

Report to Planning applications committee

Item

12 July 2018

Report of Head of planning services

Subject Application no 18/00004/F - 161 Oak Street, Norwich,
NR3 3AY

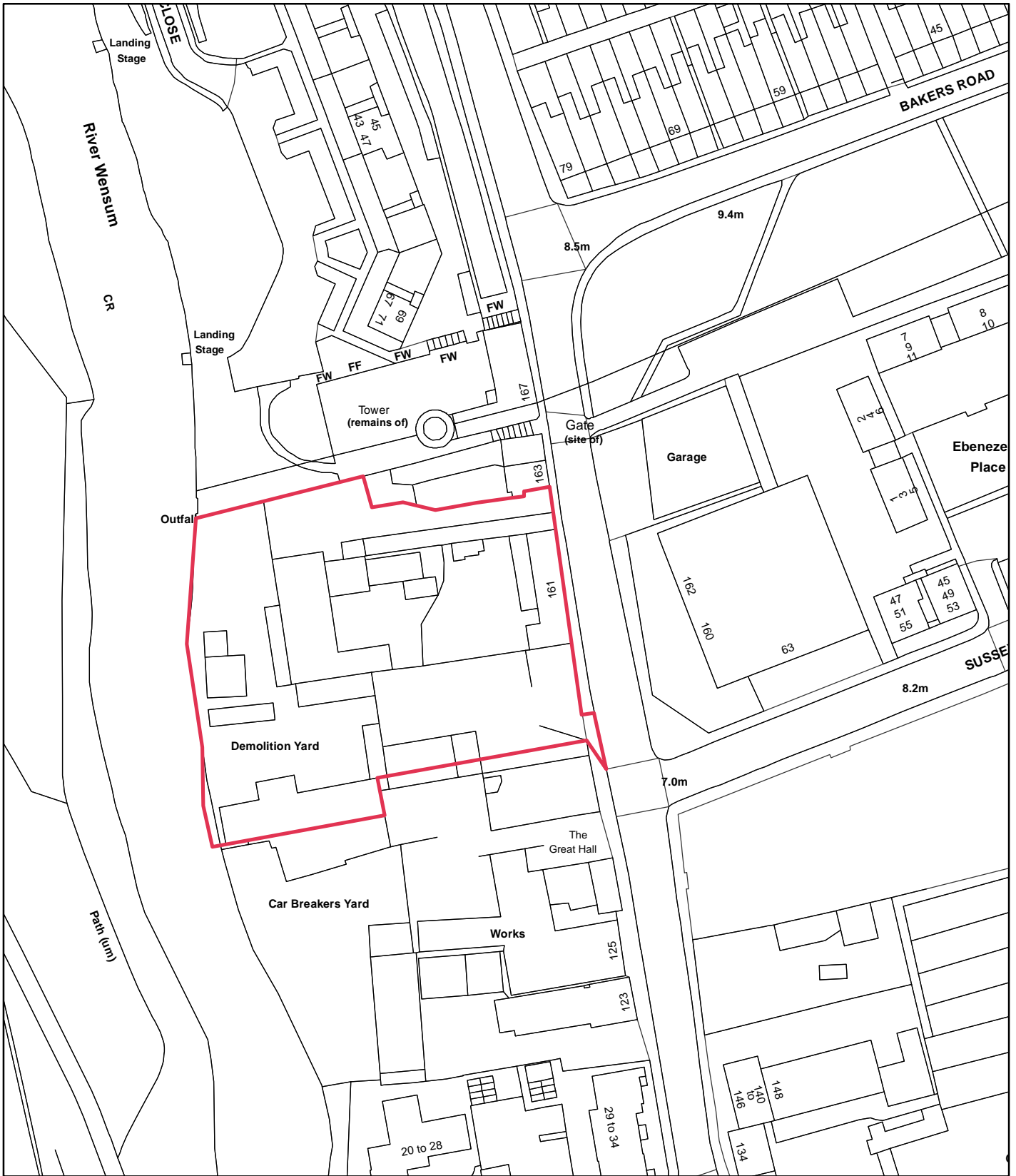
4(a)

**Reason
for referral** Objection

Ward:	Mancroft
Case officer	Joy Brown - joybrown@norwich.gov.uk

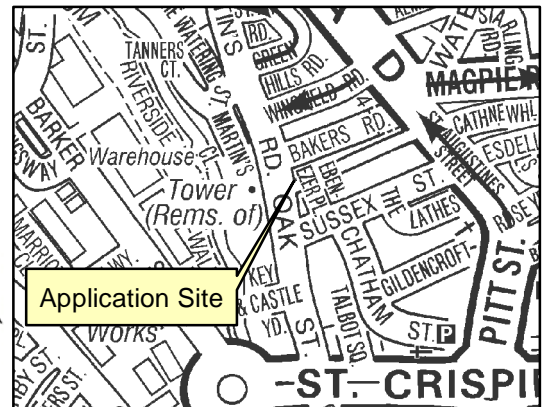
Development proposal		
Demolition of existing buildings and erection of flats and houses (40 units) including associated access and landscaping.		
Representations		
Object	Comment	Support
3	2	1

Main issues	Key considerations
1 Principle of development	Loss of business use and principle of residential use.
2 Design and heritage	Demolition of existing buildings, footprint, layout, height, mass, external appearance, external spaces and archaeology
3 Trees	Protection of Alder tree, loss of trees and replacement planting
4 Landscaping and open space	Landscape strategy, provision of informal open space
5 Transport	Access and traffic generation, car parking, cycle storage, bin storage
6 Amenity	Impact upon neighbouring residents/uses, living conditions for future residents and external amenity space
7 Energy and Water	10% energy saving and water efficiency
8 Flood risk	Fluvial and surface water flooding and sustainable urban drainage systems.
9 Biodiversity	Mitigation and enhancement
10 Contamination	Soil contamination
11 Affordable Housing viability	Provision of 5% affordable housing
Expiry date	30 April 2018 (extension of time agree until 19 th July 2018)
Recommendation	Approve subject to s106



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Planning application no: 18/00004/F
 Site Address: 161 Oak Street
 Scale 1:1,000



The site and surroundings

1. This 0.38 hectare site is located to the north of the city centre and is situated on the western side of Oak Street and slopes down to the River Wensum.
2. The site is currently vacant as the previous use ceased a few months ago. The previous use was a reclamation yard, car parts sales, vehicle re-spray service and joinery business. The site also contained a hot food outlet. There are a number of existing single storey and two storey buildings on the site which were used by a variety of businesses and there was also extensive areas of external storage. Some buildings have now been demolished.
3. Access to the site is directly off Oak Street with there being two access points. The main site entrance is to the south of the site with there being a second access to the north of the site adjacent to no.163 Oak Street which provides access to a garage at the rear of this property.
4. To the north of the site is residential with there being a pair of two storey semi detached residential dwellings fronting Oak Street directly to the north and further north there is a large three storey flatted development at St Martins Close.
5. To the south of the site is a car sales forecourt occupied by Oak Street Cars and a car breakers yard. To the east of the site on the other side of Oak Street there is a large commercial unit which is currently occupied by Mr Plastics. To the west of the site is the River Wensum and beyond this is Train Wood, a County Wildlife Site and large retail/industrial units located along Barker Street.

Constraints

6. The site is situated within the Northern Riverside character area of the city centre conservation area and is in close proximity to the Great Hall which is a grade II listed building. It is also in close proximity to remnants of the city wall/tower which dates to medieval times. This is a Scheduled Ancient Monument. The site is situated within the Area of Main Archaeological Interest.
7. The site is largely situated within flood zone 2 (medium risk of flooding) and the opposite side of the river is a County Wildlife Site which is called Train Wood.
8. There are very few trees on the site although there is a well-established tree near the River Wensum to the southwest of the site. The site slopes down significantly from Oak Street to the river.

Relevant planning history

Ref	Proposal	Decision	Date
15/00245/O	Outline application for demolition of existing buildings and erection of 27 flats and houses including means of access only.	APPR	28/07/2015

The proposal

9. The application seeks full planning permission for the demolition of all existing buildings on the site and the erection of 40 residential units which will consist of 12 dwellinghouses and 28 flats. A full application has been submitted rather than reserved matters as the proposed development is for a greater number of units (of which a higher proportion are flats) and does not fall within the parameters set within the outline application particularly with regards to heights. The applicant has indicated that the previous outline consent would be unviable.
10. With regards to the layout, it is proposed to have two blocks, one which fronts Oak Street and one which fronts the River Wensum with a central parking courtyard. Five terrace properties will front Oak Street towards the northern end of the site with a corner flatted building that will 'book end' the development towards the south. The flatted building will have a recessed fourth floor penthouse and will turn the corner to provide an active frontage onto the newly created access route which is to the south of the site. The block which fronts the River Wensum will consist of seven four storey terrace properties with a flatted block to the south which will have a recessed fifth floor penthouse and again will have an active frontage onto the new access route.
11. The proposal will provide a new access to the River Wensum and will also provide an area of open space and riverside walk which will link to the riverside walk to the north of the site. There will be a secondary pedestrian access from Oak Street to the courtyard to the north of the site.
12. The application has been amended during the process of assessing the proposal with the number of units increasing from 39 to 40 in order to allow the development to provide two affordable units. There was also concern with regards to the proposed scale, form and contemporary design of parts of the development. The main design changes have been the omission of the 'fluted roof' form to the apartment blocks with the upper floor instead being recessed, changes in the positioning of the entrance to the flats so it provides a better frontage to Oak Street, the reduction in the height of the terrace property adjacent to 163 Oak Street and changes to the materials and detailing to the Oak Street terrace properties.

Summary information

Proposal	Key facts
Scale	
Total no. of dwellings	40 (12 dwellinghouses and 28 flats)
No. of affordable dwellings	2 x 1 bedroom flats
Total floorspace	3,735 sq m
No. of storeys	Varies from 2 to 5

Proposal	Key facts
Max. dimensions	Block fronting Oak Street – 40m width, 17.6m depth, 12.5m height Blocking fronting Riverside – 48m width, 27m depth, 16m height
Density	105 dph
Appearance	
Materials	Walls - Multiblend brick clad, zinc cladding, light coloured render Roof – slate and zinc Timber door, grey powdercoated aluminium windows, metal rainwater goods.
Construction	Cold rolled steel frame system with brick cladding system.
Energy and resource efficiency measures	Solar panels on south and west facing roofs.
Transport matters	
Vehicle access	From Oak Street
No of car parking spaces	28
No of cycle parking spaces	47 spaces for the 28 flats in a secure store Each dwellinghouse will have an individual bike store within the rear garden area.
Servicing arrangements	6 x 1,100 litre bins for block A and 4 x 1,100 litre bins for block B Each dwellinghouse will have space for the storage of bins within the rear gardens with the exception of the dwellinghouses which front Oak Street which will have space for the storage of bins within the front garden. There is a bin collection point within the rear courtyard.

Representations

13. The application as submitted was advertised on site and in the press. Adjacent and neighbouring properties were notified in writing. 6 letters of representation have been received citing the issues as summarised in the table below. All

representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

14. Revisions to the application were received and a 3 week period of consultation was undertaken with a new site and press notice and neighbours were notified. No further letters of representation were received.

Issues raised	Response
The design for this prime riverside location is soulless and out of character with the remaining character houses in Oak Street. The entire street is a hotchpotch of design and no thought has been given to what this area will look like in the future.	See main issue 2.
There is an acute shortage of affordable homes in the area and the Council has a policy that seeks 33% affordable provision. I can't believe that it is not viable to have affordable housing in current market conditions.	See main issue 11
The proposal will freshen up the brown field site and will not result in loss of light to the Great Hall or feel too high or imposing. Consideration should be given to how the site to the south could also be developed.	See main issue 2, 5 and 6
The area would benefit from a good development but the proposed building is out of scale. The proposed blocks are unsympathetic and the setting of the Great Hall should be taken into consideration.	See main issue 2.
The proprietors of the breakers yard to the south have concerns regarding a potential break in their security with a need to prevent the public access the site to the south from the new development. The developers need to build a secure, high wall between the breakers yard and the new development.	See main issue 6.
I am anxious about the narrowing of Oak Street and the loss of roadside parking.	The proposal will not narrow Oak Street or result in loss of roadside parking.

Consultation responses

15. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

16. The demolition of the existing structures is not opposed subject to the remains being fully recorded. With regards to the proposed development, the layout is considered broadly acceptable as the two terraces will reinstate the building line along Oak Street and provide a link to the river as well as riverside walk. With regards to the application as submitted, there is some concern over the proposed scale. Form and contemporary design of parts of the development particularly as the 5 storey elements are well above the prevailing building height in the locality. The flatted development has a commercial appearance with full height corner glazing and fluted roof form and the front entrance fails to address Oak Street leaving this part of the development with a defensive and inactive frontage which will detract attention away from the nearby heritage asset (Great Hall).
17. It is important that the private gardens fronting the riverside walk are not overly sub-urban in order to maintain a sense of openness and further details are required of boundary treatments and landscaping across the site. It is regrettable that such a high level of surface car parking is proposed. The predominant use of brick is welcomed.
18. Overall it is considered that the development broadly meets the aims of the Conservation Area Appraisal but there are a number of improvements that could be made to minimise harm to the setting of the nearby listed building and conservation area. The design and conservation officer has been involved in discussions with the applicant and the revisions largely overcome previous concerns raised.

Historic England

19. We are generally supportive of the proposals but the tall block at the southern end of the proposed range facing Oak Street would result in harm to the significance of the conservation area and the listed Great Hall. The Council should consider any public benefit that might result from the proposal but as the application stands we would recommend that the application is refused.
20. We do not wish to comment in detail on the riverside buildings which we consider acceptable in form and scale.
21. The revised plans show some simplification of the block to the southern end of the Oak Street range with amendments to the roof form and elevations. This is an improvement and the associated changes to the terrace part of the Oak Street range are particularly welcome. However we do not feel that the amendments address the fundamental issue of the bulk of the block which can be seen on Oak Street and views of the side access to the site.

Environmental protection

22. Further investigation is required once the site has been vacated by the current occupiers. There are a number of previous and current potentially contaminative uses which need to be thoroughly investigated and the site remediated to remove contamination before development commences.

Environment Agency

23. No objection subject to conditions requiring a scheme to deal with the risks associated with contamination on the site. The samples of groundwater taken from the 2 boreholes on site have indicated the presence of contamination which should be investigated in more detail together with the proposed soil sampling once the site is vacated and demolition has taken place. With regards to flood risk if you are satisfied that the application passes the sequential test and is accommodated by a Flood Risk Assessment then a condition should be attached requiring compliance with the flood risk assessment and that finished floor levels are set no lower than 5.40 m above Ordnance Datum and that details are provided of the compensatory storage scheme.

Highways (local)

24. No objection on highway ground. The proposed site layout and means of access to the highway appear satisfactory and the development makes effective use of the site whilst allowing for access to a new riverside path. Vehicle tracking demonstrates access is possible and that vehicles can exit the site in forward gear. The provision of parking is acceptable and given the site is within a 24/7 controlled parking zone this will contain parking on site. Parking on site for the flats could become problematic so it is essential that spaces are well marked out and that people can't block the route to the river. The car parking will need to be managed. To maintain access to the river it is suggested that a s106 is in place. The route should be built to adoptable standard although will not be adopted. The riverside path needs to connect to the north and remain open. A construction management plan should be secured by condition and a parking management plan should be submitted. A communal bike store is required.

Anglian Water

25. There are assets owned by Anglian Water within or close to the development and an informative should be added to any future consent notifying the applicant that the layout of the development should take this into account. There is capacity for foul drainage at Whitlingham Trowse Water Recycling Centre and the sewerage system at present has available capacity for these flows. The proposed method of surface water management does not relate to Anglian Water operated assets.

Housing strategy

26. The development proposals for this city centre, brownfield site are welcomed however it is disappointing that no affordable housing is provided. Housing need in the area is for 1 bedroom flats, 2 bedroom house and larger family homes (4+ bedrooms). For flats we would prefer to see individual entrances and across the scheme it should be tenure blind. On the basis of the viability study, I would recommend referral to the district valuer.
27. With regards to the revisions and the provision of 2 affordable units it is noted that this is still not policy compliant but having reviewed the report of the district valuer and accompanying appraisal we concur that the development has a limited viability with only 8% profit on GDV so therefore the offer of 2 units of social housing should be accepted. The developer may struggle to attract registered providers for only 2 flats so an alternative commuted sum based on floor area would be considered.

Landscape

28. The details and specification for boundary treatment is incomplete. Whilst the outline scheme for boundary treatments is acceptable in principle, clarity is required on appearance of some elements of the scheme. The locations for proposed landscaped areas are acceptable; however some parts of the soft landscaping scheme are not appropriate particularly in terms of species. Additional information for landscaping should be sought or can be secured by condition

City wide services

29. The dwellinghouses should have their own bin and flats use the communal bin store. We need to ensure that there is a purpose built bin store for the communal bins.

Norfolk County Lead Local Flood Authority

30. We welcome that sustainable drainage systems (SuDS) have been proposed in the development. We have no objection subject to a condition being attached that the detailed design of a surface water drainage scheme shall be agreed prior to development. This should show how surface water runoff rates will be attenuated to 2.7 l/s and that the storage capacity of the attenuation tank is in line with the submitted FRA.

Norfolk historic environment service

31. There is potential that heritage assets with archaeological interest will be present at the site. We have reviewed and approved the revised Written Scheme of investigation for historic building recording and trial trenching. If planning permission is granted this should be subject to a post- determination programme of archaeological works.

Natural areas officer

32. No objection subject to conditions relating to ecological mitigation, mammal access and bird nesting season.
33. There is a risk that increased light pollution from the development is likely to affect the commuting behaviour and foraging activities of noctule bats that roost within the woodland area on the opposite bank and disturb wildlife that uses the river corridor.
34. The mitigation measures that are recommended within the ecology report are supported and in addition during construction, measures should be implemented to prevent mammals from falling into trenches and other works. Furthermore the existing young Alder trees on the river bank should be protected and clearance work should occur outside the main nesting season for birds. Fencing across the southern ends of the riverside walk should be avoided to allow the movement of mammals and any fencing should have adequate openings to enable movement.
35. The riverside walk has the potential to enhance biodiversity and the landscaping scheme should include planting of native tree species. The integration of bird and bat boxes into the building would be preferable to the fixing of boxes later. The river edge is piled/reinforced with wood and metal sheet piling and the removal of this and the creation of a natural river edge would be welcomed.

Private sector housing

36. No comment

Tree protection officer

37. A condition should be attached to any future permission requiring that works shall be undertaken in accordance with the AIA, AMS and TPP. The main concern is that the tree is retained on the river bank at the south east corner of the site.

Norwich Society

38. The area would benefit from a good development but the proposed building is out of scale. The proposed blocks are unsympathetic to each other and the nearby Great Hall which is listed should be taken into consideration. The proposal should also have affordable housing. The revision do not overcome our concerns as the scale and layout appear essentially unchanged.

Assessment of planning considerations

Relevant development plan policies

39. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**

- JCS1 Addressing climate change and protecting environmental assets
- JCS2 Promoting good design
- JCS3 Energy and water
- JCS4 Housing delivery
- JCS5 The economy
- JCS6 Access and transportation
- JCS9 Strategy for growth in the Norwich policy area
- JCS11 Norwich city centre
- JCS20 Implementation

40. **Northern City Centre Area Action Plan adopted March 2010 (NCCAAP)**

- LU3: Residential development

41. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**

- DM1 Achieving and delivering sustainable development
- DM2 Ensuring satisfactory living and working conditions
- DM3 Delivering high quality design
- DM5 Planning effectively for flood resilience
- DM6 Protecting and enhancing the natural environment
- DM7 Trees and development
- DM8 Planning effectively for open space and recreation
- DM9 Safeguarding Norwich's heritage
- DM11 Protecting against environmental hazards
- DM12 Ensuring well-planned housing development
- DM13 Communal development and multiple occupation
- DM17 Supporting small business
- DM28 Encouraging sustainable travel

- DM30 Access and highway safety
- DM31 Car parking and servicing
- DM32 Encouraging car free and low car housing
- DM33 Planning obligations and development viability

Other material considerations

42. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF6 Delivering a wide choice of high quality homes
- NPPF7 Requiring good design
- NPPF10 Meeting the challenge of climate change, flooding and coastal change
- NPPF11 Conserving and enhancing the natural environment
- NPPF12 Conserving and enhancing the historic environment

43. Supplementary Planning Documents (SPD)

- Affordable housing SPD adopted 2015

Case Assessment

44. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

45. Key policies and NPPF paragraphs – DM12, NPPF paragraphs 49 and 14.
46. The site previously formed part of a wider housing land allocation under policy OSN2 of the Northern City Centre Area Action Plan (NCCAAP); however the NCCAAP has now expired and therefore has no weight. The site does however benefit from outline planning consent for the demolition of the existing buildings and the erection of 27 dwellings on the site and therefore the principle of the loss of the small businesses on the site and the principle of residential has already been established. Furthermore the site is within an area where the Council would like to see regeneration.
47. This application seeks planning permission for the erection of 12 dwellinghouses and 28 flats. The provision of 40 units of residential accommodation on this site will help to meeting the housing needs within Norwich as identified within policy 4 of the Joint Core Strategy. It will provide 7 no. 4 bedroom houses, 4 no. 3 bedroom houses, 1 no. 2 bedroom houses, 1 no. 3 bedroom flat, 18 no. 2 bedroom flats and 9 no. 1 bedroom flats. It is proposed that all will be market dwellings other than two of the 1 bedroom flats which will be social rent. The current housing need within this area is for 1 bedroom flats, 2 bedroom houses and larger family homes (4+

bedrooms). The dwellinghouses and larger flats will be suitable for family living. The proposal also provides private outdoor amenity space for a large number of the units and communal riverside outdoor space for the enjoyment of all residents.

48. Due to the proposed buildings being up to five storeys the density will be relatively high and although it will be higher than surrounding sites, this is an accessible location within the northern city centre and is within an area which needs regenerating. Furthermore, since the previous application, the draft revised National Planning Policy Framework has been published for consultation. Section 11 concerns the effective use of land and it is important to note that it is the Government's intention to combine a number of proposals from the housing White Paper which includes making more intensive use of existing land and buildings and pursuing higher density housing in accessible locations, while reflecting the character and infrastructure capacity of each area. It is considered that increasing the density of this development and increasing the number of units from 27 to 40 will make optimal use of the site whilst providing good living conditions for future residents, not having a significantly detrimental impact upon neighbouring residents and contributing positively to the streetscape and the conservation area.
49. Policy 4 of the Joint Core Strategy and policies DM12 and DM13 of the Local Plan set out the criteria against which residential developments will be assessed. These issues along with other material considerations are discussed within the report.

Main issue 2: Design and heritage

50. Key policies and NPPF paragraphs – JCS2, DM3, DM9, NPPF paragraphs 9, 17, 56, 60-66 and 128-141.
51. The site is situated within the Northern Riverside Character Area of the City Centre Conservation Area which has significant heritage value. The site features the remains of the Steward and Pattersons Maltings (non-designated heritage asset) remnants of which survive today. The existing single storey street frontage building is identified as a negative feature within the conservation area and with the current condition of the site being poor, development has the potential to significantly enhance the quality of the conservation area and the streetscene. The site lies within the setting of various heritage assets including: -
 - Grade II listed 15C Great Hall, Oak Street (formerly listed as no.123) 10m to the south,
 - Locally listed 167 Oak Street (former Dun Cow Public House) to the north.
 - The remains of the medieval city walls and tower (scheduled ancient monument) to the north.
52. The site's location within and in proximity to both the medieval city walls and the river is of interest from an archaeological and historic perspective. The northern bank of the river is said to have been used for medieval industries such as leather, cloth and beer production and this side of Oak Street and the application site evidences with its ruinous remains of the Stewarts and Pattersons Maltings and neighbouring Great Hall (with weavers window) evidences this. The site has most recently been used as commercial with there being a two storey warehouse/workshop building on the site.
53. Oak Street suffered damage during the Baedeker raids in 1942, when many of the historic buildings which lined the western side of Oak Street were lost. The site's

earliest known use is as Stewarts and Pattersons Maltings and residential yard (Little Buck Yard) associated with the neighbouring Buck Pub (dating back to at least 1794). Remains of the maltings survive on the site today, in ruinous form, unfortunately the public house and yard were lost.

Demolition of existing buildings

54. Whilst the ruinous remains of the 19C malting is of some heritage value, as one of only a handful of such structures to survive in the city, its dilapidated state does little to enhance the character and appearance of the conservation area and is not of townscape value. It is unlikely to be viable or feasible to incorporate the remains into a new development and provided that the remains of the Maltings are fully recorded and the information added to the HER, the demolition of the existing structures is considered acceptable.

55. Footprint and Layout

56. The proposed layout of the site to include blocks of accommodation, one fronting Oak Street and another fronting the river with an internal courtyard area accessed via the re-established Little Buck Yard is considered appropriate. The development will reinstate the building line along Oak Street in accordance with the City Centre Conservation Area Appraisal and the provision of a riverside walk and visual links to the river from Oak Street are also welcomed.

57. The block which faces onto Oak Street will consist of five dwellinghouses which are a contemporary take on traditional terrace properties with a flatted development to the south which has an active frontage onto both Oak Street and Little Buck Yard. The build line for the dwellinghouses is set back from the build line of the cottages to the north which is regrettable; however it is necessary to have steps on the Oak Street frontage due to floodrisk which as a result means the development needs to be set back. The block which fronts the River will consist of seven four storey townhouses with a flatted development to the south.

58. The development is well set back from the river for a number of reasons. Firstly the Environment Agency requires a buffer zone to the water's edge and secondly there is a foul sewer main running through the site which requires a 5m easement either side of this for access purposes. This setback has the benefit of providing a good sized area of publically access open space, a riverside walk and private gardens for the four story townhouses which front the river.

59. The layout allows for the provision of private gardens for all dwellinghouses and the internal courtyard provides 28 car parking spaces whilst not dominating the development. The courtyard car park also increases the distances between the rear of each terrace which reduces overlooking and increases day and sunlight to the properties and amenity areas. The layout of the site seeks to make efficient use of the site and provides a good mix between dwellinghouses and flats.

60. The proposed development would not prejudice the future development of the site to the south. The re-establishment of Little Buck Yard would provide a means of access and the opportunity for a frontage development in the future if the site to the south was to come forward for development.

Height and massing

61. Although the council considered that the layout of the proposed development was acceptable, the council had reservations with regards to the height, mass and form of some elements of the application as submitted. In particular it was felt that the 5 storey flats which fronted Oak Street would be incongruous and failed to preserve or enhance the character and appearance of the conservation area or the setting of the Great hall which is a grade II listed building to the south of the site. This was due to the block's overall height, fluted roof form and commercial appearance.
62. The developer subsequently amended the scheme and by changing the fluted roofs to recessed roofs, by simplifying the elevations and by having an entrance onto Oak Street it is felt that the proposed buildings sit much more comfortably within its surroundings. Although it is acknowledged that the buildings are still higher than the prevailing building height within the locality and that Historic England still have reservations regarding the height of the building fronting Oak Street, in this instance it is felt that it has been demonstrated that the relationship between the proposed development and neighbouring buildings works well and that the development will not detract from the setting of the nearby Great Hall.
63. Furthermore concern was raised with the applicant that the 2.5 storey terrace properties fronting Oak Street were significantly higher than the neighbouring cottages and therefore the application has been amended whereby the northern most property has been reduced to 2 storeys which means that the development has a much better relationship with the adjacent building.
64. Overall therefore it is felt that the new buildings will have a strong presence but it is not considered that they will dominate the view along Oak Street or have a detrimental impact upon the landscape setting of the river.

External appearance

65. The predominant use of brick cladding on the external elevations and slate roofs will create a good relationship with neighbouring buildings; whilst the use of zinc cladding, render and a black/grey engineering brick plinth will help break up the mass and add visual interest. Furthermore the top storey of the flatted developments will be set back and faced in zinc cladding which should be aesthetically successful in reducing the mass of the building.
66. The use of a light render on the courtyard facing elevations of the four storey townhouses is understandable given the need to reflect light into the courtyard and rear gardens. However it will be important that the render is specified correctly with anti-fungal coating and occasionally cleaned to avoid discolouration and staining.
67. Details of materials should be conditioned to ensure that the proposed development is of high quality.

External spaces

68. The proposed footprint allows a number of external spaces to be created for the enjoyment of future residents, some of which are shared and some of which are of private. In particular the riverside walk and open space should provide a nice setting for the development. All dwellinghouses will benefit from private garden space with the four storey townhouses facing the river benefiting from a private rear

yard, private space which fronts the river and balconies. The penthouses also have generous roof terraces and some of the flats have balconies.

69. The provision of a 5 storey flatted development to the south of the dwellinghouses will mean that a number of the amenity spaces are shaded for a large amount of the day; however residents would be aware of this when buying the properties.
70. Particularly given the proximity to private parks such as Gildencroft and Wensum Park it is considered that the external spaces are sufficient for residents. Details of landscaping should form a condition of any future consent to ensure that it is of high quality.

Archaeology

71. The site is situated within the Area of Main Archaeological Interest and there is a high potential that heritage assets will be present at the site. If planning permission is granted then this should be subject to conditions requiring a programme of archaeological mitigatory works.

Main issue 3: Trees

72. Key policies and NPPF paragraphs – DM7, NPPF paragraphs 109 and 118.
73. There are no trees within the main site although there are two Alders on the riverbank and a birch to the north in an adjacent plot. The Alder (T1) has been classed as category B and is in good condition and contributes to the landscape. A smaller Alder (T2) and a Birch (T3) have been classified as category C. An Arboricultural Impact Assessment, Tree Protection Plan and Arboricultural Method Statement have been submitted with the application and these set out that both Alder trees will be retained and protected during the works. The Birch tree will be removed which is considered acceptable subject to replacement planting. The site plan indicates the planting of a number of trees, details of which can form a condition of any future consent. A condition should also be attached requiring development to be undertaken in accordance with the AIA, TPP and AMS.
74. Although the site has a frontage of more than 10m, in this instance it is not considered that there is sufficient space for street trees particularly given that the proposed development is hard up against the highway.

Main issue 4: Landscaping and open space

75. Key policies and NPPF paragraphs – DM3, DM8, NPPF paragraphs 9, 17 and 56.
76. The existing condition of the site is poor and does little to enhance the setting of the River Wensum and Train Wood. The proposal therefore presents an opportunity to improve the outlook from Train Wood, improve the street scene of Oak Street and address the transition from naturalised area to urban.
77. There were concerns with some element of the landscaping scheme as submitted; however the scheme has been amended in such a way that our concerns have been overcome. Norwich City Council's landscape officer has viewed the revised plans and feels that the landscape scheme is acceptable in principle. Full details of the soft landscaping, hard landscaping and implementation and management scheme should form a condition of any future consent.

78. There is no policy requirement for the development to provide onsite informal publically accessible recreational open space as the development is for less than 100 dwellings. Notwithstanding the above, the scheme provide a good sized area of open space, a riverside walk for the benefit of future residents of the development as well as the general public and a new public link through the southern part of the site.

Main issue 5: Transport

79. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, NPPF paragraphs 17 and 39.

Access and Traffic Generation

80. The site is situated within the city centre and is well accessible by a variety of means of transport and the site is within walking and cycling distance of existing facilities and services.
81. The proposed vehicular access to the site will be towards the south of the site and the proposed road type and point of access would mean that it is capable of serving future development to the south of the site. The new shared surface would enable public access to the river frontage and to the new section of the riverside walk and the proposed type 3 access and turning head will ensure that traffic can exit the site in a forward gear. A pedestrian access will be retained to the north of the site which will provide pedestrian access to the parking courtyard and the rear of 163/165 Oak Street. New car parking spaces will be provided for these properties which will be accessed via the new courtyard.
82. A choice of access is provided from the development to the river frontage which includes steps and a ramp that will be disabled friendly and encourage people with pushchairs and bicycles. The new riverside path will contact to the riverside path to the north and this will link the development to places such as Wensum Park. A condition should be attached to any future permission to ensure that the riverside walk does not become gated and that it remains open 24 hours a day.
83. A transport statement has been submitted with the application which would suggest that the development would have less of an impact upon the highway network than the existing use as the development would result in an overall reduction in trips
84. Although the site has a frontage of more than 10m, in this instance it is not considered that there is sufficient space for street trees particularly given that the proposed development is hard up against the highway.

Car parking, cycle storage and bin storage

85. 28 car parking spaces will be provided for the new development with all dwellinghouses and penthouses being allocated a space. The level of car parking will mean that a large number of the flats are car free. This level of car parking is consistent with DM32 and acceptable for edge of city centre sites which offer scope for future residents to travel to work and everyday services/facilities by sustainable means. Details of the car park should be agreed by condition, A car park management strategy has been submitted to ensure that residents do not park additional cars on the new road which would block the route through to the riverside walk. Compliance with the strategy should form a condition of any future consent.

86. With regards to cycle parking, sheds will be provided within the garden spaces of the dwellinghouses. Detail of this will form the subject of any condition in order to ensure that the store is of sufficient size to accommodate 2 cycles for the 2 and 3 bed properties and 3 cycles for the 4 bed properties. For the flats an internal cycle store is provided at ground floor level within each block which is of sufficient size to accommodate a policy compliant number of bikes. Details of the tether have been provided.
87. With regards to bin storage, each dwellinghouse will have space within the garden for 2 x 240 litre bins. For the properties fronting Oak Street these will be provided within the front garden and for the properties fronting the river these will be within the private yards. There will be a bin collection point to ensure that the drag distance between is acceptable. Communal bin stores will be provided for each of the flats. Concern was raised with the applicant regarding the size of these bin stores but these have now been amended to ensure that they are of sufficient size to accommodate the required number of 1,100 litre bins and to ensure that they are manoeuvrable.

Main issue 6: Amenity

88. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.

Impact upon neighbouring residents

89. With regards to the impact upon neighbouring residents and occupants the main issues for consideration are the impact upon the cottages to the north (163-165 Oak Street) and upon the car sales/breakers business to the south. Due to the distances involved it is not considered that the proposal will impact upon the flats to the north, the Great Hall to the south or Mr Plastics to the east.
90. With regards to the impact upon 163-165 there was some concern that due to the height of the dwellinghouses fronting Oak Street and due to the depth being greater than the existing properties that the proposal would result in an unacceptable level of overshadowing and loss of light and that the proposal could appear somewhat overbearing. The proposed dwelling closest to 163 Oak Street has subsequently been reduced in height and the rooms in the roof omitted which has helped overcome concerns and it is now considered that the relationship between the two properties is acceptable. The proposal will also increase overlooking to 163-165 Oak Street and in particular to their rear garden area however the level of overlooking will not be unusual within an urban area such as this. Furthermore it should be acknowledged that the proposed use of the site as residential should mean that there is considerably less noise than from the existing use of the site which will create a more pleasant living environment for the residents of the neighbouring cottages.
91. With regards to the car business to the south, due to the orientation, the proposal is not likely to result in significant loss of light or overshadowing to the premises. Concern has been raised by the proprietors of the business that the proposed development could leave their site open and create a break in their security. The site is a potential high risk accident area and the site does need to be secure under Environment Agency licensing rules. The proposal does include a new retaining wall between the development and the breakers yard to the south, details of which can form a condition. The noise impact assessment requires this to be of a height of

2.5m which should in turn provide the security that the site requires. Subject to this it is not considered that the proposal will unduly impact upon the business to the south.

Living conditions for future residents

92. The internal space for all dwellinghouses and apartments is considered sufficient to meet the needs of future residents. The flats range in size from 41 sq m to 124 sq m which mean all units meet minimum space standard with many of the flats being generously sized. The dwellinghouses range in size from 83 sq m to 159 sq m so again these are well proportioned to meet the needs of family living.
93. It is considered that all dwellinghouses and flats will benefit from good levels of light and where there has been concern about unacceptable levels of overlooking between properties, these have been addressed through the provision of screens to balconies and through the repositioning/omission of windows.
94. A noise impact assessment has been submitted with the application and the noise survey established that noise generated by road traffic is likely to result in noise intrusion to residents along the eastern edge of the proposed development. Consequently, mitigation measures are required in order for the site to be suitable for residential development. In addition it is suggested that there is a 2.5m barrier along the southern boundary of the site adjacent to the commercial operation. The assessment of potential noise generated by adjacent industrial/commercial units indicates that, with mitigation measures in place, resultant noise levels should not cause significant adverse impact. In summary subject to the mitigation measures being carried out the resultant noise levels within the dwellings and private garden and amenity area would meet reasonable guidance and would provide a suitable level of protection against noise for future occupants of the dwellings. Conditions would need to be attached to any future permission to ensure that this is carried out.

External amenity space for future residents

95. Policies DM2, DM12 and DM13 of the Local Plan set out that residential use should be permitted subject to the provision of satisfactory external amenity space (private or communal) adjoining the property with appropriately located bin storage, cycle storage and drying areas. For the proposed development all dwellinghouses will have private gardens which are of sufficient size for the enjoyment of residents. In addition the dwellinghouses facing onto the River Wensum will have balconies. There is some concern that some of the private yards will not benefit from a huge amount of sun due to the height of the apartments and this has been confirmed by shadow analysis which is regrettable but not considered to be of sufficient reason to justify a refusal. This should however be taken into consideration when selecting appropriate soft landscaping.
96. With regards to the flats, 17 flats have some form of balcony space with the penthouses having extensive roof terraces. There will be 11 flats with no form of private amenity space but taking into consideration the proposed on site open space and the proximity to the riverside walk and a number of publicly accessible recreational open space (Gildencroft park and Wensum Park), the level of amenity space is considered acceptable and satisfies the requirements of the Local Plan.

Main issue 7: Energy and water

97. Key policies and NPPF paragraphs – JCS3, DM1, NPPF paragraphs 94 and 96.
98. Policy 3 of the Joint Core Strategy requires 10% of the site's energy requirement to come from low or no carbon sources. An energy statement has been submitted with the application which explores how site energy saving technologies and renewable energy sources can provide 10% of the predicted energy use. The report explores the use of solar thermal, photovoltaics, ground source heat pumps, air source heat pumps and shower heat recovery units. The conclusion of the report is that PV panels will reduce energy consumption by 10.66% and shower heat recovery units will reduce energy consumption by 6.17% so a mixture of the two technologies will be able to achieve at least a 10% saving. A condition will need to be attached to any future permission requiring full details.
99. In relation to water, Joint Core Strategy policy 3 sets out that new housing development must reach Code for Sustainable Homes level 4 for water. A condition should be attached to any permission to ensure that the development is constructed in accordance with G2 of the 2015 Building Regulations for water usage.

Main issue 8: Flood risk

100. Key policies and NPPF paragraphs – JCS1, DM5, NPPF paragraphs 100 and 103.
101. The site is shown to be located predominately in Environment Agency Flood Zone 2 (medium risk of flooding) with the far extremities of the site shown to be in flood zone 1 (low risk of flooding). The NPPF and DM5 requires inappropriate development in areas at risk of flooding to be avoided by directing development away from areas at highest risk, but where development is necessary, making it safe without increasing flood risk.
102. The site was previously allocated for development and benefits from an extant outline planning consent and therefore the principle of development in this flood susceptible location has been established and therefore it is not considered necessary to undertake a sequential test. Therefore in this instance the prime consideration is whether the development has been designed to ensure safety and that the impact of flooding is minimised.
103. A flood risk assessment has been submitted with the application and this aims to identify and assess the risks of flooding and demonstrate how these flood risks would be appropriately managed. It also comprises an overview of a surface water drainage strategy to mitigate and address the potential for the new housing development and associated features, to prevent the site and surrounding land from flooding from surface water flooding.
104. The natural slope of the site offers protection to the eastern portion of the site and the FRA confirms that finished floor levels of the dwellings of at least 150mm above the local ground level will be sufficient to raise the dwellings well above the level up to the 1 in 100 storm event, which will be contained in the permeable paving, pipes and storage crates. Access and egress will not be impeded during this event. Fluvial flooding from the River Wensum could occur but only extreme flood events would affect the ground floor of the buildings and there is a safe route of escape via the eastern side of the buildings to the car parking areas.

105. Groundwater flooding could also occur but the floor levels will be raised above most storm events and due to the slow onset of this type of flooding, it is unlikely to cause a serious danger to life or property.
106. The FRA concludes that although the development is within a flood zone, the development is appropriate as the site adequately reduces runoff from the site and provides flood compensation. Given the previous commercial use of the site, ground conditions and the shallow level of the water table, infiltration surface water disposal is neither recommended nor feasible. It is therefore proposed that increased surface water flows will be attenuated by using SUDs storage with regulated discharge into the River Wensum via an existing outfall. The Local Lead Flood Authority and the Environment Agency have confirmed that this approach is acceptable subject to conditions.
107. The Environment Agency has provided comment on the application and has no objection to the proposed development subject to the floor levels being set no lower than 5.40 metres above Ordnance Datum and that further details are provided of the compensatory storage scheme. An informative should also be attached to any future permission notifying the applicant that they may need an environmental permit for flood risk activities if they want to do work in, under, over or within 8 metres from the River Wensum.
108. The LLFA has also commented on the application and they have no objection subject to the detailed designs of the surface water drainage scheme in order to ensure that the surface water attenuation storage is designed to accommodate the volume of water generated in all rainfall events and that surface water runoff rates will be attenuated to 2.7 l/s. They have also asked that finished ground floor levels are a minimum of 300mm above expected flood levels.
109. The applicant has confirmed that they intend to install permeable paving which will discharge into storage crates and discharge at a greenfield run off rate of 2.7 l/s to the River Wensum. Therefore the post development discharge rate would be a significant improvement on the current brownfield discharge rate which is welcomed.

Main issue 9: Biodiversity

110. Key policies and NPPF paragraphs – JCS1, DM6, NPPF paragraph 118.
111. The site was recently intensively used for commercial purposes but the location of the site adjacent to the River Wensum and opposite a County Wildlife Site, Train Wood, increases the likelihood that the site is used by wildlife, particularly bats. An ecological survey has been undertaken which established that the site is generally of low ecological value, although the mixture of buildings and tall walls around the site together with materials scattered around the area, provide suitable habitat for nesting birds and potentially bats. The river corridor also provides potential habitat for otters.
112. No evidence of bats or European Protected Species was found within the site during the surveys undertaken. There is however high potential for nesting birds to be present on the site and it is therefore recommended that any clearance works occur outside the main nesting season for birds and if this is not possible the area will be checked by a bird surveyor prior to clearance to confirm that works can

proceed. Based on the results of the surveys, it is also recommended that works take place under the submitted ecological method statement for bats and breeding birds which should form a condition of any future consent. This includes that prior to demolition commencing a bat box will be placed on site in a suitable location away from demolition works. The report also recommends that the river bank should be protected and materials/equipment should not be stored in this area during demolition and construction and works should avoid accidental pollution of the River Wensum and adjacent County Wildlife Site. The design of the site should also look at the effects of light pollution and the river adjacent to the site should be maintained as a 'dark corridor'.

113. In terms of enhancing biodiversity, the current site is environmentally poor and the residential scheme proposes betterment in the form of a green corridor along the river frontage and through tree planting. There is additional scope to provide further ecological enhancements through the provision of bird and bat boxes, details of which can form a condition.

Main issue 10: Contamination

114. Key policies and NPPF paragraphs – DM11, NPPF paragraphs 120-122.
115. Due to the previous use of the site and the surrounding area there is a high likelihood that areas of the site may be impacted by soil contamination. Therefore it will be necessary for further investigations to take place once the site is cleared in order to assess these areas and provide remedial advice. The environment agency has no objection to the proposed development subject to a number of conditions relating to contaminated land being attached to any future planning permission.

Main issue 11: Affordable housing viability

116. Key policies and NPPF paragraphs – JCS4, DM33, NPPF paragraph 50.
117. Development of this scale triggers a requirement for a proportion of the dwellings to be affordable. In accordance with JCS4, 33% of the units would need to be affordable with approximately 85% social rented and 15% intermediate tenures.
118. This proposed development will provide 2 no. 1 bedroom affordable flats which equates to 5% affordable units and as this is not a policy compliant level the District Valuer was instructed by the Council to look at the viability in order to establish whether there is a financial justification for any further affordable housing.
119. Daniel Connal Partnership (DCP) undertook a viability appraisal on behalf of the applicant which sought to support a conclusion that the provision of 2 affordable units plus the required level of Community Infrastructure Levy results in a level of developer's profit that is below industry norms and that any increase in affordable housing will make the scheme unviable. This report is available on Norwich City Council's website.
120. The district valuer has undertaken their own research into both current sales values and current costs and his findings are also available on Norwich City Council's website. In summary the District Valuer is of the opinion that the unit rates for both the flats and dwellinghouses adopted by DCP are within acceptable parameters and that the development costs are reasonable. DCP conclude that the proposed scheme generates a profit of £872,623 when a benchmark land value of £1,095,000

is adopted in their appraisal and this produces a profit on cost of 8.44% (this reflects a profit on GDV of 7.78%). DCP comment that a reasonable level of developer's profit would typically be 20% but at least 15% which the District Valuer concurs with. This means that whilst the proposed scheme does produce some profit (albeit significantly lower than normally considered reasonable), any increase in affordable housing towards a policy compliant requirement will negatively impact on viability. The applicant is willing to proceed at this reduced level of profitability (and therefore increase level of risk) due to historic connections with the site. The District Valuer agrees that the scheme is unable to support any additional on-site affordable housing above the 2 units currently offered, particularly as this is a brownfield site with inherent development risks.

121. Notwithstanding the above, as per the advice within the affordable housing SPD this would be subject to a review within 12 months if development has not commenced. Furthermore if development has commenced within 12 months of the decision being issued it is suggested that a review is undertaken if there has been no occupation within a further 24 months from commencement.
122. Based on the above it is considered that the proposal accords with policy 4 of the Joint Core Strategy as it has been demonstrated that it is not viable to provide 33% affordable units.

Compliance with other relevant development plan policies

123. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Cycle storage	DM31	Yes subject to condition
Car parking provision	DM31	Yes subject to condition
Refuse Storage/servicing	DM31	Yes subject to condition
Energy efficiency	JCS 1 & 3 DM3	Yes subject to condition
Water efficiency	JCS 1 & 3	Yes subject to condition
Sustainable urban drainage	DM3/5	Yes subject to condition

Equalities and diversity issues

124. There are no significant equality or diversity issues. All dwellinghouse will have level access via either the front or rear of the property and the flats will be

accessible by lift. A ramp will be provided in order to provide an accessible route from the development to the riverside walk.

Local finance considerations

125. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
126. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
127. In this case local finance considerations are not considered to be material to the case.
128. The development will be CIL liable. The rate for the dwellinghouses is £104.80 per sqm and the rate for the flats is £90.83 as the blocks are five storeys (with the exception of the two affordable unit which is £0). As the proposal involves the demolition of 877sqm of floorspace this needs to be deducted. The overall CIL sum is therefore £272,197.22.

Conclusion

129. The principle of the demolition of the existing buildings and the provision of a residential development has already been established through the previous consent. The proposal would provide 12 dwellinghouses and 28 flats which would help meet the housing need in Norwich and provide family housing in a central, sustainable location. The layout of the proposal makes effective use of the land, reinstates the building line along Oak Street and provides a riverside walk and visual link to the river from Oak Street. The Council had concerns regarding the overall height, mass and form of some elements of the proposal however the scheme has been amended so the proposed building sit more comfortably within its surrounding and will not detract from the setting of the nearby Great Hall or the wider conservation area. The use of good quality materials will create a good relationship with neighbouring buildings and help break up the mass and add visual interest. The proposed layout also allows for a number of external spaces to be created including an area of open space adjacent to the river.
130. The proposal will provide good living conditions for future residents of the site with all flats and dwellinghouses meeting internal space standards and a large number of the units having private amenity space in the form of gardens, balconies or roof terraces. All units will have secure cycle parking and bin storage for the site is well located. The proposal will have minimal impact upon neighbouring residents and will have less impact upon the highway network than the existing use.
131. The proposal will provide 5% affordable housing which is significantly lower than the policy requirement of 33%. Notwithstanding the above, the applicant has undertaken an open book viability assessment which has been reviewed by the District Valuer, the conclusion of which is that the development would not be viable with any further affordable housing.

132. Overall therefore it is felt that the proposed development will help regenerate this site which is currently in a poor state and will enhance the setting of the conservation area and nearby listed building. The development is therefore in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 18/00004/F - 161 Oak Street Norwich NR3 3AY and grant planning permission subject to the completion of a satisfactory legal agreement to include provision of affordable housing and subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Details of:
 - (a) Bricks, roofs, zinc cladding, render, steps
 - (b) Doors and windows (including depth of reveal, details of heads, sills, lintels and glazing)
 - (c) external flues, mechanical ventilation, soil/vent pipes and their exit to the open air
 - (d) eaves and verges
 - (e) rainwater goods (to be cast iron or aluminium)
 - (f) balustrades and associated fixings
4. Sample panel of the facing brickwork (showing colour, texture, facebond and pointing)
5. HA1 Access for recording (to allow for a full photographic survey of the remains of the historic Maltings to be carried out).
6. Removal or permitted development rights for boundary treatments, outbuilding and extensions
7. Landscaping details including soft landscaping, hard landscaping, boundary treatments, implementation programme and management details.
8. Heritage interpretation
9. Archaeology – development to take place in accordance with WSI. No occupation until the site investigation and post investigation assessment has been completed in accordance with the details set out within the WSI.
10. Archaeology – stop works if unidentified features revealed.
11. Works to be carried out in accordance with the Ecological method statement
12. Small mammal access
13. Site clearance to take place outside the main nesting seasons for birds.
14. Biodiversity mitigation programme to be agreed (including details of bird and bat boxes)
15. Details of glazing to townhouses (to minimise light).
16. Contamination
17. Unknown contamination
18. Piling or any other foundation designs using penetrative methods shall not be permitted.
19. Imported materials
20. External lighting
21. Slab level details
22. Renewable energy details
23. Water efficiency

24. Development to be undertaken in accordance with approved Flood Risk Assessment. Mitigation measure shall be fully implemented prior to occupation.
25. No development shall take place until detailed design of a surface water drainage scheme has been agreed. The approved scheme shall be implemented prior to first occupation.
26. Finished floor levels to be a set no lower than 5.40 metres above Ordnance Datum (AOD).
27. Details of car parking (including electric charging points), cycle storage, bin storage and collection points.
28. No occupation until the vehicular and pedestrian accesses have been constructed and made available for use.
29. Riverside walk to be open 24/7.
30. Car parking management to be carried out in accordance with the car parking management strategy
31. Construction method statement
32. In accordance with AIA, TPP and AMS

Informatives

- 1) Car free housing
- 2) Construction working hours
- 3) Site clearance and wildlife
- 4) Planning obligations
- 5) Street naming and numbering
- 6) An environmental permit for flood risk activities may be required if any works will be in, under, over or within 8 metres from the River Wensum.
- 7) Conditions 3(b) requires details of the windows. This should include details of glazing to show how this accords with the mitigation measures set out within the noise impact assessment.

Article 35(2) Statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.



G	25/05/15	Excavation added, car parking amended	AC	MM
F	01/02/15	Excavation with overland water storage and landscaping amended, CPOs also amended, building groups to be built	DB	MM
E	25/04/15	Keep to existing walls added, hedge line amended to 6 bed townhouses, mainline grass added	DB	MM
D	16/04/15	Key window removed from end townhouse	DB	MM
C	12/04/15	Key stone amended on Oak Street, Carporting space added, garden cages (single row) amended, top of stone set to the end of 4 bed Townhouse	DB	MM
B	05/04/15	Final details submitted to the relevant plans provided to clients contracts	DB	MM
A	18/03/15	Amendments highlighted within previous sheets	VS	MM

REV / DATE DESCRIPTION DRAWN CHECKED BY

Revisions

PLANNING

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Proposed Site Plan

5531

51 G

OCT 17 1:200

JA

The Great Hall

MATERIALS KEY	
1.	Zinc
2.	Render - Colour TBC
3.	Red Brick - Multi Blend
5.	Slate Roof Tile
6.	Aluminum Windows & Doors - Colour Battleship Grey
7.	Rainwater Downpipes



Existing Access (Little Buck Yard)

East Elevation (Oak Street)

J	0205/16	Decorative window on top floor attached to brick.	DR	MR
I	0205/16	Exaggerating brick work, and corner height reduced. Aluminium door amended.	DR	-
II	2506/16	Frontage remodelled, aluminium windows made full height to match to adjacent residential and not to match to other houses.	DR	MR
G	1906/16	Proposed raised 150mm.	DR	-
F	1306/16	One panel added, under windows.	DR	MR
E	1124/16	One door amended, aluminium doors and updated to design consistent.	DR	MR
D	05/14/16	One wall both boundary amended, granite added, brick finished detail added. One more panel added.	DR	MR
C	18/13/16	Under render to be of brick.	DR	-
B	18/13/16	Preclude render, 1 diameter per drawing, some glazing removed, under and above roof added.	DR	-
A	18/13/16	Preclude render, aluminium door set up with windows, render added to brick of building, not to brick garden wall added.	DR	-
MR	DATE	DESCRIPTION	ORIGIN	CHECKED BY
REVISIONS				

CP

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PLANNING





Michael Greengrass Ltd

Land at 161 Oak St
Norwich

Proposed Elevations
East Elevations

5531

P1020 J
NOV 17 1:00 @ A1
JA

MATERIALS KEY		
1.		Zinc
2.		Render - Colour TBC
3.		Red Brick - Multi Blend
5.		Slate Roof Tile
6.		Aluminum Windows & Doors - Colour Battleship Grey
7.		Rainwater Downpipes



West Elevation (3 bed townhouse courtyard)

F	23/02/19	Ground floor balcony removed, windows installed	AC	WV
H	23/02/19	Pt garage added	L	WV
G	02/02/19	Roof removed	CB	WV
P	01/02/19	Engineering load paths, roof trusses layout defined, windows listed windows	CB	-
E	25/04/19	End terrace roof removed, walls falling, windows added, porch/door installed	CB	WV
D	16/04/19	Porch/roof listed 100mm	CB	-
C	11/04/19	Step removed for side, one garage added under structure	CB	WV
B	02/04/19	Top wall/garden levels added, render, stone, external brick, fence ground floor, entrance added, porch/door added	CB	WV
A	28/03/19	Block 4 completed, to have main entrance to Oak street, 100 listed and windows, windows to lock	CB	WV
REV	04/02	DISCIPLINE	STATUS	CHECKED BY
		Buildings		

PLANNING

Michael Greengrass Ltd
 Land at 161 Oak St
 Norwich

Proposed Elevations
 West Elevation (Courtyard)







5531

PO21 J

NOV 17 1:100 @ A1

JA



MATERIALS KEY		
1.		Zinc
2.		Render - Colour TBC
3.		Red Brick - Mull Blend
5.		Slate Roof Tile
6.		Aluminum Windows & Doors - Colour Battleship Grey
7.		Rainwater Downpipes



East Elevation (4 bed townhouse courtyard)



REV	DATE	DESCRIPTION	ISSUED BY	CHECKED BY
E	20/04/18	Perchouse completed, double doors added to ground floor flat on block A	DB	MB
D	13/04/18	Top floor window removed, two window panes added	DB	MB
C	11/04/18	Red brick shown to be back, side key window added	DB	MB
B	04/04/18	Render areas to replace timber, porchhouse detail amended	DB	MB
A	20/03/18	Block A amended to show flat roof	DB	MB

PLANNING

Michael Greengrass Ltd
 161 Oak St
 Norwich

Proposed Elevations
 East Elevations (Courtyard)

5531
 P022 E
 NOV 17 1:100 @ A1

JA

MATERIALS KEY		
1.		Zinc
2.		Render - Colour TBC
3.		Red Brick - Multi Blend
5.		Slate Roof Tile
6.		Aluminum Windows & Doors - Colour Battleship Grey
7.		Rainwater Downpipes



West Elevation (Riverside)



A	01.03.18	Engineering work plan approval agreement	08	-
B	01.04.18	Foundation construction	08	141
C	01.04.18	Site top works completed	08	141
D	01.04.18	Changes and site top works added	08	-
E	04.04.18	Site top works started (see notes)	08	-
F	04.04.18	Foundation works completed (see notes)	08	-
G	04.04.18	Foundation works completed (see notes)	08	-
H	04.04.18	Foundation works completed (see notes)	08	-
I	04.04.18	Foundation works completed (see notes)	08	-
J	04.04.18	Foundation works completed (see notes)	08	-
K	04.04.18	Foundation works completed (see notes)	08	-
L	04.04.18	Foundation works completed (see notes)	08	-
M	04.04.18	Foundation works completed (see notes)	08	-
N	04.04.18	Foundation works completed (see notes)	08	-
O	04.04.18	Foundation works completed (see notes)	08	-
P	04.04.18	Foundation works completed (see notes)	08	-
Q	04.04.18	Foundation works completed (see notes)	08	-
R	04.04.18	Foundation works completed (see notes)	08	-
S	04.04.18	Foundation works completed (see notes)	08	-
T	04.04.18	Foundation works completed (see notes)	08	-
U	04.04.18	Foundation works completed (see notes)	08	-
V	04.04.18	Foundation works completed (see notes)	08	-
W	04.04.18	Foundation works completed (see notes)	08	-
X	04.04.18	Foundation works completed (see notes)	08	-
Y	04.04.18	Foundation works completed (see notes)	08	-
Z	04.04.18	Foundation works completed (see notes)	08	-

PLANNING

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**Land at 161 Oak St
Norwich**





**Proposed Elevation
West Elevation (Riverside)**

5531

PO24 F

NOV 17 1:100 @ A1

JA

MATERIALS KEY		
1.		Zinc
2.		Render - Colour TBC
3.		Red Brick - Multi Blend
5.		Slate Roof Tile
6.		Aluminum Windows & Doors - Colour Battleship Grey
7.		Rainwater Downpipes



South Elevation

REV	DATE	DESCRIPTION	DRAWN	CHECKED BY
J	12/01/18	General floor plan changed to yellow	AC	MM
H	22/01/18	Site fence added	AL	MM
G	02/02/18	Engineering brick piers staggered at the end of block B	DE	MM
F	01/02/18	Engineering brick piers around apartment units	DE	-
E	14/02/18	Footprint added below	DE	-
D	11/04/18	Site piers added underneath windows, site entrance	DE	MM
C	04/04/18	Prefabricated panels, brick and zinc made to regular section	DE	MM
B	18/03/18	Prefabricated panels to block B, corner joining removed, to block B, corner added Prefabricated to block A removed	DE	MM
A	16/03/18	Prefabricated panels, window arrangement to block A removed, blocks removed	DE	MM

REVISIONS

PLANNING

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 101/102
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 Fax: 01 853 31000
 info@chaplinfo.com
 www.chaplinfo.com

Michael Greengrass Ltd
 Land at 161 Oak St
 Noreenah







Proposed Elevation
 South Elevation

5531
 11/11/18

PD23 J
 11/11/18

NOV 17 1:100 @ A1
 JA



MATERIALS KEY		
1.		Zinc
2.		Render - Colour TBC
3.		Red Brick - Multi Blend
5.		Slate Roof Tile
6.		Aluminium Windows & Doors - Colour Battleship Grey
7.		Rainwater Downpipes

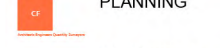


North Elevation



REV	DATE	DESCRIPTION	DESIGN	CHECKED BY
F	23/04/18	Windows removed and first floor added. Slate to replace Zinc on roof.	A	MH
E	01/05/18	Correct window size, opening, glass, lintels, and glass to existing to pedestrian standard.	DB	-
D	25/04/18	First floor house roof level, doors, lintels, and pedestrian standard.	DB	MH
C	16/04/18	Additional windows added to side elevation.	DB	MH
B	16/04/18	Parapet raised 150mm.	DB	-
A	13/04/18	Windows on end wall of a box are rotated.	DB	MH

REVISIONS



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 161 Oak St
 Norwich

Proposed Elevation
 North Elevation

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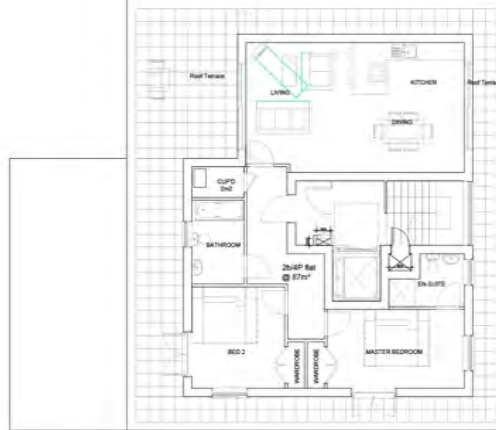
P027 F

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VS



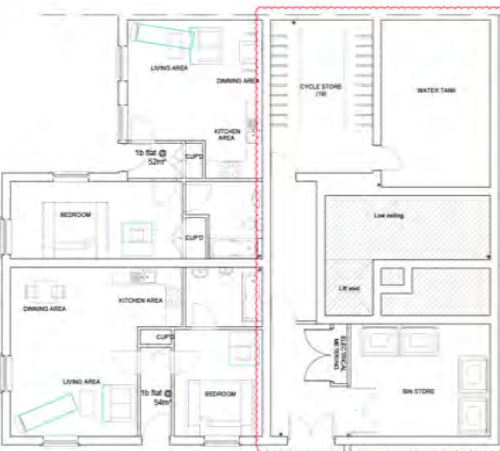
First & Second Floor Plan



Third Floor Plan



Ground Floor Plan



Lower Ground Floor Plan

REV	DATE	DESCRIPTION	ISSUED BY	CHECKED BY
F	20.05.18	Issue ground floor layout amended to include the proposed ground floor layout	AC	NW
E	01.05.18	Issue ground floor layout amended to include the proposed ground floor layout	SB	NW
D	20.04.18	Issue ground floor layout amended to include the proposed ground floor layout	SB	NW
C	04.04.18	Issue ground floor layout amended to include the proposed ground floor layout	SB	NW
B	18.03.18	Issue ground floor layout amended to include the proposed ground floor layout	SB	NW
A	18.03.18	Issue ground floor layout amended to include the proposed ground floor layout	SB	NW

PLANNING

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 Fax: 0203 700000
 www.michaelgreengrass.com

Proposed Apartment Block B (Oak Street)

5531

P010 F

Nov 17 1.50 @ A1

JA



D	08.03.18	See above management clause (equipment replacement cycle may increase to 20)	08	MS
C	03.03.18	Building over which no permission had been granted	08	MS
A	03.03.18	Performance standard on plus, lobby area, double doors and closed door bar gates	08	MS
A	08.03.18	Closed door lobby, fire alarm and tank room installed, where required, required. Performance Standard dependent on the client.	08	MS
REV	DATE	DESCRIPTION	DRAWN	CHECKED BY

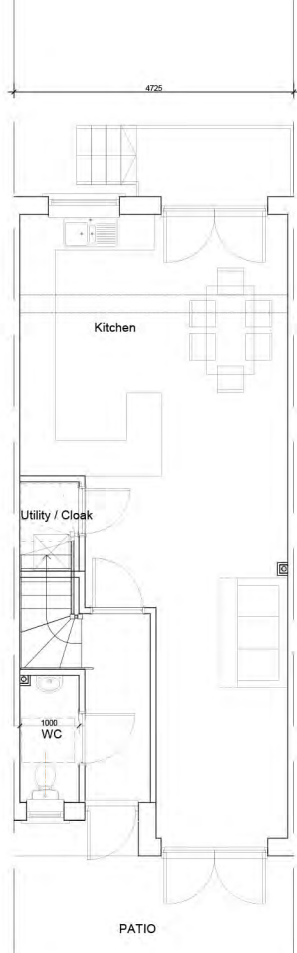
PLANNING

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 Land at 161 Oak St
 Norwich

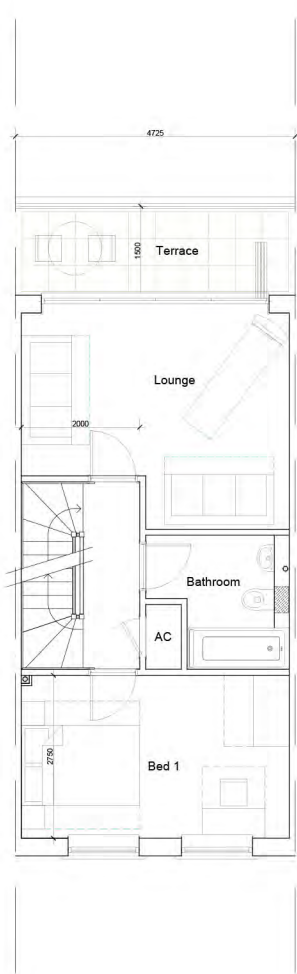
Proposed Apartment
 Block A (Riverside)

5531

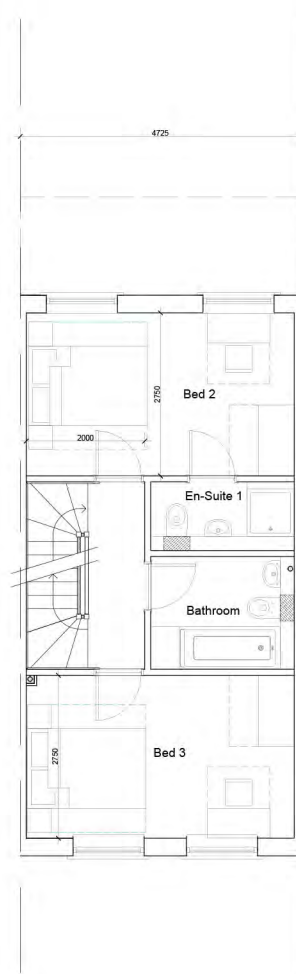
0911 D
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 JA



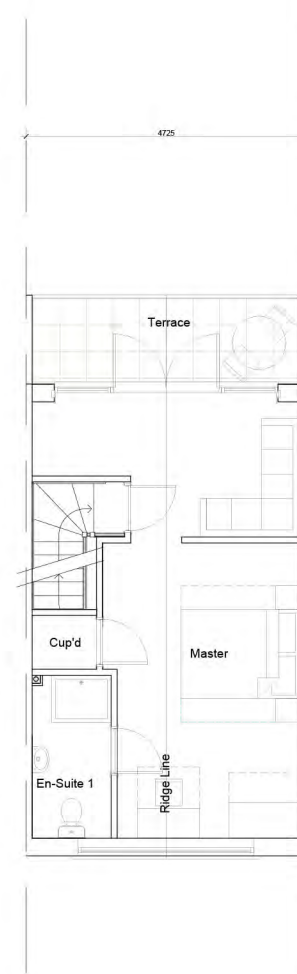
GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

REV	DATE	DESCRIPTION	CAVW	CHECKED BY
A	2024/10	Revised on second floor replaced with bedrooms	DR	SAK

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 Land at 161 Oak St
 Norwich

Proposed Townhouse Type B (Riverside)
 5531

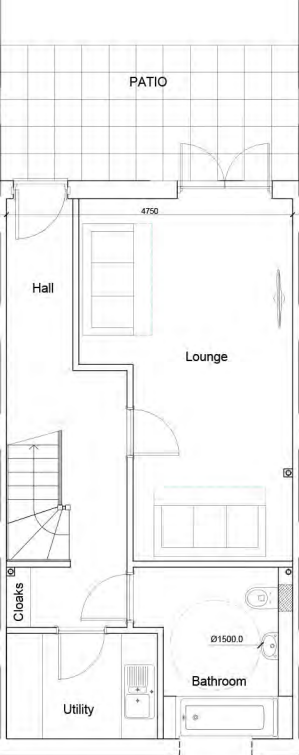
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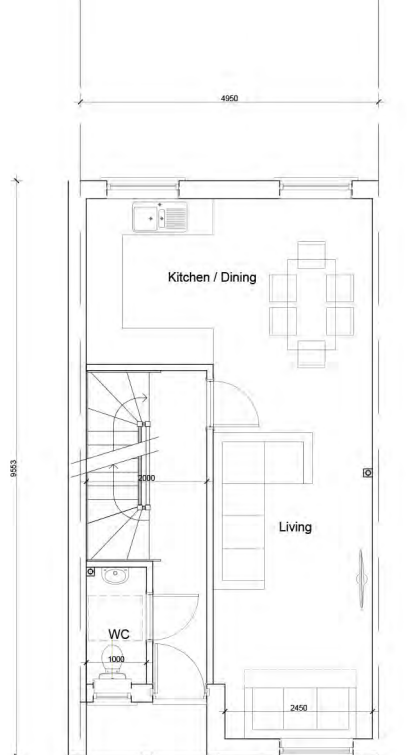
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 www.clapton.com

Not to
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 unless
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 otherwise

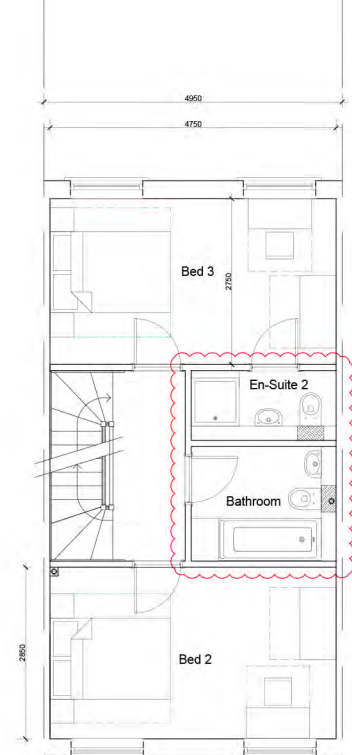
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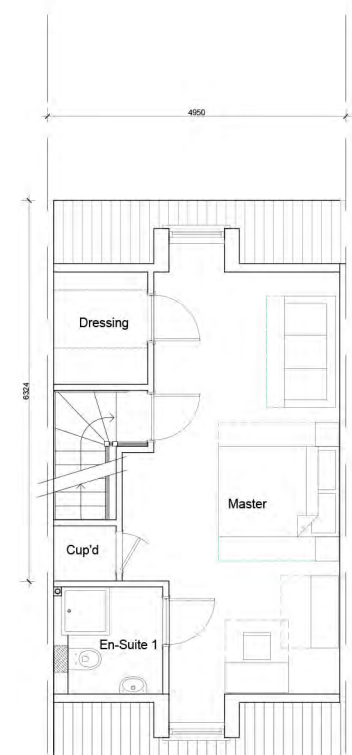
LOWER GROUND FLOOR



GROUND FLOOR



FIRST FLOOR



SECOND FLOOR

D	25/04/19	Bathroom on first floor, turned into bathroom and ensuite	CB	MIR
C	25/04/19	en-suite changed to bathroom on first floor. Closets removed to floor converted.	CB	MIR
F	04/04/19	Wood removed, less stone area added	CB	MIR
A	16/03/19	Door added to access front back garden and stone path removed to replace first floor which is replaced to sit on concrete. Water removal inside ground & new corner window	VS	JA
REV	2021	CONSTRUCTION	CB/MIR	CREATED BY

Revisions



PLANNING

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 Land at 181 Oak St
 Norwich

Also at:
 London
 Worcester
 Southampton
 Great Tamworth

Proposed Townhouse
 Type A

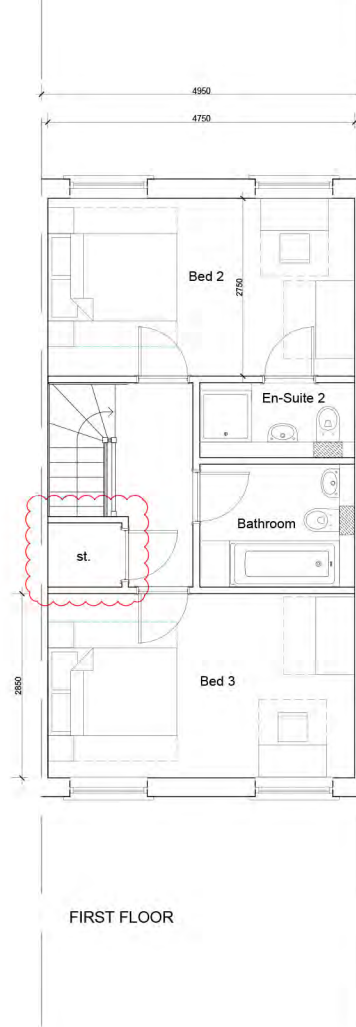
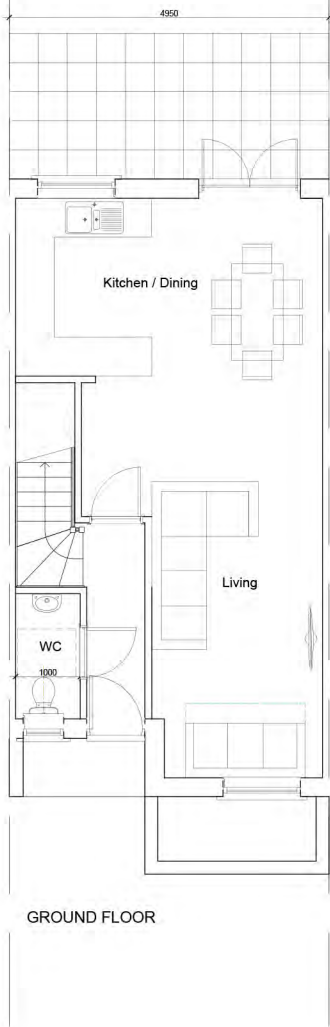
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P014 D

Nov 17 1:50 @ A1

JA



REV	DATE	DESCRIPTION	DRAWN	CHECKED BY
C	01/03/18	Second floor removed, stone added	DB	MB
B	25/04/18	Bed pack removed and second floor layout amended to suit	DB	MB
A	19/03/18	Door added to access Yard, back garden wall shown prior to removal to WC area. One floor window repositioned to suit elevation. Master bedroom ensuite amended to be stone on window	VS	JA

PLANNING

Michael Greengrass Ltd
 Land at 161 Oak St
 Norwich

Proposed Townhouse Type C
5531

P013 C
 Nov 17 1:50 @ A1

JA

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