

Report for Resolution

Report to Planning Applications Committee
Date 10 June 2010
Report of Head of Planning Services
Subject 10/00454/F 23 Stafford Street Norwich NR2 3BB

Item
6(4)

SUMMARY

Description:	Demolition of existing building and erection of 3 no. new flats.
Reason for consideration at Committee:	Objection
Recommendation:	Approve
Ward:	Nelson
Contact Officer:	Mrs Elizabeth Franklin Planner 01603 212504
Valid date:	14th April 2010
Applicant:	Mr Paul Holmes
Agent:	Mr Alan Rawlings

INTRODUCTION

The Site

Location and Context

1. The site is located within a predominantly residential area, at the south west junction of Stafford Street and Gladstone Street and currently there is a relatively poor quality redundant shop with storage on the site. To the south and west of the site are terraced houses, and a public house at the end of a row of terraced houses to the immediate north of the site. On the north east corner of the junction there are local authority flats within two storey buildings, with storage at ground floor level. Land gently rises up to the west.
2. Planning permission has recently been granted for a similar shop on the south east of the junction to be demolished and replaced by 5 small terraced houses arranged in 2 blocks, with rear gardens.

Planning History

4/2002/0020 - Demolition of existing shop and construction of three flats. (APPR - 09/04/2002)
Planning permission was granted for an identical scheme on this site 8 years ago but was not implemented and has since lapsed.

The Proposal

3. The proposal is for the demolition of the existing building and its replacement with 3 flats of 2 storeys, 2 of which will be on the ground floor and one at first floor level. 2 parking spaces will be provided within the west boundary of the curtilage, and refuse bin and cycle storage adjacent. Surrounding the site is proposed a 1.8m high close boarded fence to the

west and south of the land to the west side of the building, and a 600mm brick wall to the south on the east side of the building.

4. The height of the lower element at first floor level towards the west is 6.4m and the higher roof ridge 7.6m. Terraced houses in the vicinity have a ridge height of approximately 6.6m.

Representations Received

5. Adjacent and neighbouring properties have been notified in writing. 2 letters of representation have been received citing the issues as summarised in the table below.

6.

Issues Raised	Response
Footprint increased in depth from previous scheme approved;	Agent confirmed same size as previous approval.
Overlooking to house opposite on Stafford Street;	See para 12
Increased size could affect light to properties opposite on Stafford Street;	See para 14
Character of area would be impaired by new build;	See para 16
Security issue for gardens etc to Alexandra Road - fences walls need clarification;	Now clarified – see para 3.
Overlooking to Alexandra Road	See para 12.

Consultation Responses

7. **Transportation** – No objections.

8. **Policy** – No objections.

ASSESSMENT OF PLANNING CONSIDERATIONS

Relevant Planning Policies

Relevant National Planning Policies

PPS1 – Delivering Sustainable Development

Relevant Strategic Regional Planning Policies

East of England Plan 2008

ENV7 – Quality in the Built Environment

Relevant Local Plan Policies

City of Norwich Replacement Local Plan 2004

HBE12 – High Quality of Design

HOU13 Proposals for new housing development on other sites

TRA6 Parking standards – maxima

TRA7 Cycle parking standards

Principle of Development

Policy Considerations

9. Local Plan Policy HOU13 sets out the criteria by which proposals for new housing are assessed. These include appropriate access arrangements, a density normally of at least

40 dwellings per hectare, provision of private garden area and no detrimental impact on the character and amenity of the surrounding area.

10. National and regional policies for seeking good design support saved local plan policy HBE12 which seeks a high standard of design, which respects and is sympathetic to the form and character of the area.
11. Saved local plan policy EP22 seeks to provide a high standard of amenity to existing or future occupiers including daylighting, privacy and provision of suitable garden area. Saved policy TRA6 seeks to achieve adequate car parking for the development.

Impact on Living Conditions

Overlooking

12. The houses on the north side of Stafford Street are between 14.3m and 15.6m away from the north elevation of the flats. Whilst windows will face towards the houses on Stafford Street it is considered that a distance of 15.6m is acceptable in this area. No low level windows are located in the west or south elevations except for 2 small high level windows with sill level 1.7m from the floor to avoid any overlooking towards Alexandra Road.

Loss of Privacy

13. A first floor bedroom window from flat 3 will be the closest to the houses opposite on Stafford Street, which, as a secondary window would not be unreasonable in a terraced street and is considered to be acceptable

Overbearing Nature of Development

14. The distance of 15.6m between the proposed building and the houses on Stafford Street is unlikely to have a detrimental effect on the light that is currently enjoyed by the existing houses to the north.

Design

Layout

15. The layout of the flats on the site is exactly as previously approved, with satisfactory parking provision and bin and cycle storage set out. A west facing window at first floor level, shown on the previously approved drawing, has been deleted to avoid overlooking, and screen fencing will now secure the south and west of the site.
16. A scheme of 5 houses has been approved on the south east corner of the junction to replace a similar shop and storage and members may recall the discussion of desirability of windows at corner turns to ensure an interesting façade. This proposal provides windows to the north and east which will be in keeping with the terraced house corner properties in the area.
17. Materials will be brick and render and details will be agreed at a later date.

Scale and height

18. The height of the proposed flats is approximately the same as the terraced houses in the surrounding area when measured at the lower first floor roof to the west, but 1metre higher for the main roof facing Gladstone Street. As the building is a prominent corner building the change in height will not look out of place and is acceptable.

Conclusions

19. In view of the above the development meets the criteria of Saved Policies HOU13, HBE12, TRA6 and TRA7 of the City of Norwich Replacement Local Plan Adopted Version November 2004. The flats will be prominent and well positioned in the street scene and the detailing will be in keeping with the area. Parking provision and adequate bin and cycle storage is provided onsite.

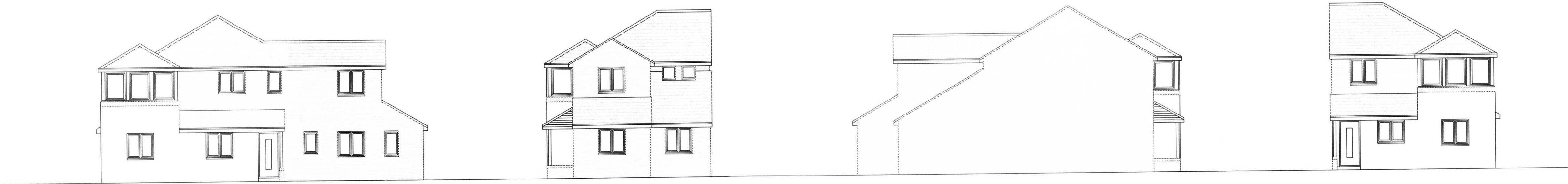
RECOMMENDATIONS

To approve Application No 10/00454/F – 23 Stafford Street, Norwich and grant planning permission, subject to the following conditions:-

1. Statutory time limit – 3 years;
2. Materials to be agreed;
3. Walls and fences erected before occupation;
4. Parking laid out before occupation;
5. Landscaping within 6 months of occupation;
6. Maintenance of landscaping;
7. Bin and cycling storage to be provided before first occupation and retained.

Reasons for approval: The decision is made with regard to policies HOU13, HBE12, TRA6 and TRA7 of the City of Norwich Replacement Local Plan Adopted Version November 2004 and all material considerations. The flats will be in keeping with the area because of their design and materials and the provision of suitable amenities, and will not have a detrimental impact on the character of the area as a whole.

if in doubt ask ■ do not scale

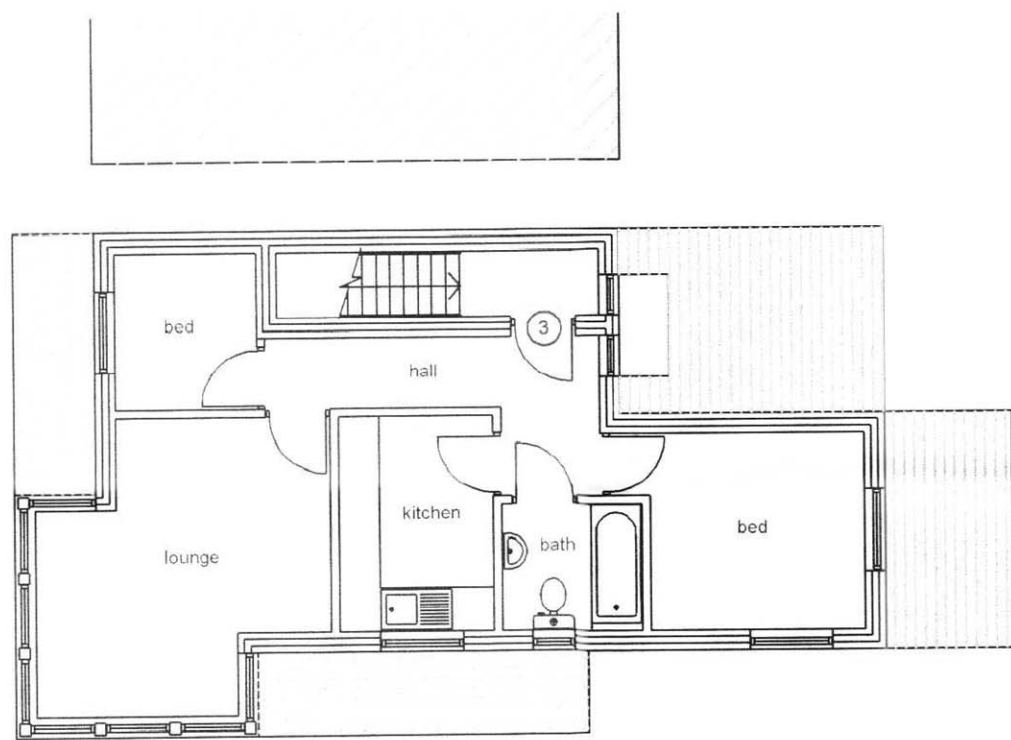


elevation - to Stafford Street

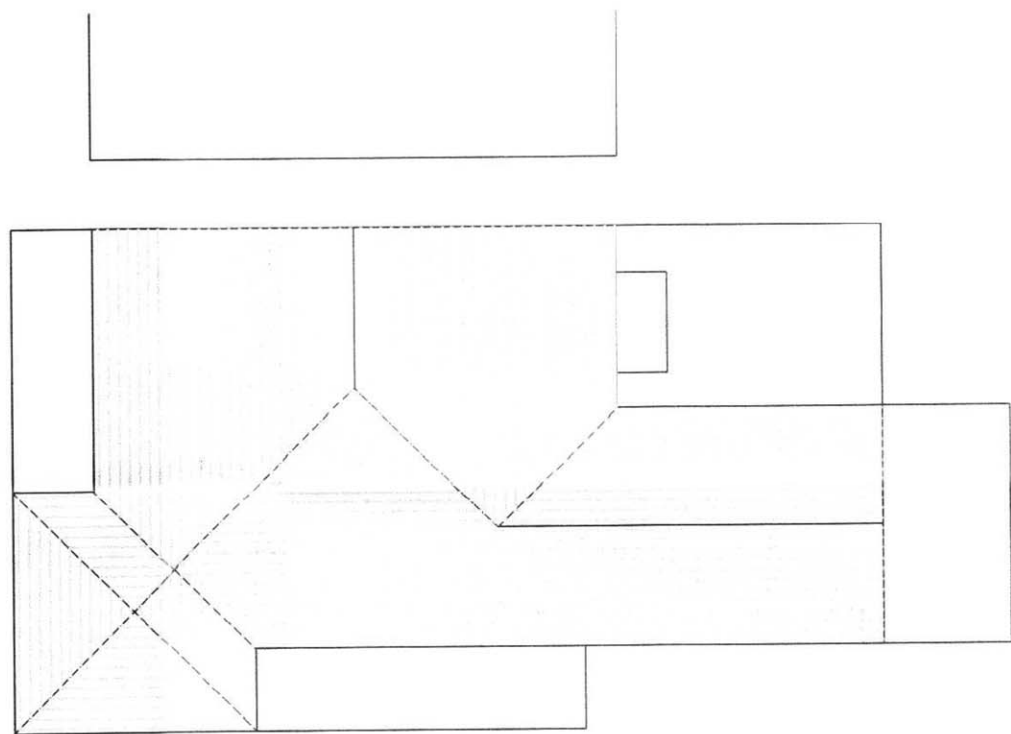
side elevation

rear elevation

elevation - to Gladstone Street

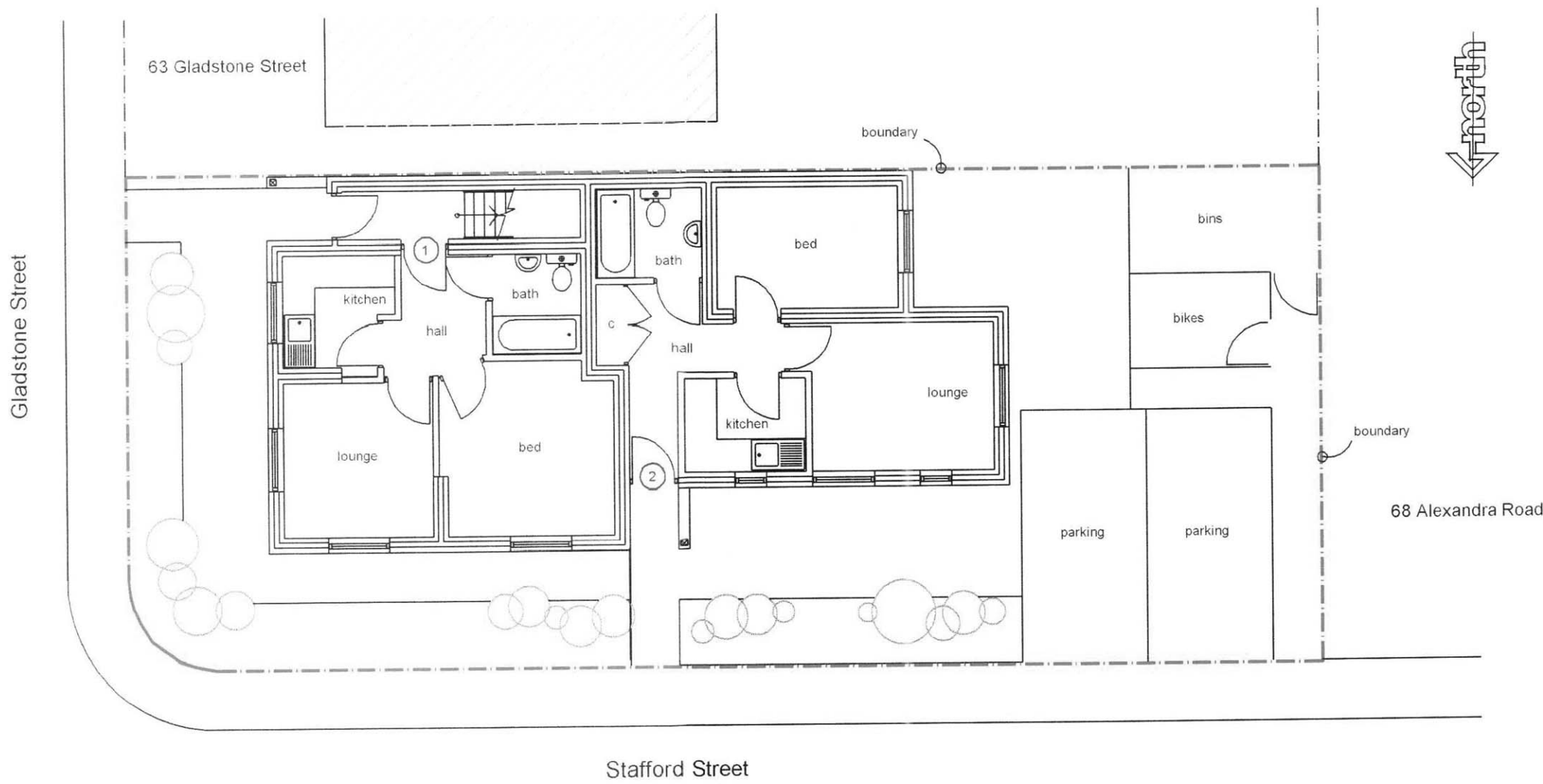


first floor plan



roof plan

1000454F



ground floor plan

ARCHITECTURAL DESIGN
ALAN RAWLINGS

Organisational Development
03 MAR 2008
Post Room

Stable Cottage
Bell Inn Yard
The Street
Bawdeswell
Norfolk
NR20 4RR

01362 688151

alanarchdesign@btinternet.com

Client Paul and Trevor Holmes 23 Stafford Street Norwich		Project Development - 3 flats	
Drawing	planning drawing	Drg no 499 / 01	Rev
Date	15 / 12 / 09	Scale 1 : 100 @	A1



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Planning Application No - 10/00454/F
 Site Address - 23 Stafford Street
 Scale - 1:750



NORWICH
 City Council

PLANNING SERVICES

