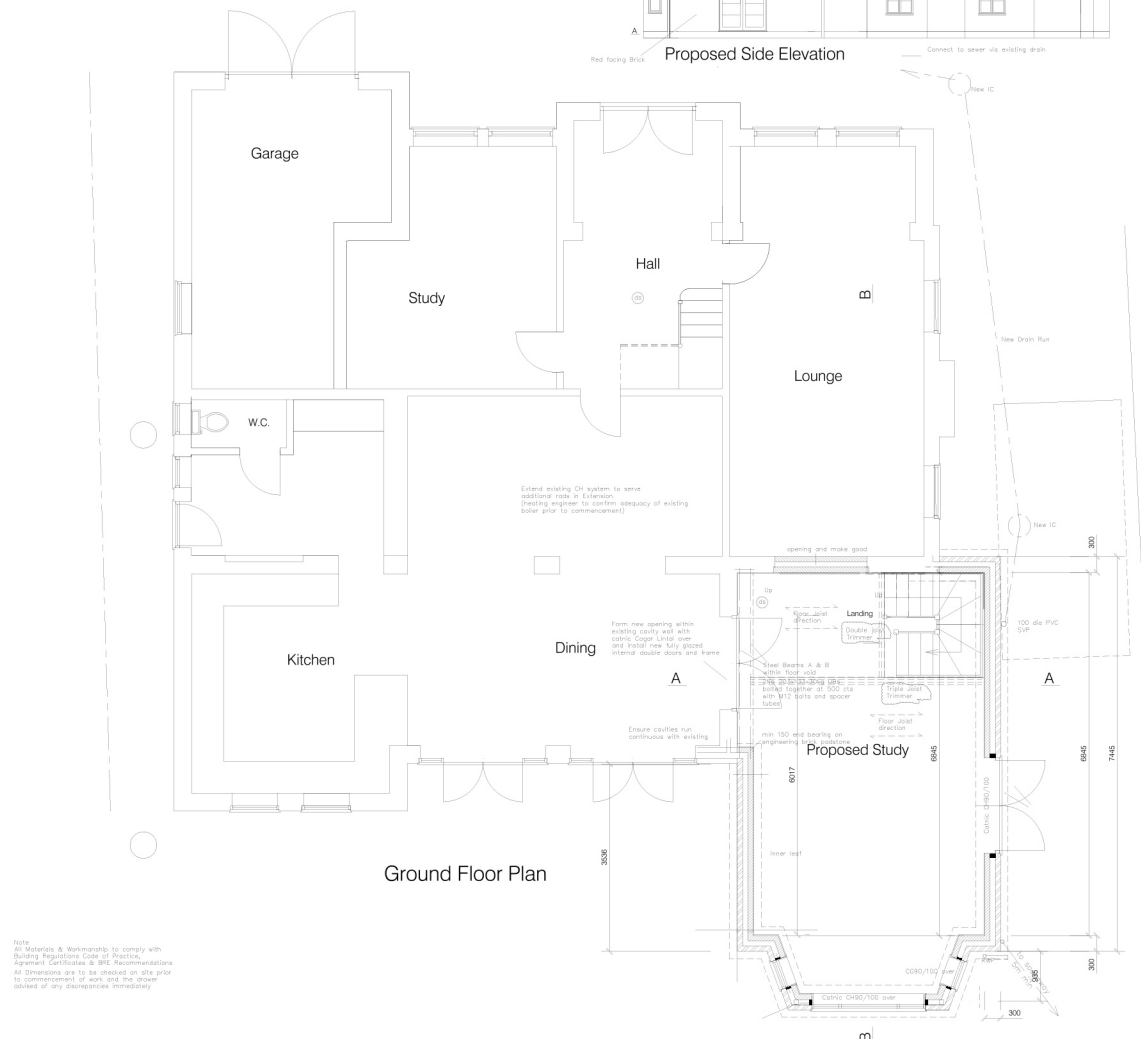
Proposed Side Elevation



Proposed Side Elevation



Section A-A



Ground Floor Plan

Proposed Extension (Revisions)  
At 475 Unthank Road  
Norwich  
For Mr R Nassif & Dr R Soliman

Scale 1:50 & 1:100  
Date Feb 2017  
Job No. 4888/9/7

Amended 24/01/2017 Amended 02/03/2017  
Amended 07/03/2017 Amended 05/06/2017

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Note:  
All materials & workmanship to comply with  
Building Regulations Code of Practice,  
Approved Documents & BS Recommendations.  
All dimensions are to be checked on site prior  
to commencement of work and the owner  
notified of any discrepancies immediately.