

Report to Planning Applications Committee

Item

10 June 2021

Report of Head of planning and regulatory services

Subject Application no 21/00277/F 1 Fairmile Close

Reason

for referral Called in by an elected member (Councillor Stutely)

5(a)

Ward	Town Close
Case officer	Katherine Brumpton – KatherineBrumpton@norwich.gov.uk
Applicant	Mr Chris O'Connor

Development proposal		
Two storey rear extension, single storey side extension and attached garage to front.		
Representations		
Object	Comment	Support
9 individuals (10 letters)	0	0

Main issues	Key considerations
1	Design
2	Heritage
3	Amenity
4	Flood risk
5	Trees
Expiry date	15 June 2021
Recommendation	Approve



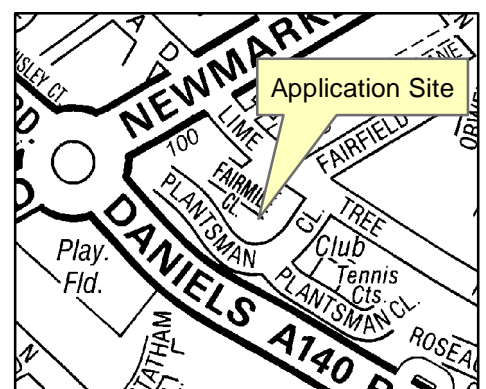
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Planning Application No 21/00277/F
 Site Address 1 Fairmile Close

Scale 1:1,000



NORWICH
 City Council
 PLANNING SERVICES



The site and surroundings

1. Fairmile Close is a relatively small road serving 4 dwellings and is sited to the south-west off Lime Tree Road. The dwellings are all 2 storey detached dwellings and appear to have been built together in the 1960s. Although they are similar in character and scale, they are all designed differently.
2. Number 1 is located at the end of the close, and borders 13 Lime Tree Road to the south east and 66 and 67 Plantsman Close to the south west. Number 2 Fairmile Close is sited to the north-west, and is sat staggered forward, with the rear wall of 1 Fairmile Close nearly in line with the front elevation of 2 Farimile Close.
3. Number 1 is sat fairly central in the plot. An arboricultural report details several trees within the plot, a total of 13. Most notable is a large Cedar tree within the front garden, sited in front of the driveway.
4. The current property is 4 bedroomed, has a dual pitch roof to the main two storey section and to the side (south-west) is a flat roof study and a flat roof car port.

Constraints

5. Critical Drainage Catchment Area.
6. Adjacent to a Grade II* listed dwelling (Inverleith, 13, Lime Tree Road):

a) 1188/0/10123 LIME TREE ROAD 11-FEB-04 13 Inverleith

II* House. 1908-9. By the architect Percy Morley Horder and his partner A.G.

Details of the house are provided within the listing. A glass house is sited within the grounds of the house which is not included in the listing. However, as it seems to date from before 1948 is also considered to be listed, by association. It is located along the boundary with the 1 Fairmile Close.

Relevant planning history

7. No relevant planning history

The proposal

8. Proposal is for two extensions.
9. The existing car port would be removed and replaced with a dual pitched double garage and multipurpose room. The study would be re-roofed to tie in with the new side extension.
10. To the rear a two-storey extension is proposed to provide a larger kitchen on the ground floor and a larger master bedroom on the first floor. Following discussions with the agent the roof of this section has been altered to a hipped roof rather than ending in a gable end. As the revision reduces the scale of the proposal and is not considered to significantly change the proposed development this was not formally advertised.

Representations

11. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 10 letters of representation have been received from 9 individuals citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Proposal conflicts with DM3; extensions are too big and out of keeping of the area. Negatively impact the character of the area and increase the density.	See main issue 1
Block views of wider “green” outlook towards the south	See main issue 1
View from adjacent listed building would be of a long 20m extension interrupted only by rooflights.	See main issue 1
The 4 dwellings in the Close were built at the same time, together with 2 dwellings either side of the close. The proposed development would not respect the existing balance of these properties due to its size and design.	See main issue 1
Overlooking and overshadowing neighbour's, especially their gardens, to include both Fairmile Close and Plantsman Close.	See main issue 3
Concern about loss of light, views and outlook to 2 Fairmile Close	See main issue 3
Concern about development within root protection area of tree.	See main issue 5
Town Close contains lots of greenery and trees; the proposal would compromise this.	No vegetation is proposed to be removed as part of this proposal. The impact upon the trees is discussed under main issue 5.
Concerns that the development would increase flooding and pressure on the current drains.	See main issue 4
Vehicular congestion during the building work	For a development of this scale in this location highway safety during the build is not considered to be a significant issue. A construction management plan is not considered to be required.

Consultation responses

12. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

13. The site borders the property known as Inverleith (13 Lime Tree Road), which is Grade II*. A glasshouse is located within the garden of the property and is sited alongside the boundary with 1 Fairmile Close.
14. The proposed development significantly increases the footprint of 1 Fairmile Close, mainly due to the side/front extension. The impact is mitigated by the side/front section being single storey, the dwelling's position in the corner of the close, positioning of the extensions, and the distance from main roads. It is considered unlikely that the development would compete for attention with the adjacent listed dwelling.
15. The adjacent glasshouse is listed by association with the property known as Inverleith (13 Lime Tree Road). In this instance the glasshouse is considered to contribute to the special character of the host building and benefit from its own special character.
16. The area was previously used for large scale seed and plant production, which the glasshouse doesn't appear to be directly linked to, but is a reflection of nonetheless.
17. There is not anticipated to be any physical impact upon the glasshouse, and so the consideration is focussed upon the impact on its use. Given the use of the glasshouse, consideration should be given to any reduction in light that may occur as a result of the proposed development, and whether it can continue to function as intended.
18. It is worth noting that the glasshouse has historically been set on the edge of the boundary, and it is quite common for similar structures to be built up against a brick wall. Indeed, this may have been the case here.
19. A submitted daylight/shadow assessment has been submitted which demonstrates that the proposed development is unlikely to cause a significant reduction in daylight towards the glasshouse or 13 Lime Tree Road.
20. The proposed development at 1 Fairmile close will not directly impact upon the significance of the grade II* listed building when considered relative to the principal elevations. Also, any impact upon the significance of the grade II* listed building through impact upon the curtilage listed structure is negligible.

Tree protection officer

21. T1 (Cedar of Lebanon) is a visually important tree with high amenity value. Applying the following conditions will ensure its successful protection during construction (and successful retention, beyond construction):
 - a) TR3 - Provision of site monitoring.
 - b) TR4 - Arb supervision during excavations within RPA.
 - c) TR6 - Arb works to facilitate development.
 - d) TR7 - Works in accordance with AIA, AMS, TPP.

22. Exploratory excavations carried out by air-spade would be beneficial in order to determine the presence/extent/size of roots in the vicinity of the proposed new garage. The outcome of these excavations would inform decisions relating to the type of foundations required for the garage. The submission of a brief report (with photographs), detailing the findings of this excavation would be useful.

Assessment of planning considerations

Relevant development plan policies

23. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS6 Access and transportation
 - JCS12 The remainder of the Norwich urban area including the fringe parishes
24. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
- DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM5 Planning effectively for flood resilience
 - DM6 Protecting and enhancing the natural environment
 - DM7 Trees and development
 - DM9 Safeguarding Norwich's heritage
 - DM31 Car parking and servicing

Other material considerations

25. **Relevant sections of the National Planning Policy Framework July 2018 (NPPF):**
- NPPF2 Achieving sustainable development
 - NPPF3 Plan-making
 - NPPF4 Decision-making
 - NPPF11 Making effective use of land
 - NPPF12 Achieving well-designed places
 - NPPF14 Meeting the challenge of climate change, flooding and coastal change
 - NPPF15 Conserving and enhancing the natural environment
 - NPPF16 Conserving and enhancing the historic environment
26. **Advice Notes and Guidance**
- Extensions to houses advice note September 2012

Case Assessment

27. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material

considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Design

28. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 124-132.

DM3 requires developments to respect, enhance and respond to the character and local distinctiveness of the area, and give appropriate attention to the materials, design detailing, height, mass, scale and form. Furthermore the “Extensions to Houses” advice note provides more detail on appropriate ways to extend a dwelling.

29. The rear extension is two stories, set down from the main ridge height and set in slightly from the side wall of the existing dwelling. Following discussions with the agent the roof has been altered to a hipped roof design. At 6m deep it is relatively large, but remains subordinate due to the above design details, by being no deeper than the original house, and extending across only part of the rear elevation.
30. The rear extension will be visible in the wider area, primarily due to the siting and sloped catslide roof style of the adjacent property, number 2. It would be visible from the road, above the roof of number 2, and seen alongside the existing gable end. The impact of this is considered to be acceptable; the extension extends no further to the southwest (rear) than the neighbouring dwelling and as such the increase to the area of built form here is not considered to be incongruous to the character of the area. A representation raises concerns that this extension will be perceived to tower above number 2, however given that the extension is no higher than the main dwelling, and would clearly be viewed in association with it, this is not considered to be the case. There will be a noticeable reduction in the gap between the two properties from the view at the entrance to the Close, but there will be a gap retained. The impact from the rear extension is therefore not considered to be significant to the character of the close.
31. The design of the side/front extension wraps around the eastern corner of the dwelling, replaces the existing car port and re-roofs the snug. The extension, which includes a double garage, is considered to be relatively large in its entirety, but again is designed to be subordinate. The ridge height sits below the eaves of the main house, and a step in at the side of the garage reduces its bulk and provides a visual step.
32. The south-eastern elevation of the side extension will not be readily visible from any public vantage point (discussion regarding the impact upon the neighbouring property is in the below section of the report). The front section of the extension comprises part of a multi-purpose room and a double garage. For a property of this scale on a plot this size a double garage is not considered to be out of scale in principle. As a result of attaching it to a side extension, the length of the overall extension is relatively long. However, the garage section would be seen within the context of the relatively large driveway, be framed by the large cedar tree, partially screened by the neighbour’s tree in their front garden and, perhaps most significantly, be sat at the edge of the close running alongside the boundary. This extension will therefore not be dominant within the wider character of the area.

33. All materials would match the existing dwelling except for the fenestration which are proposed to be grey powder coated aluminium.
34. Building for Life 12 is a publication by the Design Council and is the industry standard for the design of new housing developments. Although normally used for larger scale developments, it has been mentioned in a representation. The language and content is similar to DM2 and DM3 in some areas. The sections quoted refer to being a considerate neighbour and identifying and considering important viewpoints. Recommendations include; having regard to the height, layout, building line and form of existing development, consider which areas will be in light and those in shade, and avoid blocking views to landmarks and avoid locating garages on prominent locations such as the 'end point' of a view up a street.
35. Some of these areas are discussed below under main issue 2 and 3. It is acknowledged that the proposed garage would be located near the 'end point' of the view along this part of Fairmile Close, but the view would remain dominated by the Cedar Tree, which is significantly taller and bigger in mass. The garage section would serve to further screen the glasshouse from view, but this viewpoint is not considered to be a key feature of the character or amenity of the area, or to add to the special nature of the heritage asset in terms of its setting. The impact of the development upon the glasshouse is discussed further below.
36. Although the concerns from neighbours regarding the scale and design are noted, the proposed extensions are considered to be acceptable for a property of this size and are considered to comply with DM3 and paragraphs 124-132 of the NPPF.

Main issue 2: Heritage

37. Key policies and NPPF paragraphs – JCS2, DM9, NPPF paragraphs 184-202.
38. Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 place a statutory duty on the local authority to have special regard to the desirability of preserving listed buildings or their setting or any features of special architectural or historic interest which they possess and to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas. Case law (specifically *Barnwell Manor Wind Energy Ltd v East Northamptonshire DC* [2014]) has held that this means that considerable importance and weight must be given to the desirability of preserving the setting of listed buildings and conservation areas when carrying out the balancing exercise.
39. The site is not within a Conservation Area but does lie adjacent to a Grade II* listed property. The listed dwelling is sited approximately 27m away from the proposed side/front extension, but a glass house runs along the boundary.
40. The existing snug and car port run most of the length of the south-eastern elevation of the house, and the car port is sited less than 0.25m from the boundary, with the snug stepped in to 1.25m away. The proposed side/front extension would all be sited 1.25m away. The eaves of the proposed extension are the same height as the existing car port.
41. As detailed above, the glasshouse itself is listed by association, and weight is given to the impact upon it, primarily in terms of any overshadowing which may reduce its

functionality as a glasshouse. A submitted daylight/shadow assessment satisfactorily demonstrates that the impact upon the glasshouse from the proposed development is not considered to be significantly different from that of the existing dwelling.

42. Given the distance between the development and the listed dwelling, the siting of the property away from main roads and the level of screening between the proposal is not considered to directly impact upon the significance of the dwelling itself. Any impact upon the glasshouse, as a curtilage listed structure, is considered to be negligible.
43. Therefore the impact upon the heritage assets is considered to be acceptable, and policy DM9 is considered to be complied with, along with section 16 of the NPPF.

Main issue 3: Amenity

44. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 8 and 127.
45. DM2 advises on the amenity for both the future occupiers and the existing occupiers. In this case the amenity of the future occupiers is considered to be good, with the proposed extensions providing satisfactorily living conditions.
46. DM2 states that developments shouldn't have an unacceptable impact on the amenity of the area or the living or working conditions or the operations of neighbouring occupants. Particular regard should be given to prevention of overlooking, prevention of overshadowing and loss of light/outlook and the prevention of disturbance.

Side/front extension

47. The single storey section is not anticipated to impact any neighbour significantly. The neighbour to the south east (13 Lime Road) would be able to see this section, but it would be viewed in the context of the taller two storey main dwelling and cedar tree, and sited largely behind their own large glasshouse. Due to the orientation the impact upon them in terms of overshadowing is not considered to be significant. With no windows along this elevation there would be no overlooking.
48. Any impact upon other neighbours from this part of the development is not considered to be significant.

Rear extension

2 Fairmile Close

49. The rear extension would be sited 5.7m away from the side elevation of the neighbouring dwelling to the north-west, 2 Fairmile Close. At present this boundary is largely open, but there is a close boarded timber fence sited part of the way down the side elevation of 2 Fairmile Close. There are 7 windows in this neighbour's elevation.
50. On the first floor two windows serve a bathroom and are obscure glazed, and the other window is a secondary window to a bedroom, which benefits from significant glazing to the rear. These windows will all be impacted to some extent, but given

the nature of them, the distance between the extension and windows, the impact of the extension upon the amenity of these rooms is considered acceptable.

51. On the ground floor 2 windows serve the lounge and 2 serve a study. The lounge is served by a total of 4 windows, 3 of which are large and not immediately impacted by this development. The only window serving the lounge which would be impacted is a small high level window. Given the amount of light reaching the room from elsewhere the amenity impact is considered acceptable.
52. The study is only served with windows on this elevation, and with the boundary currently open the impact would be noticeable. However, it is noted that a 2m fence/wall could be built in this location without planning permission, which would sit 2.8m from the windows. Furthermore, the applicant could choose to erect a rear extension under permitted development. A 3m deep two storey rear extension could be erected here if it was sited at least 7m away. Or a single storey extension could be erected along the boundary with eaves of 3m and overall height a maximum of 4m. Each of these would cause a loss of outlook and degree of overshadowing, and this is a material consideration.
53. Whilst the impact upon the study is noted and the neighbours will experience a some additional overshadowing for this room, the room could be similarly impacted by developments under permitted development which do not require planning permission. Although it is noted that the use of studies have generally increased over the last year as a result of the covid pandemic, a study is not a primary room within a dwelling (compared to say, a living room), and so is not granted as much weight in terms of impact upon amenity. The rest of the house would continue to enjoy good levels of both light and outlook, ensuring that the neighbouring dwelling provides an overall good level of amenity.
54. The proposal includes two additional windows in the first floor elevation facing towards this neighbour. Both are proposed to be obscure glazed to minimise the risk of overlooking.

Other matters

55. Concerns have been expressed that the proposed rear window serving the master bedroom would result in unacceptable overlooking. The extension would be sited a minimum of 16m away from the rear boundary, and approx. 30m from neighbouring properties on Plantsman Close. The dwelling currently has first floor windows looking towards these dwellings, the reduction in distance of 6m is not considered to alter the level of overlooking significantly.
56. There would be some overlooking towards the neighbour's garden 2 Fairmile Close. However due to the siting of the two dwellings, and that this neighbour already experiences some overlooking from their other immediate neighbour, the impact is not considered to be significant.

Conclusion on amenity issues

57. It is acknowledged that the proposal will have an impact upon the neighbour's residential amenity, with the most significant impact being upon the study windows in 2 Fairmile Close. Given that a study is located at the side of the house and is not a primary room in the sense of the expected level of amenity for a residential

dwelling, and the good level of amenity afforded to the rest of this property, this impact is not considered to be sufficiently harmful to justify a refusal. As such the requirements of DM 2 are considered to be complied with.

Main issue 4: Flood risk

- 58. Key policies and NPPF paragraphs – JCS1, DM5, NPPF paragraphs 155-165.
- 59. The proposal does not include any details as to how the development can meet the requirements under the above policies. DM5 advises that where developments in Critical Drainage Areas include extensions consideration has to be given to mitigating surface water flood risk. Developers are required to demonstrate that developments would not increase the vulnerability of the site and where practicable have a positive impact upon the risk of surface water flooding in the wider area. The site is large enough to accommodate SUDs, which will be likely sited in the rear garden given the RPA of the Cedar tree to the front. The details can be obtained via condition.

Main issue 5: Trees

- 60. Key policies and NPPF paragraphs – JCS1, DM7, NPPF paragraphs 170 and 175.
- 61. The application includes an Arboricultural report, which itself includes a Arboricultural Impact Assessment (AIA), a Arboricultural Method Statement (AMS) and a Tree Constraints Plan (TCP).
- 62. No trees will be removed as part of the development. The report identifies T1 as the most important tree, the aforementioned cedar tree to the front of the house. This is due to its size, presence and significance within the landscape. It is estimated to be over 150 years old. T1 is considered to be fully grown. There are several other trees within the site, mainly to the rear. They have been assessed to have varying conditions and level of importance.
- 63. The canopy to T1 will need to be lifted to enable the garage to be constructed. This will involve the removal of a small number of minor secondary boughs. At the same time work is recommended to thin the outer south and west canopy to reduce the weighting on the lateral limbs. The garage would extend 6m in the (Root Protection Area) RPA of T1. An extension of the brick weave paving is also proposed within the RPA to facilitate vehicular access to the garage and pedestrian access to the rear. Measures are proposed to mitigate any harm which include modified standard strip foundations and a suspended floor. With the works carried out in accordance with the report, the development may lead to some signs of stress within the short to medium term.
- 64. The report advises that installation of any new pipes for sewerage connection should also be carried out in accordance with the report, and some impact may occur to the roots under 20mm in diameter of T1. The impact of the completed works for the water connection is not known (it is understood that the works were undertaken to address a leak). If further works are required for services within the RPA of trees the report advises that this must be agreed in writing with Norwich City Council prior to commencement. The Tree Officer has advised that exploration of the tree roots with an air spade would be useful to establish the exact location of roots for T1 prior to any works in this area.

65. The construction of the garage within the canopy of T1 may lead to some additional requirements to alter the canopy to lift it above the garage, but these potential works are assessed as having a negligible impact. Given the use of the building under the canopy there is not anticipated to be any significant conflict.
66. Other trees of note include T4 and T5 which are sited in the south-east corner of the rear garden. Other trees are largely ornamental in nature, and also sited to the rear. The rear extension is not anticipated to directly impact any of these trees.
67. Requested conditions by the Tree Officer would include the requirement for submission of a report following the air spade excavations, site monitoring, arboricultural supervision during any works within the RPAs, restriction of any arboricultural works to a suitably trained arborist, and development to be constructed in accordance with the submitted report.
68. Whilst some impact upon T1 is recognised as a direct result of the garage extension, increase to paved area and connection to services, the proposed mitigation measures would reduce this to an acceptable level. The long-term relationship with the garage and T1 is considered acceptable as due to its use there won't be any significant concerns regarding loss of light etc.
69. With the proposed conditions added, the development is considered to comply with DM7 and NPPF paragraphs

Equalities and diversity issues

70. There are no equality or diversity issues.

Local finance considerations

71. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority. In this case local finance considerations are not considered to be material to the case.

Conclusion

72. The proposed development is considered to comply with relevant planning policies. There will be some impact upon the residential amenity of the adjacent neighbour 2 Fairmile Close in relation to loss of light and overshadowing to a study. However a sufficient gap would remain between the properties to ensure the overshadowing would not be unacceptable, and given that the room is at the side of the house and not a primary room the level of overshadowing is not considered to be a sufficient reason to justify refusal.
73. The front/side extension will have an impact upon the large Cedar tree to the front of the property. An extensive Arboricultural report has been submitted, and with appropriate mitigation, tied in with conditions, the impact is not considered to be

significant and the development is considered to be compatible with this existing tree.

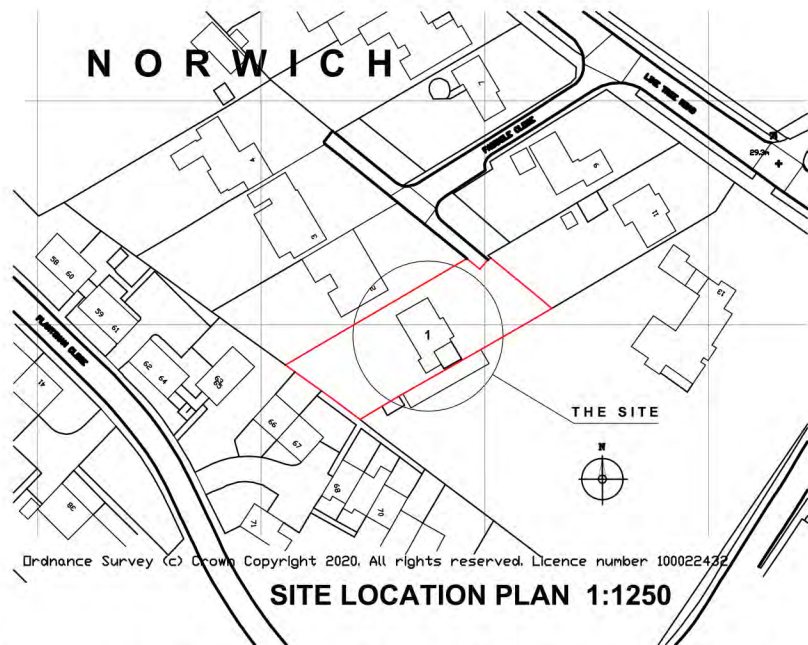
74. The impact upon the character of the area and glasshouse in the adjacent property is also considered to be acceptable.
75. The development is therefore in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and there are no material considerations that indicate it should be determined otherwise.

Recommendation

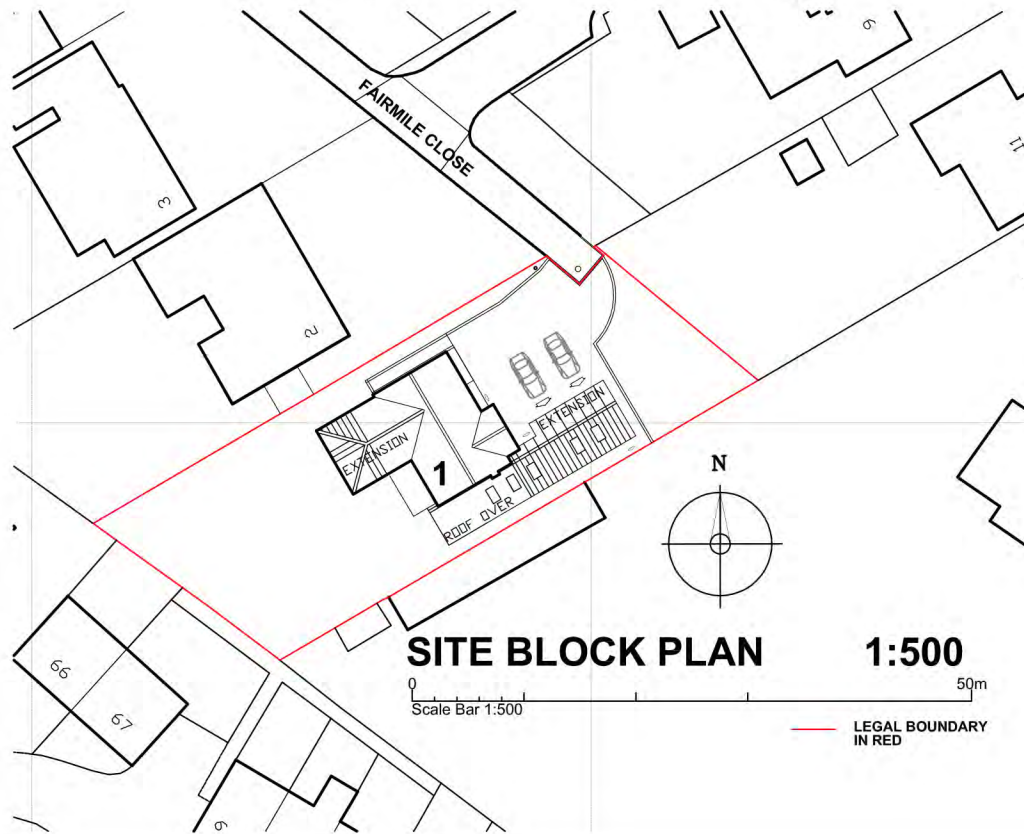
To approve application 21/00277/F for 1 Fairmile Close and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. TR3 - Provision of site monitoring.
4. TR4 - Arb supervision during excavations within RPA.
5. TR6 - Arb works to facilitate development.
6. TR7 - Works in accordance with AIA, AMS, TPP.
7. Exploratory excavations to be carried out by air-spade, submission of a brief report (with photographs), detailing the findings of this excavation
8. SUDS Details submission and implementation

NORWICH

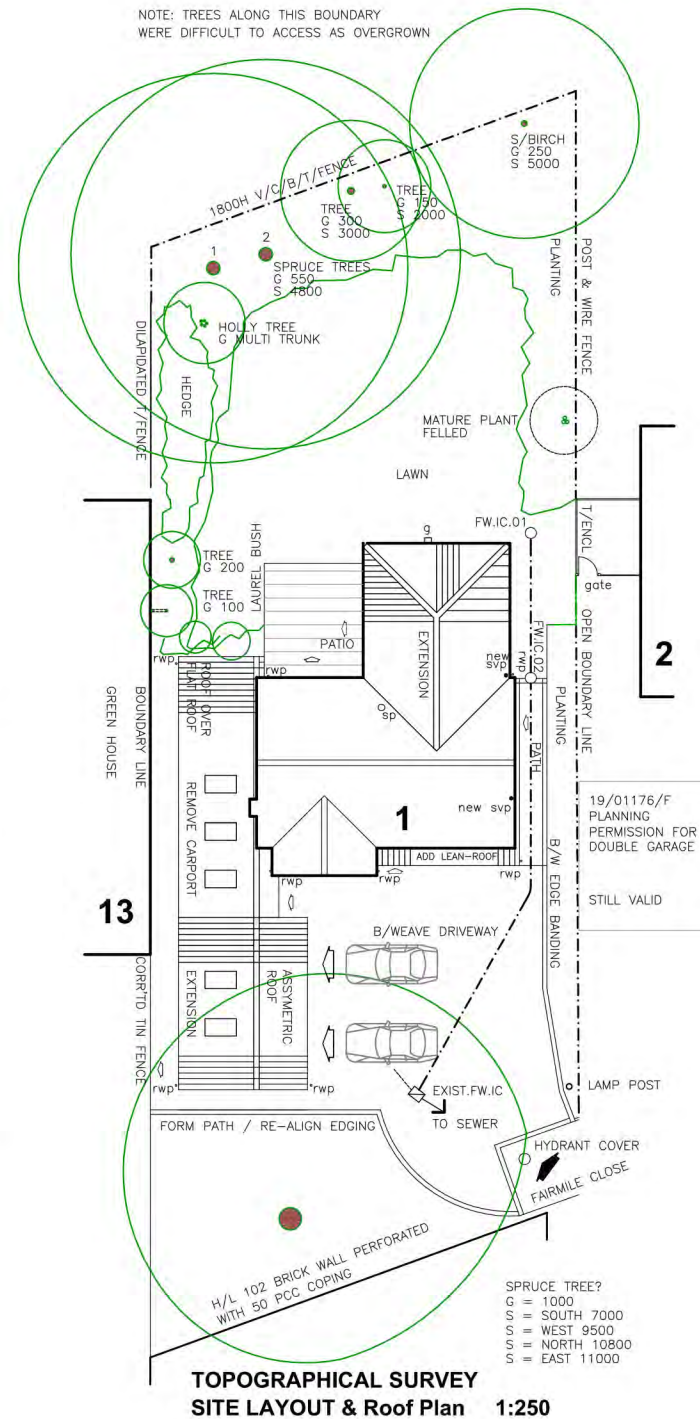


SITE LOCATION PLAN 1:1250



SITE BLOCK PLAN 1:500

NOTE: TREES ALONG THIS BOUNDARY WERE DIFFICULT TO ACCESS AS OVERGROWN



TOPOGRAPHICAL SURVEY SITE LAYOUT & Roof Plan 1:250

NOTES

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DRAWING STATUS

T - Tender C - Construction
P - Preliminary R - Record

Proposals subject to the following:-

Contract Local Authority approval
Survey Statutory Authority approval
Detailed Design Public Utility requirements

Rev | Date | Description | Draw | Ckd
A 04/2021 Rear Extension Roof Hipped

www : radcad.co.uk

Richard C. Anderson-Dungar MCIAT / ACIOB
Architectural Technologist
Design in Architecture

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Project Title:
1 Fairfarm Close, Off Lime Tree Road, Norwich,
NR2 2NG for Mr & Mrs C. O'Connor

Drawing Title:
DESIGN PROPOSALS:
Site Location / Block Plan / Site Layout Plan

Scale: As shown Drawn: RA-D

Date: January 2021 Checked:

Drawing Number:
P2353/10 A

PRIMARY ELEVATIONS 01

MATERIALS :

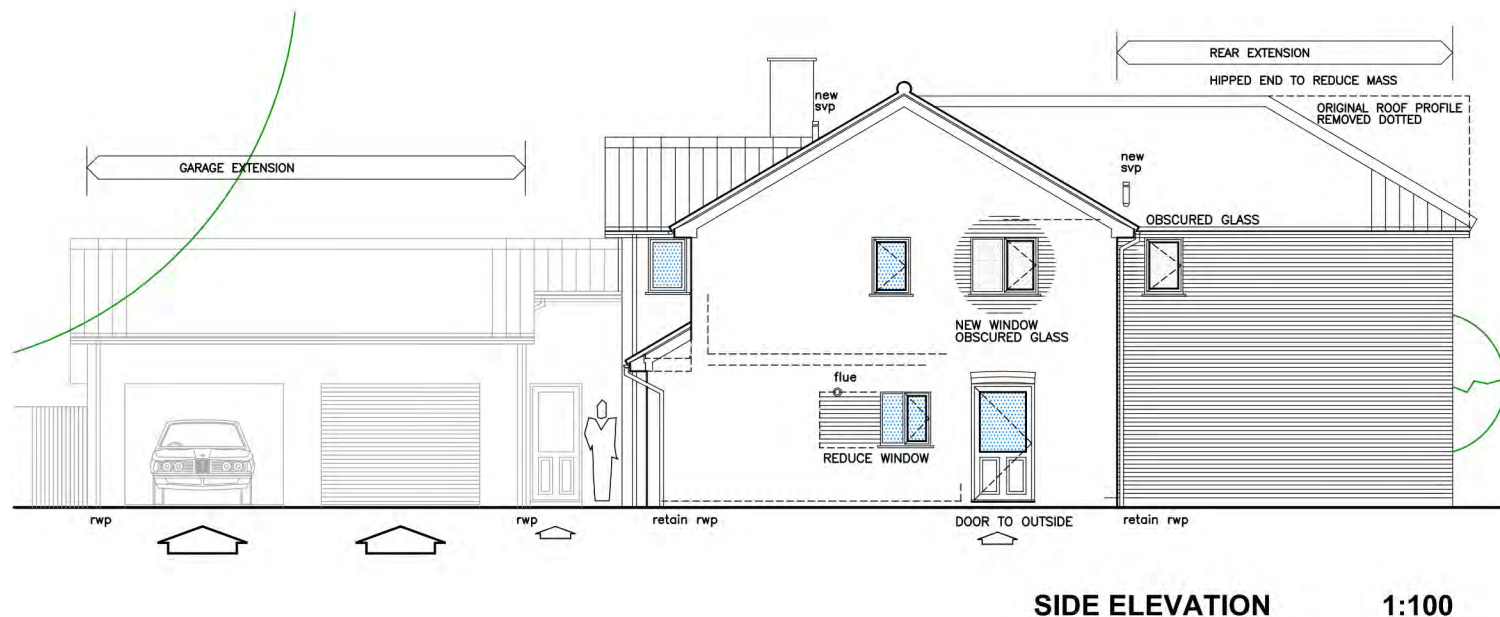
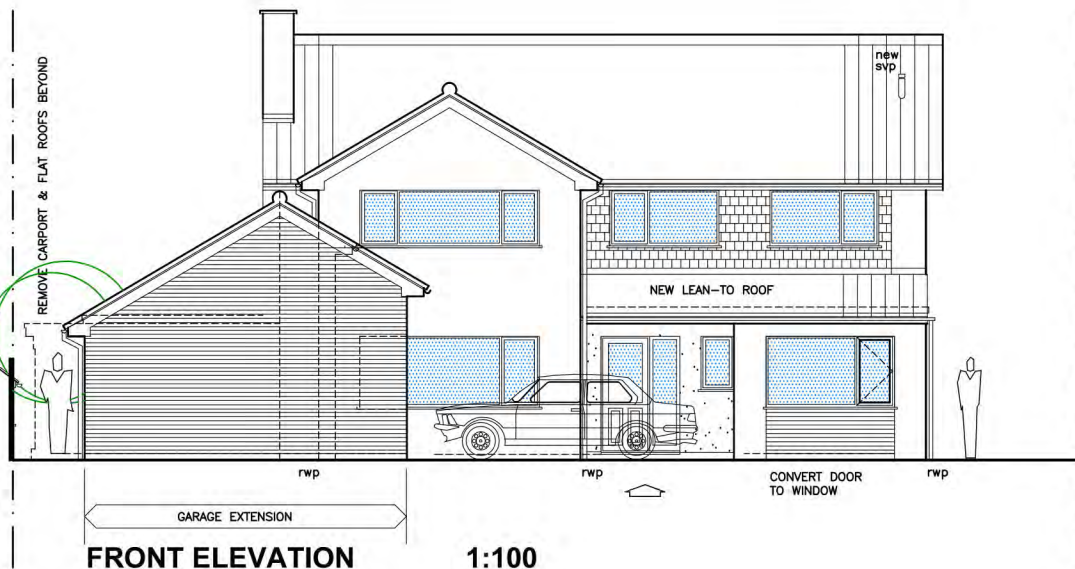
ROOF: PANTILES, EAVES & VERGE DETAILING TO MATCH EXISTING IN GREY

WALLS: MIX OF FACING BRICK / 'SMOOTH' RENDER WITH W/DRIPS & TILE HANGING

NEW WORK IN FACING BRICKWORK TO MATCH EXISTING

JOINERY: NEW & REPLACEMENT WINDOWS / NEW 'SLIDING' DOOR ASSEMBLY TO MATCH IN 'GREY' POWDER COATED ALUMINIUM

RW GOODS: UPVC GREY



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Detailed Design Public Utility requirements

Rev | Date | Description | Draw | Ckd

A 042021 Rear Extension Roof Hipped

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Project Title:
1 Fairmile Close, Off Lime Tree Road, Norwich,
NR2 2NG for Mr & Mrs C. O'Connor

Drawing Title:
DESIGN PROPOSALS:
Primary External Elevations 01

Scale: 1:100

Drawn: RA-D

Date: February 2021

Checked:

Drawing Number:

P2353/12A

PRIMARY ELEVATIONS 02

MATERIALS :

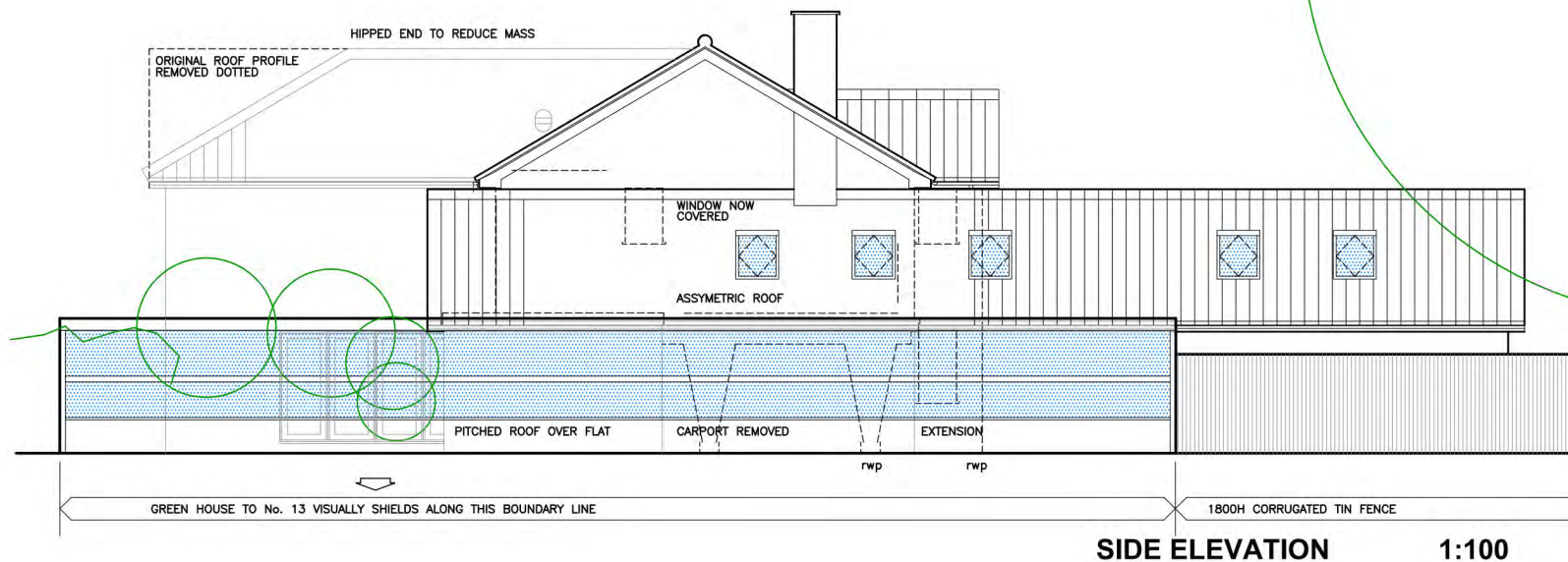
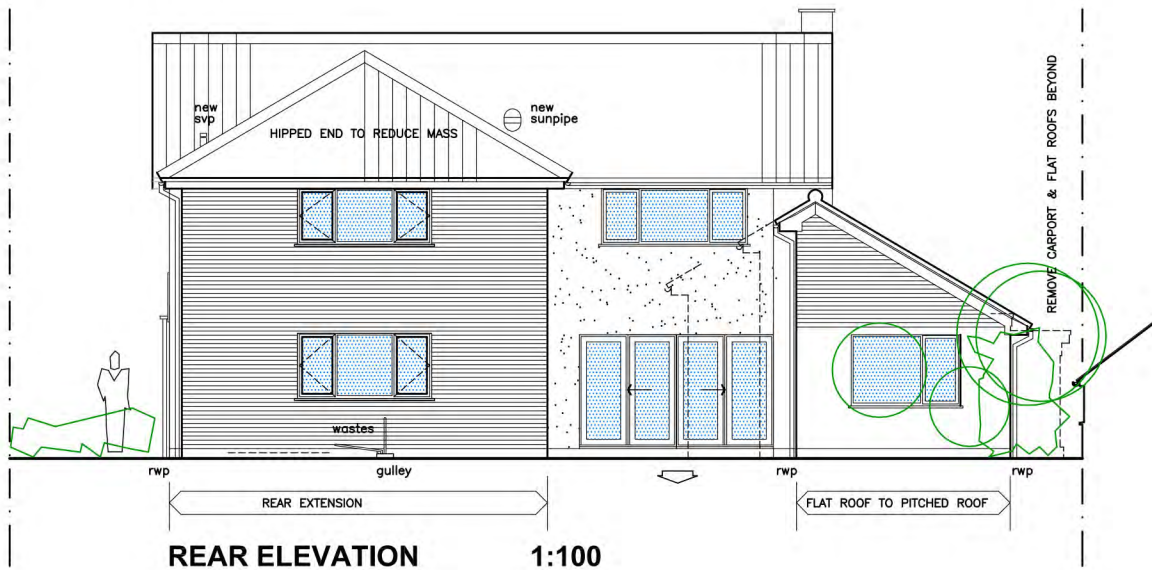
ROOF: PANTILES, EAVES & VERGE DETAILING TO MATCH EXISTING IN GREY

WALLS: MIX OF FACING BRICK / 'SMOOTH' RENDER WITH W/DRIPS & TILE HANGING

NEW WORK IN FACING BRICKWORK TO MATCH EXISTING

JOINERY: NEW & REPLACEMENT WINDOWS / NEW 'SLIDING' DOOR ASSEMBLY TO MATCH IN 'GREY' POWDER COATED ALUMINIUM

RW GOODS: UPVC GREY



NOTES

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Written dimensions must be used in preference to scaled.

This drawing is to be read in conjunction with all Construction Status Information relevant to the project.

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DRAWING STATUS

T - Tender C - Construction
P - Preliminary R - Record

Proposals subject to the following:-

Contract Local Authority approval
Survey Statutory Authority approval
Detailed Design Public Utility requirements

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