

Report for Resolution

Report to Planning Applications Committee
Date 4 February 2010
Report of Head of Planning Services
Subject 09/01451/F 6 Ash Grove Norwich NR3 4BE

Item
5(2)

SUMMARY

Description:	Erection of two storey extension to side of dwelling.
Reason for consideration at Committee:	Application submitted by family of staff member.
Recommendation:	Approve
Ward:	Sewell
Contact Officer:	Miss Sarah Platt Planning Officer 01603 212500
Valid date:	8th December 2009
Applicant:	Mr And Mrs J Napier
Agent:	Kevin Cole

INTRODUCTION

The Site

Location and Context

1. The application site is located on the south side of Ash Grove. To the East and West are numbers 8 and 4 Ash Grove respectively and to the South are the rear gardens of 3 and 5 Tillett Road which are approximately 40 metres from the rear of 6 Ash Grove to the boundary fence.
2. This is a residential area with a mix of elevation treatments and building styles despite having once been within the Sewell Conservation Area boundary. Most of the properties on Ash Grove front the main road but are set back slightly, usually with an area of private off street parking.
3. The application building is a semi detached two storey rendered building which has previously been extended to the rear and the side at ground floor level only.

Planning History

4. Under application reference 4/1997/0878 permission was granted for the demolition of an existing rear extension and the erection of a single storey rear and side extension.

The Proposal

5. The proposal is for the erection of a two storey extension to the side of the dwelling comprising of a new study and utility room at ground floor level and a new bedroom at first

floor level. Both will form part of the main front elevation facing the road.

Representations Received

6. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. No letters of representation have been received.

ASSESSMENT OF PLANNING CONSIDERATIONS

Relevant Planning Policies

Relevant National Planning Policies

PPS1 – Delivering Sustainable Development
PPS1 Annex – Planning & Climate Change

Relevant Strategic Regional Planning Policies East of England Plan 2008

ENV7 – Quality in the Built Environment

Relevant Local Plan Policies

City of Norwich Replacement Local Plan 2004

HBE12 – High Quality of Design
EP22 – Residential Amenity

Supplementary Planning Documents and Guidance

N/a

Principle of Development

Policy Considerations

7. As well as the national and regional policies seeking good design for new development, saved policy HBE12 of the Replacement Local Plan requires a high standard of design for all new development to reinforce and compliment the character of the area.
8. Saved policy EP22 of the Replacement Local Plan seeks to protect amenity to existing and potential residential premises and ensure no loss of daylight or privacy to the main habitable rooms of the dwelling house.

Impact on Living Conditions

Loss of Privacy

9. The proposed extension would be located on the West elevation of the existing building, to the East of the side elevation of the property at no.4. The proposed extension will be set back from the existing side wall of the house by 500mm with the addition of 1no. low level window which is not considered to affect the privacy of the neighbours as it is to be located 1 m. above ground level.

Overshadowing

10. Due to the orientation of the proposal, the heights and configuration of the scheme, no overshadowing or loss of sunlight to the main habitable rooms is likely to occur to the neighbouring dwellings

Design

11. There are many properties on Ash Grove which have undergone alteration to either the side or front elevations and the mix of styles, fenestration patterns and materials and elevation treatments in this area means that to some extent the design can be flexible.
12. The design of the proposed extension is not considered to cause a detrimental impact to the street scene and improves the appearance of the front elevation. At present the set back existing extension has a small modern window which in no way reflects the character of the existing building and fails to recognise the traditional timber sashes of the front elevation. The new proposed extension would install a timber sash window to this elevation, thus reflecting the fenestration pattern and ensuring the new extension sits comfortably with the main building.
13. It is considered that the further extension of the dwelling as proposed would not result in an overdevelopment of the site as the size and scale of the additions to the property will be in keeping with the character and appearance of the original dwelling and remain visually subservient to it.

Conclusions

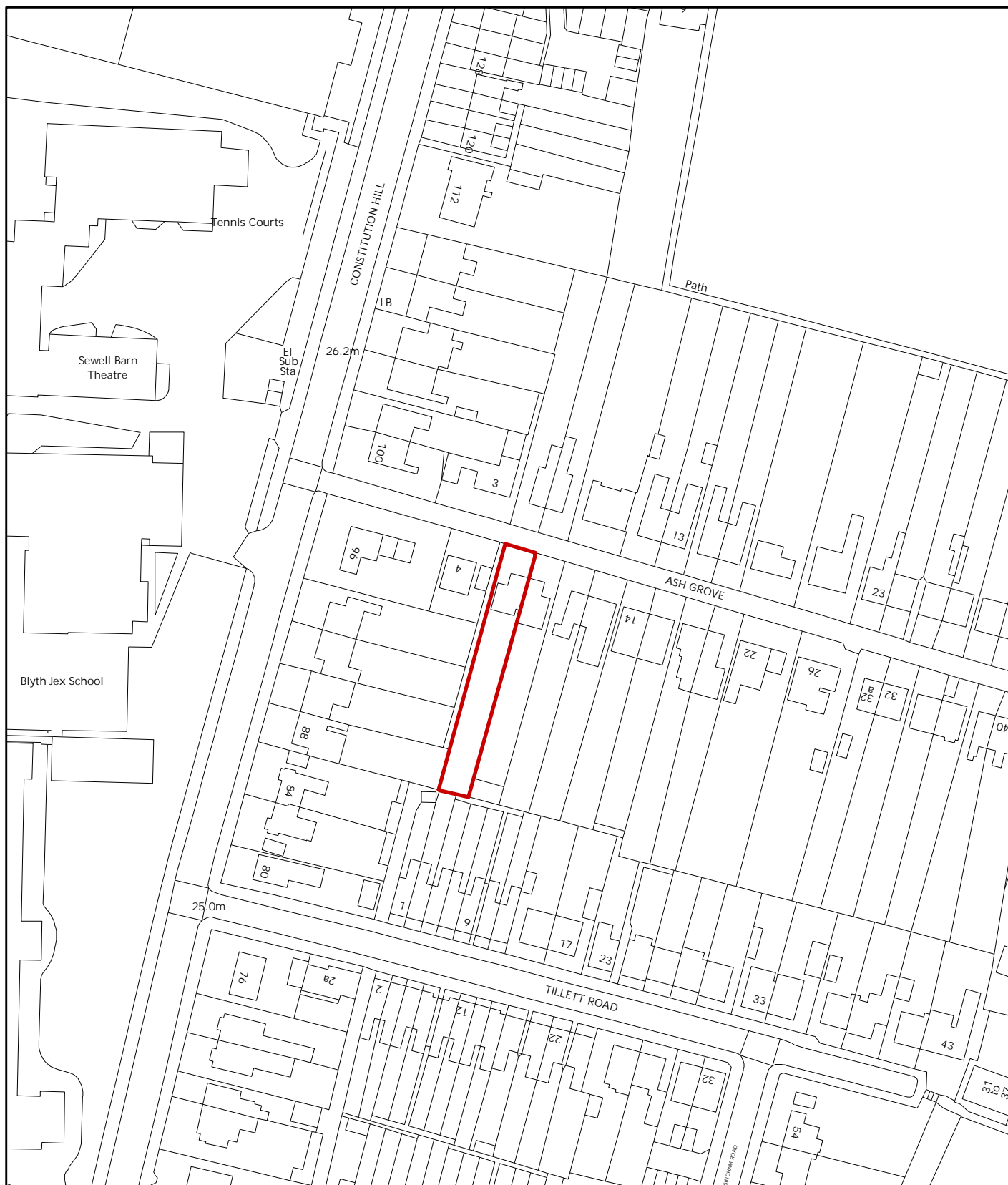
14. The principle of the proposed extension to the existing dwelling is considered acceptable. It is considered that the design details of the scheme meet the criteria of saved policy HBE12 of the City of Norwich Replacement Local Plan (Adopted Version November 2004). Furthermore, the proposal would not result in a detrimental impact in terms of loss of amenity, light or privacy to the neighbouring properties and as such can be considered to meet the criteria of saved policy EP22 of the City of Norwich Replacement Local Plan (Adopted Version November 2004). Therefore, the proposals are considered to be in accordance with the objectives of PPS1, policy ENV7 of the East of England Plan (May 2008) and saved policies HBE12 and EP22 of the City of Norwich Replacement Local Plan (Adopted Version November 2004) and other material considerations.

RECOMMENDATIONS

Recommended to APPROVE Application No 09/01451/F at 6 Ash Grove, Norwich and grant planning permission, subject to the following conditions:-

- 1) Standard time limit
- 2) In accordance with the drawings submitted
- 3) Details of the new windows and bricks to be submitted prior to the commencement of the development
- 4) Roof tiles to match the existing.

(Reasons for approval: The principle of the proposed extension to the existing dwelling is considered acceptable. It is considered that the design details of the scheme meet the criteria of saved policy HBE12 of the City of Norwich Replacement Local Plan (Adopted Version November 2004). Furthermore, the proposal would not result in a detrimental impact in terms of loss of amenity, light or privacy to the neighbouring properties and as such can be considered to meet the criteria of saved policy EP22 of the City of Norwich Replacement Local Plan (Adopted Version November 2004). Therefore, the proposals are considered to be in accordance with the objectives of PPS1, policy ENV7 of the East of England Plan (May 2008) and saved policies HBE12 and EP22 of the City of Norwich Replacement Local Plan (Adopted Version November 2004) and other material considerations.



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Planning Application No - 09/01451/F
 Site Address - 6 Ash Grove
 Scale - 1250



NORWICH
 City Council

PLANNING SERVICES

