

Planning applications committee

Date: Thursday, 09 November 2017

Time: 09:30

Venue: Mancroft room, City Hall, St Peters Street, Norwich, NR2 1NH

Committee members:

Councillors:

Driver (chair)
Maxwell (vice chair)
Bradford
Button
Carlo
Henderson
Jackson
Malik
Peek
Sands (M)
Woollard
Wright

For further information please contact:

Committee officer: Jackie Rodger
t: (01603) 212033
e: jackierodger@norwich.gov.uk

Democratic services
City Hall
Norwich
NR2 1NH

www.norwich.gov.uk

Information for members of the public

Members of the public and the media have the right to attend meetings of full council, the cabinet and committees except where confidential information or exempt information is likely to be disclosed, and the meeting is therefore held in private.

For information about attending or speaking at meetings, please contact the committee officer above or refer to the council's website



If you would like this agenda in an alternative format, such as a larger or smaller font, audio or Braille, or in a different language, please contact the committee officer above.

Agenda

Page nos

1 Apologies

To receive apologies for absence

2 Declarations of interest

(Please note that it is the responsibility of individual members to declare an interest prior to the item if they arrive late for the meeting)

3 Minutes

5 - 12

To approve the accuracy of the minutes of the meeting held on 12 October 2017.

4 Planning applications

Please note that members of the public, who have responded to the planning consultations, and applicants and agents wishing to speak at the meeting for item 4 above are required to notify the committee officer by 10:00 on the day before the meeting.

Further information on planning applications can be obtained from the council's website:

<http://planning.norwich.gov.uk/online-applications/>

Please note:

- The formal business of the committee will commence at 9.30;
- The committee may have a comfort break after two hours of the meeting commencing.
- Please note that refreshments will not be provided. Water is available
- The committee will adjourn for lunch at a convenient point between 13:00 and 14:00 if there is any remaining business.

Summary of planning applications for consideration

13 - 14

Standing duties

15 - 16

4(a)	Application no 17/01515/F, Somerley Residential Care Home, Somerleyton Street, Norwich NR2 2BT	17 - 30
4(b)	Application no 17/01259/MA - 19 Leopold Road, Norwich, NR4 7AD	31 - 44
4(c)	Application no 17/01192/O - 215 Woodcock Road, Norwich, NR3 3TE	45 - 56
4(d)	Application nos 17/00896/F and 17/00902/L - 68 St Stephens Road, Norwich, NR1 3RE	57 - 70

Date of publication: **Wednesday, 01 November 2017**



Minutes

Planning applications committee

09:30 to 11:40

12 October 2017

Present: Councillors Driver (chair), Maxwell (vice chair), Button, Carlo, Henderson, Jackson, Lubbock (substitute for Councillor Wright), Malik, Peek, Sands (M) and Woollard

Apologies: Councillors Bradford and Wright

1. Declarations of interest

Councillor Lubbock declared a predetermined interest in item 3 (below), Enforcement case no 3. Enforcement Case – 5 Nutfield Close, Norwich, NR4 6PF, because she had previously spoken against the application to subdivide the dwelling and as ward councillor for Eaton on behalf of residents of the neighbouring properties.

2. Minutes

RESOLVED to agree the accuracy of the minutes of the meeting held on 14 September 2017.

3. Enforcement Case – 5 Nutfield Close, Norwich, NR4 6PF

(Councillor Lubbock, having declared a predetermined view in this application, addressed the committee and then left the meeting during the committee's determination of the application.)

The area development manager (outer area) presented the report with the aid of plans and slides. At its meeting on 10 August 2017, the committee had deferred consideration of the retrospective planning application for further discussion with the applicant and agent. The application had subsequently been withdrawn. The report was seeking to cease the use of the three newly created flats and revert back to a single dwelling.

Councillor Lubbock, local member for Eaton Ward, addressed the committee on behalf of local residents. The property had been subdivided into four with three rental properties and the primary concern was the impact that this would have on the residents of the small cul-de-sac, particularly from on street parking restricting the space for vehicles to turn round. She also said that the subdivision was contrary to policy DM2; the rental units were below national space standards and lacked amenity space and asked the committee to support enforcement action.

The agent spoke on behalf of the property owner who had owned the property since 2012. She explained the owner had been under the impression that the extension

could be built under permitted development rights and had been originally intended for a family member and her carer but due to a change in circumstances was no longer required for that use. She referred to the planning history and said that the owner had made small changes to the layout with external doors and kitchenettes to provide three rental units for professional people. Two of the rental units were currently let with the third empty pending the decision of the committee. A further planning proposal was being drawn up and the owner requested that if this application and the owner asked for enforcement action to be put on hold for two months to enable the planning process to be carried out.

(Councillor Lubbock left the meeting at this point.)

The area development manager (outer area) referred to the report and answered members' questions. He said that the extension was acceptable for a single dwelling but the subdivision into four separate units was not and would be to not receive planning consent. Members were advised that there did not appear to be room for negotiation with the owner and therefore enforcement action was being sought. The area development manager explained the enforcement process and that any enforcement notice would take at least 28 days to come into effect. However in fairness to the tenants he suggested a three month compliance period.

During discussion members spoke in support of enforcement action and the cessation of the rental use. A member said that the reconfiguration would not preclude the subdivision of the property into two dwellings at a future date. The committee discussed the period for taking enforcement action and expressed their dissatisfaction with the owner's disregard to the planning process. The area development manager (outer area) asked members to leave this to officers' discretion, subject to further discussion with the property owner and agent.

RESOLVED, unanimously, to authorise enforcement action up to and including prosecution in order to:

- (1) secure the cessation of the use of the three newly created flats;
- (2) secure the removal of the additional kitchen facilities which facilitate their use;
- (3) secure the removal of the three new external access doors to the side elevations;
- (4) secure the opening up of the internal doorways so that all rooms are accessible internally within the dwelling.

(Councillor Lubbock was readmitted to the meeting at this point.)

4. Application no 17/01184/F - 2 Brereton Close, Norwich, NR5 8LX

The planner presented the report with plans and slides. She referred to the supplementary update of reports which was circulated at the meeting and contained a summary of the consultation response from the tree protection officer, confirming that there would be no impact on the trees and highlighting the need for sufficient car parking to protect grass verges.

During discussion the planner referred to the report and answered members' questions and explained that this proposal addressed concerns about the previous application for a two storey extension. Members commented that there could be more people staying in the property than the seven occupants if partners were taken into account. Members noted that the rooms were of generous size and that there was adequate communal shared living space and kitchen.

Councillor Sands, local member for Bowthorpe ward, said that he was minded to vote against this proposal because he did not consider neighbouring residents' concerns had been addressed and that the change of use would exacerbate parking and access. The area development manager (inner area) referred to the planning history of this site listed in the report and said that traffic issues had not been a reason for refusal for the previous application. Councillor Button, local member for Bowthorpe ward, said that the implementation of a controlled parking zone could be considered for this area.

RESOLVED, with 10 members voting in favour (Councillors Driver, Maxwell, Button, Carlo, Henderson, Jackson, Lubbock, Malik, Peek and Woollard) and 1 member voting against (Councillor Sands) to approve application no. 17/01184/F - 2 Brereton Close, Norwich, NR5 8LX and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Bin and bike storage details to be agreed and provided prior to occupation;
4. Bat boxes to be erected;
5. Materials to match;
6. No more than 7 occupants.

5. Application no 17/00361/U - 60 St Faiths Lane, Norwich, NR1 1NN

The planner presented the report with the aid of plans and slides.

During discussion, the planner together with the area development manager (inner area) answered members' questions. Residents would be encouraged at night to use the entrance through the archway from Prince of Wales Road rather than Cathedral Street. Members sought reassurance that it would be well lit but noted that the archway was not within the boundary of the application. There would be a combination gate to prevent non-residents entering the courtyard. A member referred to the S106 payment and suggested that high-spec apartments would increase the profit margin and viability of the site. The planner said that viability was based on the land value therefore increasing the specification would increase development costs and could reduce the profit margin. Members expressed concern about that the size of the units and noted that there were additional storage rooms for the five apartments below the space standard and some of the larger units. The internal layout had been discussed with the applicant and this had resulted in the merging of smaller flats to create the duplex flats but options were constrained as the proposal is for a conversion rather than a new build. The merging of some of the smaller units would have resulted in units which would be of sufficient size for three bedroom apartments. This would not be encouraged due to the site's location and

lack of outside amenity which makes it unsuitable for family accommodation. Members also expressed concern about the location of residential accommodation adjacent to the late night zone and noted the informative to ensure that noise mitigation was undertaken. Members also sought reassurance about fire safety and noted the location of fire exits. The planner referred to one of the informatives which reiterates to the applicant that an application to building control would be required for the change of use and fire safety would be considered under this. Members were advised that the current arrangements for refuse collection by private contractors would continue.

A member commented on the management of the building and that it was disappointing that the applicant had not installed the solar panels as required in the previous planning application.

Discussion ensued in which Councillor Jackson said that he could not support the application because it was contrary to policy in relation to the amenity of future residents with five of the units being below the national space standard, location and outside amenity space, with only 20 cycle storage spaces. The area development manager (inner area) and the planner referred to the report and commented that the national space standards were guidance. The decision had been made to not require policy compliance levels of cycle storage in order to maximise the use of the available outside amenity space but additional space could be secured through condition. Another member said she did not consider that an additional cycle stand was an issue as residents could either hire bikes or purchase fold up bikes.

Councillor Henderson queried the need for 41 units at this location and expressed concern about the space standard.

Councillor Sands expressed concern that applications were still coming forward with proposals for units that did not meet the minimum national space standards.

RESOLVED, with 8 members voting in favour (Councillors Driver, Maxwell, Button, Carlo, Lubbock, Malik, Peek and Woollard), 2 members voting against (Councillors Henderson and Jackson) and 1 member abstaining (Councillor Sands) to approve application no. 17/00361/U - 60 St Faiths Lane, Norwich, NR1 1NN and grant planning permission subject to the completion of a satisfactory legal agreement to include provision of affordable housing and subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Details of bin store and bike store to be agreed and provided prior to occupation.
4. Bin collection in accordance with approved refuse and servicing statement. Arrangement to continue in perpetuity unless otherwise agreed in writing.
5. Restricted hours of bin collection.
6. No occupation until alterations to boundary treatment have been carried out, combination lock installed, doors upgraded, new lighting installed in accordance with site plan.
7. Details of windows.
8. Details of mechanical ventilation.
9. Details of scheme to achieve 10% renewable.
10. Sign relating to rear entrance to be installed prior to occupation.

Informative:

1. The applicant should be made aware that an application to building control should be submitted for the change from an aparthotel to residential and all requirements of the building regulations should be met.
2. This property is in a situation with significant background noise arising from nearby uses. Norwich City Council has therefore included measures designed to control noise in the planning permission for this property. These requirements are to provide approved acoustic glazing and passive/forced acoustic ventilation and other noise mitigation measures. The use of these will be taken into account by Norwich City Council when investigating any complaint of noise nuisance from an occupier of these dwellings.
3. No parking permits.
4. Permission is subject to s106 agreement.

Article 35(2) Statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.

(The committee adjourned for a short break at this point and reconvened with all members present as listed above.)

6. Application no 17/01242/F - Hewett School (Academy), Cecil Road, Norwich, NR1 2PL

The senior planner presented the report with the aid of plans and slides.

The senior planner referred to the report and answered members' questions. The sports hall would be for the use of the Hewett Academy and other Inspirational Trust academies in Norwich though primarily the Jane Austen Academy. Members commented that they regretted that the sports hall would not be available for public use but noted the residents' concerns and the conditions to mitigate the impact on the amenity of residents of adjacent dwellings. It was noted that additional planting would improve the biodiversity of the area.

During discussion members commented on the situation where free schools could be situated in unsuitable locations without access to open space and therefore creating the need to bus students to sports facilities. The chair cautioned that this was not material to the consideration of the planning application.

RESOLVED, unanimously, to approve application no. 17/01242/F - Hewett School, Cecil Road, Norwich, NR1 2PL and grant planning permission subject to the following conditions:

1. Standard time limit;
2. Development to be carried out in accordance with plans;
3. External materials (including samples where necessary) to be submitted to the local planning authority for approval;

4. Construction/demolition plan;
5. Landscaping including details of new planting and additional screening along the north boundary of the application site;
6. Details of all external lighting including location and position within the site, height and levels of illumination proposed.
7. Opening hours restricted to the following:
Mon – Fri 07.30 to 21:00
Saturdays 08:00 to 16:00.
No opening on Sundays or Bank Holidays
8. Compliance with the recommendations set out within the preliminary ecological assessment attached as Appendix 3 to the planning statement
9. Details of mechanical ventilation;
10. Energy scheme demonstrating that at least 10% of the scheme's energy will be generated from renewable energy sources;
11. Water efficiency.

Informative:

1. The developer is advised that any asbestos encountered on the site, either as part of the existing buildings or as fill material, should be handled and disposed of as per current Government guidelines and regulations.
2. An application to discharge trade effluent must be made to Anglian Water and must have been obtained before any discharge of trade effluent can be made to the public sewer. Anglian Water recommends that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of such facilities could result in pollution of the local watercourse and may constitute an offence. Anglian Water also recommends the installation of a properly maintained fat traps on all catering establishments. Failure to do so may result in this and other properties suffering blocked drains, sewage flooding and consequential environmental and amenity impact and may also constitute an offence under section 111 of the Water Industry Act 1991."
3. You are advised that the council expects the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary shall only be carried out between 7.30am and 5.30pm Monday to Friday, between 7.30am and 1.00pm Saturday and not at all on Sundays or Bank Holidays.
 - (b) The quietest available items of plant and machinery shall be used on site. Where equipment such as generators is necessary, they should be enclosed to reduce noise levels, if applicable.
 - (c) Deliveries shall only be received within the hours detailed in (a) above.
 - (d) Adequate steps shall be taken to prevent dust-causing nuisance beyond the site boundary. Such steps include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowlers and wheel washes;
 - (e) There shall be no burning on site;

- (f) Only minimal security lighting shall be used outside the hours stated above; and
 - (g) Building materials and machinery shall not be stored on the highway and contractors' vehicles shall be parked with care so as to not cause an obstruction or block visibility on the highway.
- 4. Any divergence from these recommendations should be referred to the council's environmental protection team (or highways team for matters which may affect highway safety) for approval.
 - 5. The council also recommends membership of a scheme, such as the Considerate Constructors Scheme.

Article 35(2)(cc) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.

7. Enforcement Case – 142 Dereham Road, Norwich, NR2 3AB

The planner presented the report with the aid of plans and slides. The owner of the site had ceased trading from the food van from 1 October 2017 but the van was still standing on the front car park of the premises.

During discussion, the planner and the area development manager (inner area) referred to the report and answered members' questions. She explained that there was a proposal for the premises to be a Caribbean food store and café. It was possible that the food van had been a pilot for this. The van would need to be removed before the store could start trading. Colleagues in licensing were not aware of any other locations suitable for this food van. It was in a residential area and complaints had been received from residents. The area development manager (outer area) referred to planning case law and said that a parked vehicle was treated as a fixed structure and subject to planning regulations.

Councillors Malik and Carlo considered that the proposal to cease trading and remove the food van was "heavy handed" and that provided health and safety was not an issue, they considered that it could trade. Another member pointed out that the owner could operate from the shop but the use of the food van on the frontage of the shop constituted change of use and was inappropriate in that location. The committee discussed the need to remove the van from the premises indicating that some flexibility should be given depending on the change of use of the shop itself. The area development manager (outer area) asked members to leave this to officers' discretion, subject to the outcome of the current change of use application for the shop.

RESOLVED, with 9 members voting in favour (Councillors Driver, Maxwell, Button, Henderson, Jackson, Lubbock, Sands, Peek and Woollard), 1 member voting

against (Councillor Malik) and 1 member abstaining (Councillor Carlo) to authorise enforcement action to secure the cessation of trading and removal of the food van from the premises (142 Dereham Road, Norwich, NR2 3AB), including the taking of direct action which may result in referring the matter for prosecution if necessary.

CHAIR

Summary of planning applications for consideration

ITEM 4

09 November 2017

Item No.	Case Number	Location	Case Officer	Proposal	Reason for consideration at Committee	Recommendation
4(a)	17/01515/F	Somerley Care Home, Unthank Road, Norwich, NR2 2BT	Lara Emerson	Change of use to student accommodation (sui generis).	Objections	Approve
4(b)	17/01259/MA	19 Leopold Road, Norwich, NR4 7AD	Joy Brown	Material amendment of permission 14/00224/MA for variation of condition 2 to allow the removal of solar panels and reconfiguration of window profiles to all plots and installation of porch, enlargement of dwelling and changes to internal layout of plot no. 1.	Objections	Approve
4(c)	17/01192/O	215 Woodcock Road, Norwich, NR3 3TE	Robert Webb	Outline application with all matters reserved for the erection of 2 no. houses and 1 no. bungalow.	Objections	Approve
4(d)	17/00896/F 17/00902/L	68 St Stephens Road, Norwich, NR1 3RE	Samuel Walker	Single storey rear extension and internal alterations to ground floor.	Objections	Approve

STANDING DUTIES

In assessing the merits of the proposals and reaching the recommendation made for each application, due regard has been given to the following duties and in determining the applications the members of the committee will also have due regard to these duties.

Equality Act 2010

It is unlawful to discriminate against, harass or victimise a person when providing a service or when exercising a public function. Prohibited conduct includes direct discrimination, indirect discrimination, harassment and victimisation and discrimination arising from a disability (treating a person unfavourably as a result of their disability, not because of the disability itself).

Direct discrimination occurs where the reason for a person being treated less favourably than another is because of a protected characteristic.

The act notes the protected characteristics of: age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The introduction of the general equality duties under this Act in April 2011 requires that the council must in the exercise of its functions, have due regard to the need to:

- Eliminate unlawful discrimination, harassment and victimisation and other conduct prohibited by this Act.
- Advance equality of opportunity between people who share a relevant protected characteristic and those who do not.
- Foster good relations between people who share a relevant protected characteristic and those who do not.

The relevant protected characteristics are: age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation.

The council must in the exercise of its functions have due regard to the need to eliminate unlawful discrimination against someone due to their marriage or civil partnership status but the other aims of advancing equality and fostering good relations do not apply.

Crime and Disorder Act, 1998 (S17)

- (1) Without prejudice to any other obligation imposed on it, it shall be the duty of each authority to which this section applies to exercise its

various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area.

- (2) This section applies to a local authority, a joint authority, a police authority, a National Park authority and the Broads Authority.

Natural Environment & Rural Communities Act 2006 (S40)

- (1) Every public authority must, on exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity.

Planning Act 2008 (S183)

- (1) Every Planning Authority should have regard to the desirability of achieving good design

Human Rights Act 1998 – this incorporates the rights of the European Convention on Human Rights into UK Law

Article 8 – Right to Respect for Private and Family Life

- (1) Everyone has the right to respect for his private and family life, his home and his correspondence.
- (2) There shall be no interference by a public authority with the exercise of his right except such as in accordance with the law and is necessary in a democratic society in the interests of national security, public safety or the economic well-being of the country, for the prevention of disorder or crime, for the protection of health or morals, or for the rights and freedoms of others.
- (3) A local authority is prohibited from acting in a way which is incompatible with any of the human rights described by the European Convention on Human Rights unless legislation makes this unavoidable.
- (4) Article 8 is a qualified right and where interference of the right can be justified there will be no breach of Article 8.

Report to Planning Applications Committee

Item

9 November 2017

Report of Head of Planning Services

Subject

Application no 17/01515/F, Somerley Residential
Care Home, Somerleyton Street, Norwich NR2 2BT

4(a)

**Reason for
referral**

Objections

Ward	Town Close
Case officer	Lara Emerson - laraemerson@norwich.gov.uk

Development proposal		
Change of use to student accommodation (sui generis).		
Representations		
Object	Comment	Support
6	0	0

Main issues	Key considerations
1. Principle of development	Loss of care home, creation of student accommodation.
2. Amenity	Amenity of neighbours, amenity of future occupants.
3. Transport	Sustainability of location, car parking, cycle parking, refuse storage and collection arrangements, impact on adjacent bus stop.
4. Crime & security	Protection of future residents from crime.
5. Design & heritage	Impact on character and appearance of conservation area.
Expiry date	13 November 2017
Recommendation	Approve



© Crown Copyright and database right 2017. Ordnance Survey 100019747.

Planning Application No 17/0515/F
 Site Address Somerley Care Home, Unthank Road

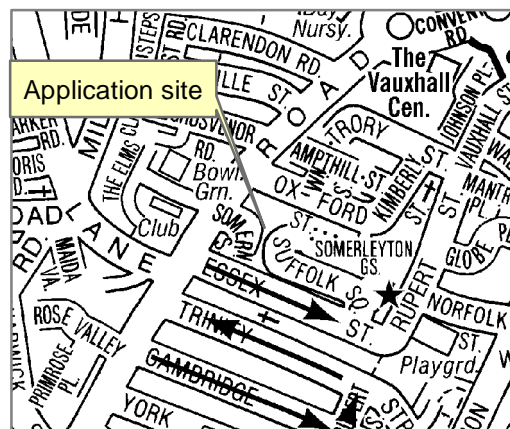
Scale 1:1,250



NORWICH
 City Council

PLANNING SERVICES

Page 18 of 70



The site, surroundings & constraints

1. The property is a one and two storey recently vacated care home located on Somerleyton Street to the west of the city. The site sits between Unthank Road and the 4 & 5 storey blocks of flats at Suffolk Square. To the south of the site there are properties on Essex Street, and to the north is a newly consented development of 5 terraced dwellings which is currently under construction on Oxford Street.
2. The site is partly within and adjacent to the Heigham Grove Conservation Area. Adjacent properties along Unthank Road and Essex Street are locally listed buildings, and there is a Grade II listed terrace on the opposite side of Unthank Road.
3. The tree adjacent to the entrance within the grounds of 72 Unthank Road is subject to a Tree Preservation Order and there is an area of green space populated by a number of trees on the site's Unthank Road frontage.
4. The site is located in a critical drainage catchment.

Relevant planning history

5. No recent planning history.

Ref	Proposal	Decision	Date
4/1989/0740	Change of use to office accommodation.	Approved	23/08/1989
4/1993/0712	Use of bungalow as day care centre.	Approved	19/10/1993

The proposal

6. The proposal is for the change of use of the care home to student accommodation.
7. The main building is H-shaped and there is a small separate building currently in use as a caretaker's bungalow. The internal layout would remain largely unchanged with clusters of student bedrooms sharing kitchens and communal rooms. Some bedrooms are proposed to have an en-suite bathroom and some are proposed to share bathrooms. The total number of single bedrooms is 66.
8. There are only minor changes proposed to the outside of the building with some windows and doors being changed or removed.
9. The site is generously sized and the proposal includes the provision of outside space which would be available to residents.
10. The existing car park is proposed to accommodate 2 car parking spaces, storage for 20 bicycles and an area for refuse storage. An additional space at the front of the property will provide a further 20 bicycle storage spaces.

Representations

11. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 6 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view

in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Noise from students	See main issue 2 relating to amenity.
Parking for residents and visitors	See main issue 3 relating to transport.
Loss of valuable care home facility	See main issue 1 relating to the principle of development.
High crime in the Suffolk Square area - not suitable for students	See main issue 4 relating to crime & security.
Intense use of the site	See main issue 2 relating to amenity.
Litter from students	See main issue 2 relating to amenity.
Already too many students in the area	See conclusion.
Increase in visiting cars causing traffic jams, poor air quality and noise	See main issue 3 relating to transport.
Density & type of development is out of character with the area	See main issue 2 relating to amenity.
Lack of detail regarding external amenity space	See main issue 2 relating to amenity.
Lack of detail regarding disabled access	The existing property has excellent disabled access due to its previous use as a care home.
Lack of detail regarding management of the site	See main issue 2 relating to amenity.
Disagreement over ownership of wall	This is private issue between landowners. No works are proposed to the boundary walls.
Students are more mobile than previous elderly residents	See main issue 3 relating to transport.
Poor living accommodation for future student residents	See main issue 2 relating to amenity.
Loss of green space due to cycle shelter	
Use of outdoor spaces for partying	See main issue 2 relating to amenity.
There should be a restriction on the times of day that the outside space can be used	See main issue 2 relating to amenity.
Increase in number of people using the bus stop - pavement should be widened	See main issue 3 relating to transport.
Limited space for the turning of refuse vehicles on the site	See main issue 3 relating to transport.
Rubbish and recycling are often poorly separated in accommodation such as this	This is not a planning consideration.
Site should be properly lit and secured to prevent crime	See main issue 4 relating to crime & security.

Consultation responses

12. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

13. This is not an application that I intend to provide conservation and design officer comments on because it does not appear on the basis of the application description to require our specialist conservation and design expertise. This should not be interpreted as a judgement about the acceptability or otherwise of the proposal.

Highways (local)

14. No objection.
15. Recommend that the area at the front of the site is treated with hardstanding to extend the area around the bus stop.
16. Recommend that Somerleyton Street is better demarcated to signify where the public highway ends and the private road begins.
17. Recommend that the applicant considers how refuse collections can take place. The site is not large enough for a normal sized refuse truck to turn around, and reversing onto Unthank Road would cause significant highway safety risk and disruption.

Citywide Services

18. If the council's refuse truck is to be used for waste collections there would need to be a turning head created to make space for the truck to turn around on the site. Reversing onto Unthank Road would not be ideal. Alternatively the bins could be presented on Unthank Road on collection day.

Landscape

19. A comprehensive review of the outdoor space is fully justified. Communal meeting/garden areas should be incorporated. These can be simple in design but will allow residents to access and use the outside space. The development will result in the external courtyard areas being upgraded to provide for landscaped recreational spaces for the residents. These works will provide for opportunities to create new habitats and therefore provide a net biodiversity gain through the development.
20. I agree that the bare earth bank by the bus stop will be more heavily used by pedestrians as a result of this proposal, and this should be protected. A plastic grid can be used and over seeded and this will provide an all-weather surface whilst minimising any damage to the adjacent trees.

Norfolk Constabulary Architectural Liaison

21. Students are particularly vulnerable as they often have high value IT equipment, which in turn makes their residencies appealing to criminals. If the correct security measures are put in place during the refurbishment it makes for a safer environment and a more desirable area for students to want to live.
22. There are a number of detailed considerations and two areas of concern around windows and access control. If certain measures (set out within the formal consultation comments) are not undertaken by the applicant, Norfolk Constabulary would object to the proposals.

Relevant development plan policies

23. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan 2014 (JCS)**
 - JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS3 Energy and water
 - JCS6 Access and transportation
24. **Norwich Development Management Policies Local Plan adopted Dec 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM6 Protecting and enhancing the natural environment
 - DM7 Trees and development
 - DM9 Safeguarding Norwich's heritage
 - DM12 Ensuring well-planned housing development
 - DM13 Communal development and multiple occupation
 - DM15 Safeguarding the city's housing stock
 - DM22 Planning for and safeguarding community facilities
 - DM28 Encouraging sustainable travel
 - DM30 Access and highway safety
 - DM31 Car parking and servicing

Other material considerations

25. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF)**
 - NPPF0 Achieving sustainable development
 - NPPF4 Promoting sustainable transport
 - NPPF6 Delivering a wide choice of high quality homes
 - NPPF7 Requiring good design
 - NPPF8 Promoting healthy communities
 - NPPF12 Conserving and enhancing the historic environment

Case Assessment

26. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate

otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Policy Framework (NPPF), the council's standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

27. Key policies and NPPF paragraphs - DM12, DM13, DM15, JCS7, NPPF paragraphs 7, 9, 17, 34, 49-51 & 70.
28. The proposal involves the change of use of the building from care home to student accommodation. For context, it is understood that the care home was considered surplus to County Council's requirements following the construction of the Bowthorpe Care Village.
29. Since the existing and proposed uses are both residential in nature and there are no policies which specifically protect care homes, the proposal accords with local and national policies which seek to avoid the loss of residential uses.
30. The proposal has been assessed against the criteria set out within DM12 and DM13 which relate to communal and residential development. Subject to the detailed considerations discussed below, the proposal is deemed to comply with each of these criteria.

Main issue 2: Amenity

31. Key policies and NPPF paragraphs - DM2, DM11, DM12, DM13, NPPF paragraphs 9 & 17.
32. The first issue to consider is the impact of the proposed change of use on the amenity of neighbouring occupants. Since the only external works proposed to the building are minor changes to ground floor windows and doors, the proposals will not cause any overshadowing, overlooking or loss of outlook.
33. Many of the objectors to the scheme have raised concerns about noise, disturbance and anti-social behaviour. The number of student residents proposed is 66. There are no conditions restricting the number of residents of the care home but it is acknowledged that, on closing, it provided accommodation for 40 elderly residents. This number is likely to have reduced over time as space requirements within care homes increased. As such, the change of use of the site is not considered to cause any significant intensification of the site in terms of the number of residents.
34. In addition, a number of measures are proposed by the applicant to reduce the potential for anti-social or noisy behaviour from future residents. The premises will be managed 24 hours a day and the routes through to Suffolk Square will be closed so that the only entrance and exit will be via Unthank Road. This will prevent through-traffic and it will encourage residents to gather within the site's grounds rather than on Suffolk Square. The applicant is also willing to provide neighbours with contact details for the managers of the site should there be any complaints in future. Further details about the management of the site will be requested by condition.

35. Some objectors have raised concerns about noise from traffic. As discussed in further detail in the transport section, below, the number of traffic movements to result from the development is likely to be minimal since there are a limited number of parking spaces on site. It is not expected that there will be any increase in noise from traffic since traffic movements to and from the site are likely to be similar to those resulting from the current care home use.
36. The second issue to consider is the provision of sufficient living accommodation for future occupants. The building is well-suited for conversion to student accommodation. Bedrooms are of an acceptable size and there is a sufficient amount of communal space for students. The site is large enough to provide residents with a number of courtyards and open spaces. No detail has been given at this stage about the landscaping of these spaces so a landscaping condition has been recommended.

Main issue 3: Transport

37. Key policies and NPPF paragraphs - JCS6, DM28, DM30, DM31, NPPF paragraphs 17, 34 & 39.
38. The site is in a sustainable location within walking distance of the city centre and on a major bus route which runs between the train station and the UEA.
39. A number of objections have raised concerns about car parking in the area. Cycle parking and refuse storage is proposed within the existing car park, leaving space for approximately 2 car parking spaces. It is intended that these spaces are used by staff and visitors, and that residents are not allowed to bring cars to site. In any case, there would be no space for the parking of residents' cars, and the streets around the site are restricted by a Controlled Parking Zone. Residents of the student accommodation would not be issued with parking permits. As such, it is considered that the development will not have any significant impact on the parking situation in nearby streets.
40. 40 cycle parking spaces are provided which is considered an appropriate level of provision. 20 of these spaces are to be provided at the rear of the site, and 20 at the front. A small part of the grassed area to the front of the property would be lost as a result, which will have a very minor impact on the visual, biodiversity and drainage qualities of this area. Further details of these cycle storage facilities are required. It would be expected that the cycle parking should be covered, lockable and placed on hardstanding to prevent crime and to encourage use of bikes.
41. There has been some debate about how waste collections will take place at the site. Considering the constraints of the site and the location on a busy section of Unthank Road, transport colleagues do not consider it appropriate for a standard council refuse truck to visit the site for collections. The applicant has agreed that private refuse collection arrangements will be made and that a small refuse truck will visit the site instead. A condition is recommended to agree full details.
42. Immediately outside the site on Unthank Road, there is a bus stop which offers frequent services out of the city towards UEA. It is noted that this bus stop can become very busy at certain times of the day and that pedestrians often have to step into the road or up the site's bank to avoid the crowd around the bus stop. The current situation is dangerous at peak times. The bank is a sloping piece of ground

which has been heavily eroded and has a number of tree routes exposed. This bus stop will inevitably become more heavily used with the arrival of 66 students at the site. As such, it has been suggested to the applicant that better protection is offered to the bare earth bank to prevent further erosion and to provide a useful space for bus-users to stand while waiting for the bus. This should help to create more space on the pavement itself so that passing pedestrians don't have to step into the road. Due to the gradient of the area and the presence of tree roots, the new surface will not be able to be constructed to adoptable standards and so this will remain in the ownership and management of the site. A condition is recommended to agree the details of the ground covering.

Main issue 4: Crime & security

43. Key policies and NPPF paragraphs - DM1, DM3, NPPF paragraphs 58 & 69.
44. As highlighted by the Norfolk Constabulary, students are a high risk group when it comes to being victims of crime. As such, it is imperative that the development includes effective security measures to protect the residents of the site from crime (particularly burglaries). The applicant has proposed the following security measures, further details of which will be requested by condition:
 - a) Providing 24 hour management of the site;
 - b) Erecting CCTV cameras at key points around the site; and
 - c) Restricting use of the two gates leading to Suffolk Square to fire exit only. This will better control access to the site and prevent through-traffic.

Main issue 5: Design & heritage

45. Key policies and NPPF paragraphs - JCS2, DM3, NPPF paragraphs 9, 17, 56 & 60-66.
46. The building itself has no particular architectural or heritage value, but the site sits partly within, and adjacent to, the Heigham Grove Conservation Area.
47. The changes proposed to the outside of the building are very minimal (alterations to a few windows and doors). The works are not considered to impact upon the character and appearance of the conservation area, subject to the use of matching materials.

Equalities and diversity issues

48. There are no significant equality or diversity issues.

Local finance considerations

49. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority. In this case local finance considerations are not considered to be material to the case.

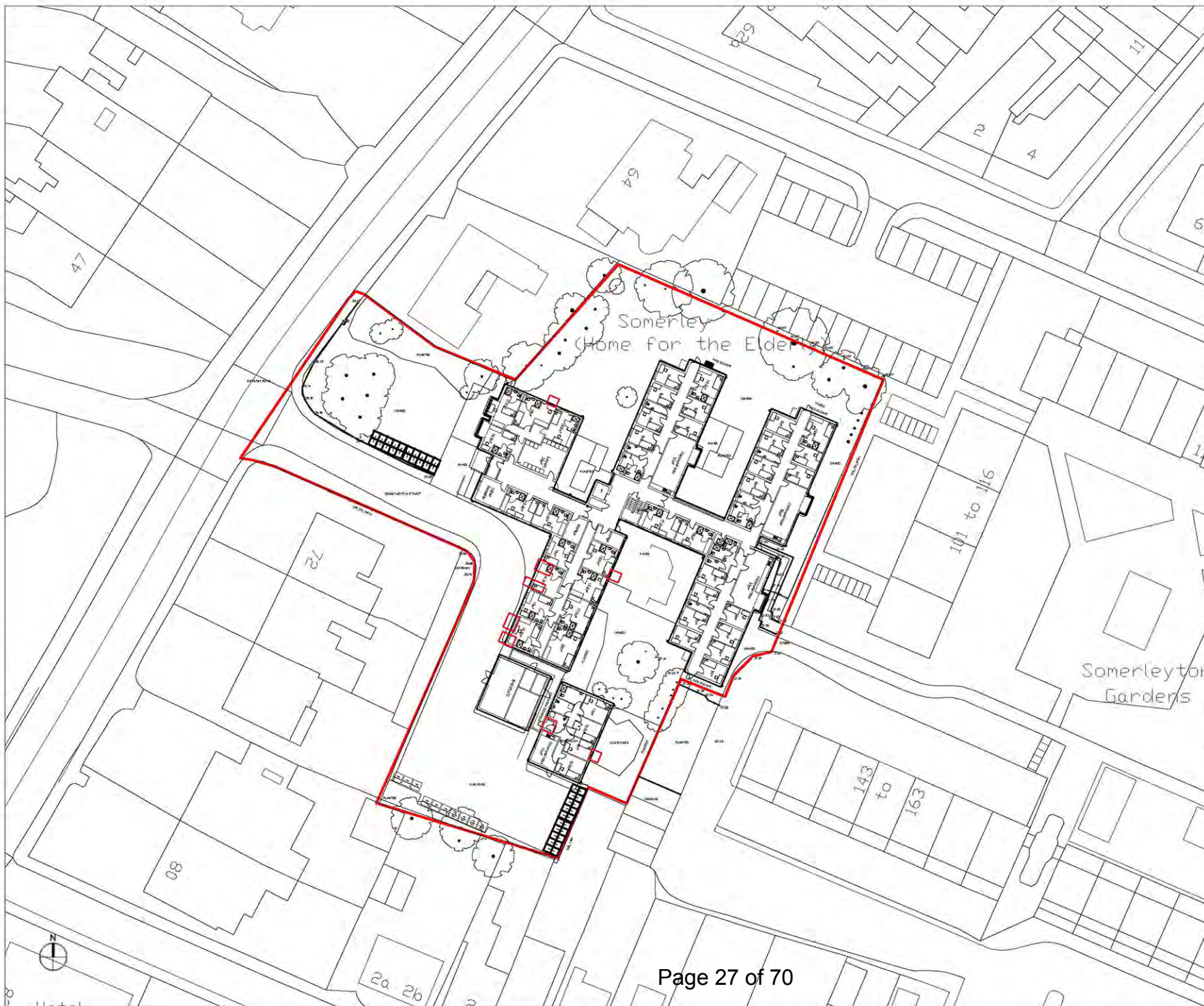
Conclusion

50. It is recognised that the area has a relatively high concentration of student properties due to the proximity to the university. However, it is considered that a properly managed student accommodation block such as this will be a positive addition to the area, not least because it will ease pressure on conversion of C3 dwellings to houses in multiple occupation.
51. The development accords with the relevant policies and subject to the conditions recommended below is considered appropriate for the reasons discussed above. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 17/01515/F - Somerley Residential Care Home, Somerleyton Street, Norwich, NR2 2BT and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Cycle storage details to be agreed;
4. Management arrangements to be agreed;
5. Refuse arrangements to be agreed;
6. Landscaping scheme to be agreed;
7. Method for protecting the bare earth bank to the front of the site to be agreed;
8. Security measures to be agreed;
9. Matching materials.



NOTES

Do not scale from this drawing electronically or manually, use written dimensions only.

All dimensions are in millimeters unless stated otherwise.

This drawing is produced for use in this project only and may not be used for any other purpose. Lanproservices Ltd. accept no liability for the use of this drawing other than the purpose for which it was intended in connection with this project as recorded on the title fields 'Purpose for Issue' and 'Drawing Status Code'.

This drawing may not be reproduced in any form without prior written agreement of Lanproservices Ltd.

© Crown copyright and database rights 2017

Ordnance Survey Licence Number 0100031873

CDM 2015

The Construction (Design and Management) Regulations 2015 (CDM 2015) makes a distinction between domestic and commercial clients and outlines the duties you, as client, have under Health and Safety Law (HSE).

These duties can be found at:

<http://www.hse.gov.uk/construction/cdm/2015/responsibilities.htm>

It is your responsibility as client to make yourself aware of your role within CDM 2015 and act accordingly.

— Site Boundary 0.39ha

40 bikes
10 x 1100l bins (6 general waste, 4 recycling)

GIFA: 1675 m²

□ Proposed elevation changes

PURPOSE OF ISSUE PL- For planning			RIBA STAGE 3
DRAWING STATUS S2 - For information			
PROJECT TITLE Somerlayton Student Accommodation			
CLIENT Devlukia Properties			
DRAWING TITLE Site Plan			SCALE 1 @ 600
DATE Sept 2015	DRAWN BY RVR	CHECKED BY TU	APPROVED BY IR
DRAWING NUMBER			
PROJECT NO	TYPE	UNIQUE NO	REVISION
0808A-	00	- 001	-

Lanpro

(Architecture and Urban Design)

Norwich Office: Bretingham House, 98 Flatergate, Norwich, NR2 1EQ
Tel 01603 631 319 www.lanproservices.co.uk



PURPOSE OF ISSUE FE - For feasibility			RIBA STAGE 1
DRAWING STATUS S2 - For information			
PROJECT TITLE Somerley House			
CLIENT Devlokia Properties			
DRAWING TITLE Proposed Ground Floor			SCALE 1:200
DATE Aug 2017	DRAWN BY RVR	CHECKED BY TU	APPROVED BY IR

DRAWING NUMBER			
PROJECT NO	TYPE	UNIQUE NO	REVISION
0000	- 00	- 003	-

Do not scale from this drawing electronically or manually, use written dimensions only.

This drawing is produced for use in this project only and may not be used for any other purpose. Lanproservices Ltd. accept no liability for the use of this drawing other than the purpose for which it was intended in connection with this project as recorded on the title fields 'Purpose for Issue' and 'Drawing Status Code'.

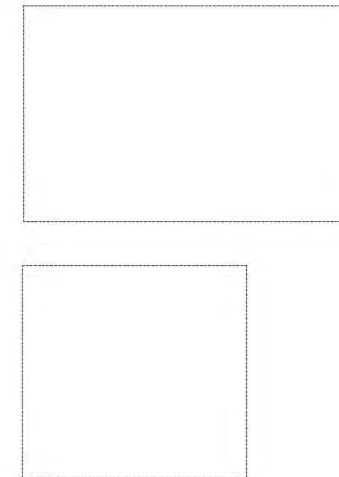
This drawing may not be reproduced in any form without prior written agreement of Lanproservices Ltd.

Ordnance Survey Licence Number 0100031673

The Construction (Design and Management) Regulations 2015 (CDM 2015) makes a distinction between domestic and commercial clients and outlines the duties you, as client, have under Health and Safety Law (HSE).

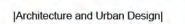
<http://www.hse.gov.uk/construction/cdm/2015/responsibilities.htm>

It is your responsibility as client to make yourself aware of your role within CDM 2015 and act accordingly.



GF+FF
Single room total: 44
Studios total: 22

Total of rooms: 66

0808A- 00 - 004 -

Norwich Office: Brettingham House, 98 Pottergate, Norwich, NR2 1EQ
Tel 01603 631 319 www.lanproservices.co.uk



Report to Planning applications committee

Item

9 November 2017

Report of Head of planning services

Subject Application no 17/01259/MA - 19 Leopold Road,
Norwich, NR4 7AD

**Reason
for referral** Objections

4(b)

Ward:	Eaton
Case officer	Joy Brown - joybrown@norwich.gov.uk

Development proposal		
Material amendment of permission 14/00224/MA for variation of condition 2 to allow the removal of solar panels and reconfiguration of window profiles to all plots and installation of porch, enlargement of dwelling and changes to internal layout of plot no. 1.		
Representations		
Object	Comment	Support
3	0	0

Main issues	Key considerations
1 Principle of Development	This has already been established
2 Design	Impact on streetscene
3 Amenity	Impact upon neighbouring residents
4 Energy	Policy requirements
Expiry date	19 October 2017 (extension of time until 16 November).
Recommendation	Approval



© Crown Copyright and database right 2017. Ordnance Survey 100019747.

Planning Application No 17/01259/MA
 Site Address 19 Leopold Road

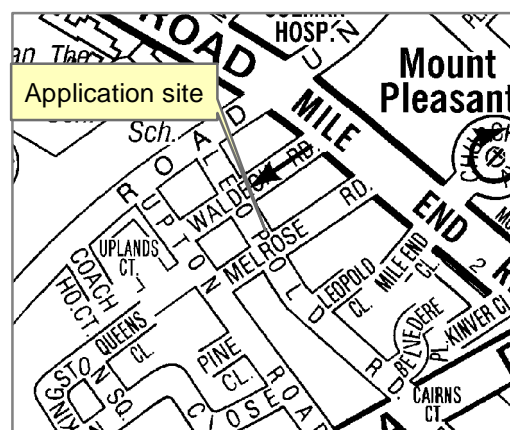
Scale 1:1,000



NORWICH
 City Council

PLANNING SERVICES

Page 32 of 70



The site and surroundings

1. The site is located on the north-eastern corner at the junction of Leopold Road and Melrose Road. The site was previously used as a motor garage but construction is currently underway for the development of the site for 3 no. terrace properties and 1 no. detached property.
2. The site is set within a predominantly residential area. Leopold Road and Melrose Road are characterised by a mix of Victorian terraced and later semi-detached housing. The Beehive public house is located directly opposite the site on Leopold Road.

Constraints

3. The Environment Agency have previously identified that the site is situated within Groundwater Source Protection Zone 2.

Relevant planning history

Ref	Proposal	Decision	Date
06/00090/F	Proposed residential development consisting of 5 no. three-bedroom townhouses and 2 no. two-bedroom apartments.	Withdrawn	20/03/2006
06/00414/F	Redevelopment of site for 6 flats with associated parking (revised drawings and revised description).	Approved	21/07/2006
06/01063/F	Proposed residential development consisting of 8 no. 2 bedroom apartments.	Refused	22/12/2006
07/01159/F	Erection of a small local centre comprising 5 no convenience units within use classes A1, A2, A3, D1, D2 and B1 and 5 no. flatted dwelling units with associated parking.	Refused	11/12/2007
08/00325/F	Erection of small local centre comprising five convenience units within use classes A1, A2, A3, D1, D2 and B1 and five flatted dwelling units with associated car parking.	Refused	29/05/2008
11/00108/F	Development of 5 No. 3 bedroom town houses, 1 No. 1 bedroom flat and 1 No. 2 bedroom flat.	Refused	21/04/2011

5. From the officer's site visit it was also noted that the ridge height of units 2-4 would appear to be around 0.5m higher than the neighbouring property (52 Melrose Road) whereas the previously approved plans showed a ridge height that was the same as 52 Melrose Road. The applicant has confirmed that the built ridge height is in accordance with the approved plans (8.6m) however on the previously approved plans the ridge height of the neighbouring property is in fact 7.8m from ground level to ridge not 8.6 as shown on the previously approved drawings.

Representations

6. Adjacent and neighbouring properties have been notified in writing. Three letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
The roof height of plots 2-4 is higher than the neighbouring property. This results in loss of light. The rear dormers are also larger leading to more overlooking.	See main issues 2 and 3.
Was it agreed that plots 2-4 would be 3 storey? If not then this results in a more intense form of development which could have more parking issues.	The previously approved plans were for three storey properties.
Why are the solar panels being removed when these houses were originally billed as eco friendly? The omission of the panels waters down what is already a poor quality development that may have not been approved without them.	See main issue 4
The enlargement of plot 1 means that it is 0.5m closer to the garden of 52 Melrose Road and leads to further loss of green space.	See main issue 3
Changes in the layout of plot 1 have now meant the study has become a third bedroom which intensifies the use of the site.	The study could have previously have been used as a third bedroom.
The windows are very large and very invasive.	The size of the openings is in accordance with the previously approved plans. The profile of the windows has changed to satisfy building regulations approval.

Consultation responses

7. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Environmental protection

8. No comments

Highways (local)

9. No comment received

Norfolk historic environment service

10. We do not wish to make any recommendations for archaeological work.

Assessment of planning considerations

Relevant development plan policies

11. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS3 Energy and water
 - JCS4 Housing delivery
 - JCS6 Access and transportation
 - JCS9 Strategy for growth in the Norwich policy area
 - JCS12 The remainder of the Norwich urban area including the fringe parishes
12. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
- DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM12 Ensuring well-planned housing development
 - DM30 Access and highway safety
 - DM31 Car parking and servicing

Other material considerations

13. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
- NPPF0 Achieving sustainable development
 - NPPF6 Delivering a wide choice of high quality homes
 - NPPF7 Requiring good design
 - NPPF10 Meeting the challenge of climate change, flooding and coastal change

Case Assessment

14. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

15. Key policies and NPPF paragraphs – DM12, NPPF paragraphs 49 and 14.
16. The principle of residential development on the site has already been established through the previous consents as has the loss of the commercial premises.

17. Main issue 2: Design

18. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 9, 17, 56 and 60-66.
19. The removal of the solar panels and the changes to windows are not considered to materially impact upon the overall design or the appearance of the dwelling houses.
20. The addition of a porch and the changes to the design of the front elevation of plot 1 are considered acceptable and will tie in with the design of other properties in the vicinity. The porch will protrude no further than the porch of the property to the north (21 Leopold Road) and the ground and first floors will be in line with the rest of the terrace.
21. In terms of the height of plots 2-4, there was uncertainty as to whether the properties had been built in accordance with the previously approved plans as the previously approved plans showed a ridge height that was the same as the ridge height of the property to the east (52 Melrose Road) whereas the officer's site visit confirms that the ridge height was at least 0.5m higher than the neighbouring property. The applicant has since confirmed that the height of plots 2-4 is in accordance with the previously approved plans; however the ridge height of the neighbouring property was incorrectly shown as being too high at 8.6m whereas in reality it is actually 7.8m. Checking the height of the proposed dwellings on the approved plans confirms that their height is as approved.
22. The difference in ridge height between plots 2-4 and the neighbouring property does have a small impact upon the street scene; however given that the site is on the corner, is separated from 52 Melrose Road by around 3m and has a different roof form (52 Melrose Road has a hipped roof), the relationship between the new terrace and the neighbouring semi-detached properties is acceptable. In addition, the development has actually been completed in accordance with the approved plans.

Main issue 3: Amenity

23. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.

Impact upon neighbouring residents

24. With the exception of the changes to the dormer windows to plots 2-4, it is not considered that the changes to the profiles of the windows will impact upon any neighbouring residents as there is no change to the size of the openings or the positioning of the windows. The increased size of the rear dormer may slightly increase the feeling of being overlooked; however it is not considered that the actual increase in overlooking will be significant.
25. As part of the previous consent a condition was attached requiring details of the upper floor windows of plot 1. The reason for this condition was to prevent overlooking. An application was submitted to discharge this condition. This showed a small top hung opening window with fixed lights to the bottom panes. The entire window was to be obscure glazed. The proposed windows do not satisfy building regulations as the opening sections are of insufficient size for a means of escape from a bedroom. Therefore it is necessary for a casement window with side hinges to the bedroom. Both the bathroom and bedroom windows will still be obscure glazed which can be secured by condition in order to prevent overlooking.
26. The slight increase in the size of plot 1, the addition of the porch and the changes to the layout will have minimal impact upon neighbouring residents. The property will be slightly closer to the boundary of 52 Melrose Road; however any increase in overshadowing to the neighbours garden as a result is likely to be minimal compared to the approved scheme. The property will be no deeper than 21 Leopold Road so the impact upon the property to the east will also be minimal.
27. With regards to the ridge height of plots 2-4, as set out above this is no higher than the previously approved plan; however it is over 0.5m higher than the neighbouring property as this was incorrectly shown on the plans. Neighbouring residents feel that the increased height from what they expected (same height as 52 Melrose Road) will further impact upon levels of light and result in additional overshadowing. Although the property may appear larger, it is in fact as approved. Notwithstanding this, due to the distances involved it is not considered that the perceived additional height will reduce light to any of the neighbours to any material degree.

Amenity for future residents of the site

28. The increase size of unit 1 will improve the internal living space for future residents; however it will reduce the size of the rear garden. The garden is small; however it is considered sufficient to provide a useable space for a family dwelling. None of the other proposed changes will impact upon the living conditions of residents of the proposed dwellings.

Main issue 4: Energy

29. Key policies and NPPF paragraphs – JCS3, DM1, NPPF paragraphs 94 and 96.
30. The application includes the removal of the solar panels from all four units. Although this is regrettable, there is no policy basis to require any form of renewable energy on sites below 10 units. As such it is considered that the change is acceptable.

Compliance with other relevant development plan policies

31. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Cycle storage	DM31	Yes subject to condition
Car parking provision	DM31	Yes
Refuse Storage/servicing	DM31	Yes subject to condition
Energy efficiency	JCS 1 & 3 DM3	Not applicable
Water efficiency	JCS 1 & 3	Yes subject to condition
Sustainable urban drainage	DM3/5	Not applicable

Equalities and diversity issues

32. There are no significant equality or diversity issues.

Local finance considerations

33. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
34. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
35. In this case local finance considerations are not considered to be material to the case.
36. The proposal increases the total floorspace by 15 sqm. This would result in an additional payment of £1436.38.

Conclusion

37. The proposed changes are considered to be a minor alteration to the previously approved consent and it is not considered that they will have a significant impact upon the overall design of the scheme or have a significantly detrimental impact

upon the living conditions of neighbouring or future residents. The removal of the solar panels is regrettable; however there is no policy requirement to provide renewable energy on residential development of less than 10 units.

38. The development is therefore in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

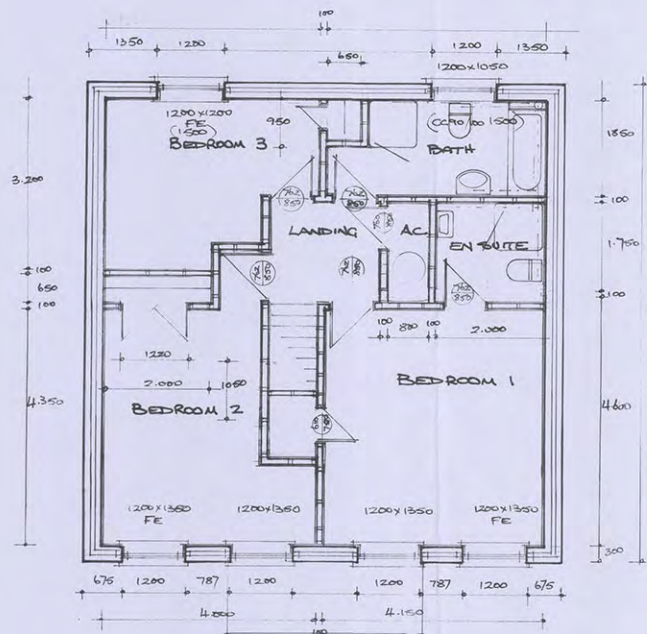
Recommendation

To approve application no. 17/01259/MA - 19 Leopold Road, Norwich, NR4 7AD and grant planning permission subject to the following conditions:

1. In accordance with plans;
2. Materials, boundary treatments and external lighting in accordance with application 14/00770/D
3. Obscure glazing to rear of plot 1 (upper floor).
4. Bin and bike stores in accordance with 14/00770/D
5. No occupation until vehicular access shown on drawing 5800A-P01 rev L have been extinguished and adjacent footway reinstated with full height kerbs in accordance with 14/00770/D.
6. Landscaping of plots 2-4 in accordance with details approved under 14/00770/D
7. Details of landscaping to plot 1 to be agreed prior to occupation.
8. Water efficiency
9. No occupation until verification report submitted
10. Monitoring, maintenance and contingency action in relation to condition 9.

Article 35(2) Statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations and has approved the application subject to appropriate conditions and for the reasons outlined in the officer report.

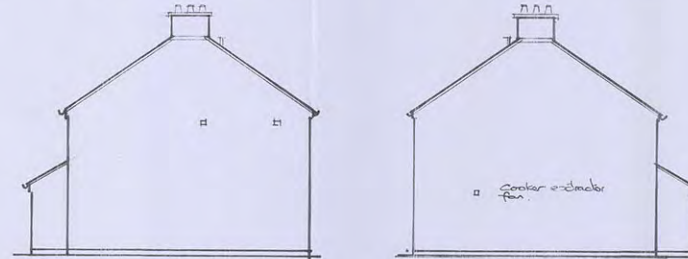


FIRST FLOOR LAYOUT



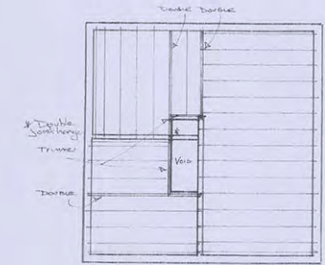
FRONT ELEVATION

REAR

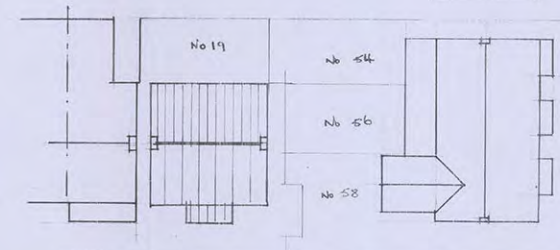


SIDE

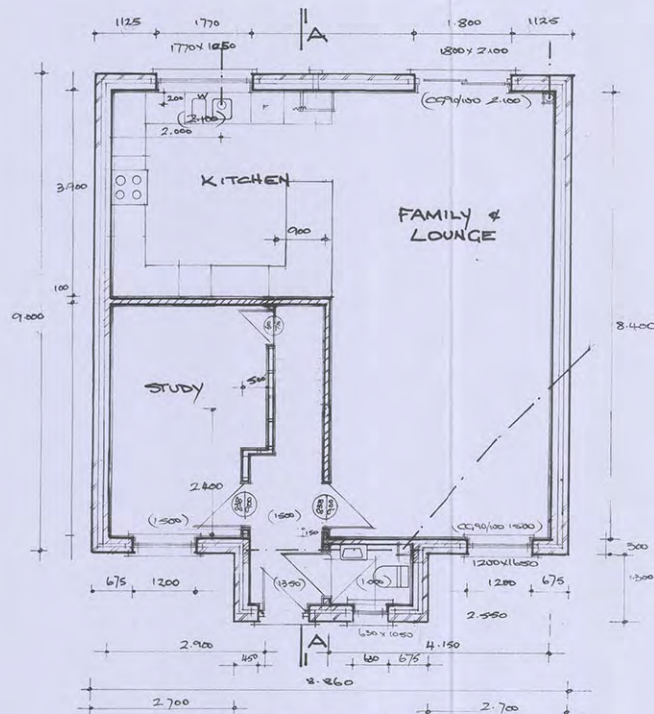
SIDE



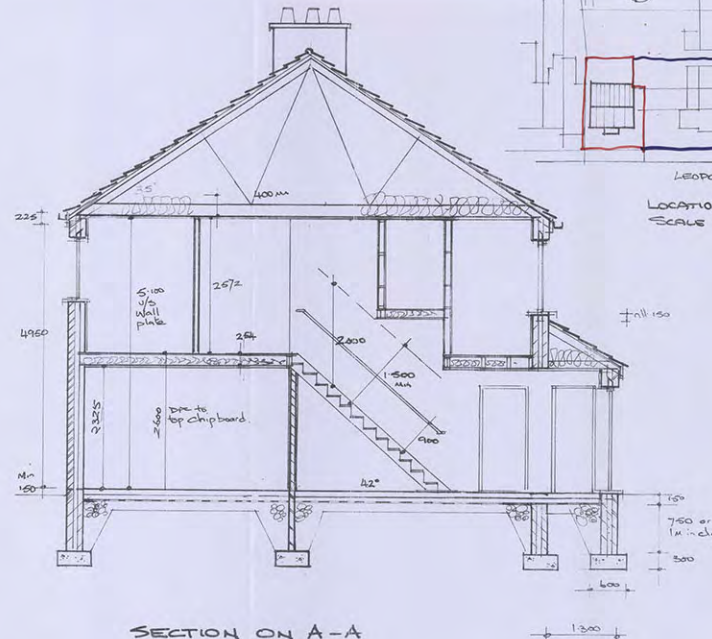
JOIST LAYOUT
Scale 1:100



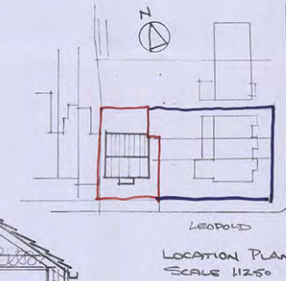
SITE PLAN
SCALE 1:200



GROUND FLOOR LAYOUT



SECTION ON A-A



LEOPOLD
LOCATION PLAN
SCALE 1:250

NOTES

Original application No 14/00770/L
dated 2/2/14
also 14/0224/MA, 12/00106/F
New internal layout.

REVISIONS

REVISED LAYOUT 03.

PROPOSED REVISED LAYOUT TO PLOT 1

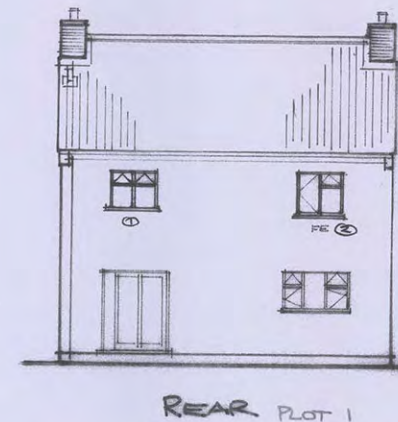
AT 19
LEOPOLD ROAD
NORWICH NR4 7AD

FOR
RACKHAM + SALES LTD
MONK FARM
NEWTON GREENWAYS
NORWICH

DATE 25 JULY 2017

DRAWN

REF R+S02 03



Windows 1+2 to have obscured glazing equivalent of classification 3 of Pilkington Glass

SPECIFICATION CHANGE

Solar panels :- Removed from all 4 No units

Windows :- Front windows to plots 2-4 opening lights (casements) added to comply with Building Regulations for means of escape min size 750 x 450 0.33m²

Rear windows plots 2-4 profile change to comply with means of escape 1st floor

Revised profile to rear of plot 1 bedroom window means of escape

PLOT 1 Revised layout and porch added to mirror the adjoining existing terrace house. Increased floor area to 1st floor and porch represent an increase of 15.66m²

DORMERS Dormer height as planning drawing but length increased by 300mm to obtain 850 above floor to sill as requested by Building Control. Extending dormer further down roof.

NOTES

Original application No 14/00770/D dated 23/6/14 140224/MA, 12/00106/F

REVISIONS

A. Planning amendments agreed on 12-10-17.

AMENDMENTS TO EXISTING PLANNING.

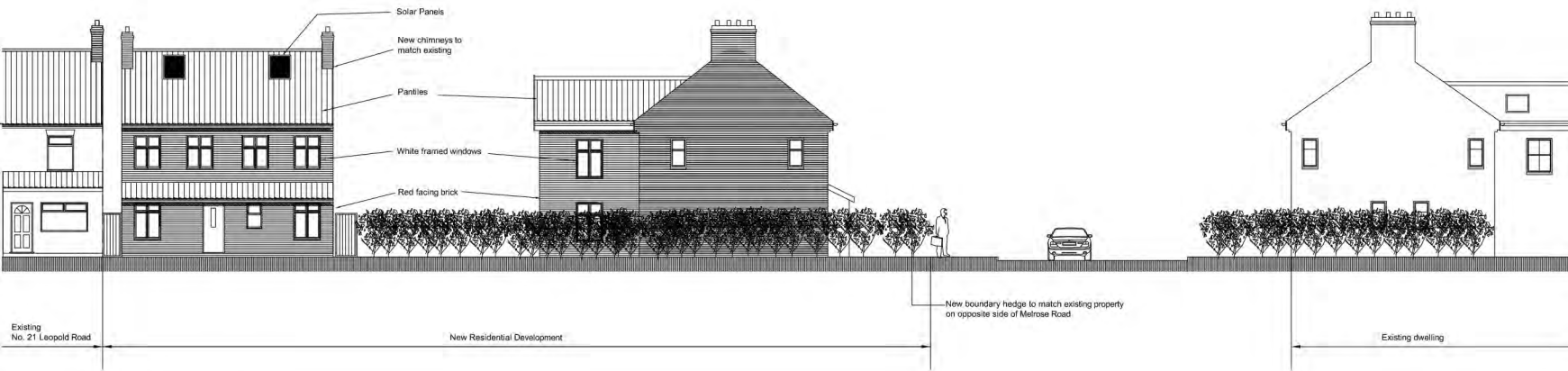
AT
19 LEOPOLD ROAD
NORWICH NR4 7AD

FOR
RACKHAM + SALES LTD
MONK FARM
GREENWAYS
NORWICH

DATED 1 AUGUST 2017

DRAWN

RE R+S 04/A



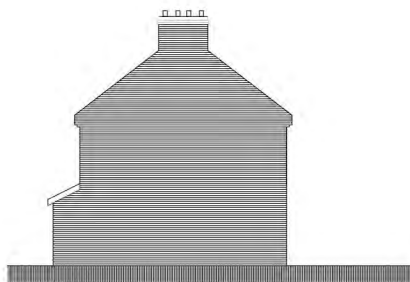
Leopold Road Elevation



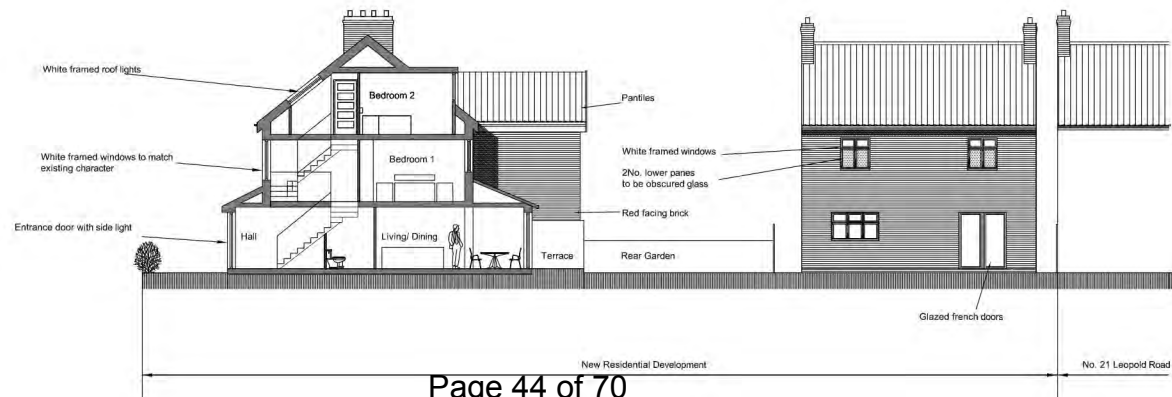
Melrose Road Elevation



Section A-A
(Rear Elevation)



Right Side Elevation of dwelling no. 1



Section B-B

NOTES

This drawing is the copyright of the Architects and can only be reproduced with their express permission.
Written dimensions must be used in preference to scaled.
Contractors must check all dimensions on site.

Tenders - This document is produced only for the benefit of the employer and cannot be relied upon by any third parties.

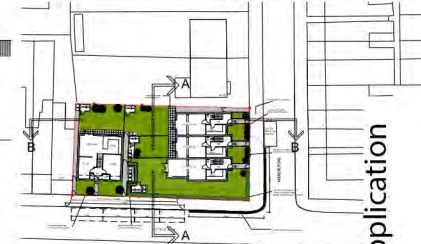
Special Warning - Relating to disks or electronic data containing computer files of drawings prepared by David Futler Associates Ltd.

Drawings issued by David Futler Associates Ltd on paper, disk or e-mail are controlled to ensure that the changes can be recorded and traced.

David Futler Associates Ltd are not responsible for unauthorised changes made to their drawings or the consequences thereof.

It is not possible to password, protect or securely lock computer generated drawings, and there are consequential risks.

Recipients of electronic copies of this drawing must not make amendments without the written consent of David Futler Associates Ltd.



Key Plan

Approved plans for application
14/00224/MA

K. Ground floor of Dwelling 1 extended	29.01.14 nlc
J. Dwelling 1 set back to adq. building line	08.03.12 nlc
H. Dwelling 1 & 2 amended in accordance with Planning Officer's requirements	02.03.12 nlc
G. Right Side Elevation to dwelling no.1 title amended	01.02.12 nlc
F. Side Elevation to dwelling no.1 added	27.01.12 nlc
E. Solar panels added for renewable energy requirements	14.12.11 nlc
D. Minor amendments made as per Clients request	01.11.11 CJH
C. New design scheme incorporating LPA's recommendations	03.10.11 nlc
B. Rear extension added to Leopold Road elevation	05.08.11 nlc
A. Section B-B revised	02.08.11 nlc
rev:	date:

architects and consulting engineers

dfal

david futler associates ltd

Arkitech House
35 Whiffier Road
Norwich Norfolk
NR3 2AW

t : 01603 787778 f : 01603 787496
e : info@dfal.tv w : www.dfal.tv

Project:
**Proposed housing development
at Leopold Road, Norwich.**

Client:
Ben Kemp Ltd

Drawing:
Elevations and Sections

Drawn by: nlc	Checked by: DF	Drg. No.	Rev.
Scale: 1:100		5800A_P02	M
Date: July 2011			

Report to Planning applications committee

Item

9 November 2017

Report of Head of planning services

Subject Application no 17/01192/O - 215 Woodcock Road,
Norwich, NR3 3TE

Reason Objection

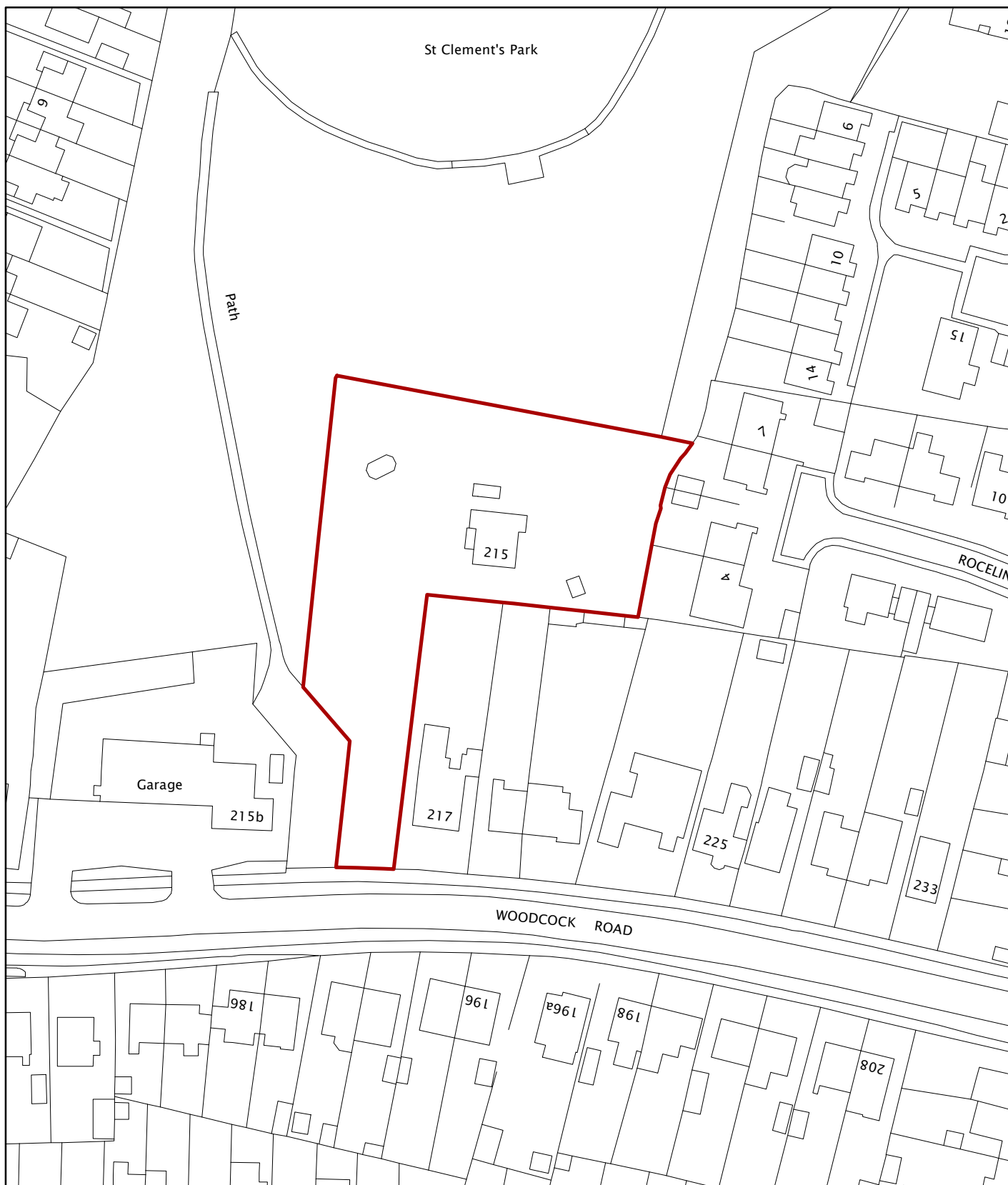
for referral

4(c)

Ward:	Catton Grove
Case officer	Robert Webb - robertwebb@norwich.gov.uk

Development proposal		
Outline application with all matters reserved for the erection of 2 no. houses and 1 no. bungalow.		
Representations		
Object	Comment	Support
6	0	0

Main issues	Key considerations
1	Principle of development
2	Design
3	Amenity
4	Transport
5	Trees/Landscaping
6	Flood risk
7	Biodiversity
Expiry date	16 November 2017 (agreed timescale)
Recommendation	Approval



© Crown Copyright and database right 2017. Ordnance Survey 100019747.

Planning Application No 17/01192/O
Site Address 215 Woodcock Road

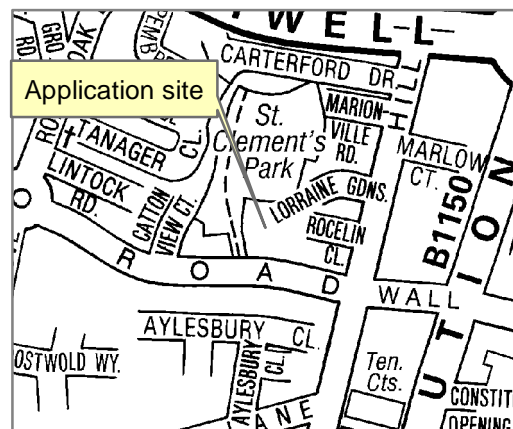
Scale 1:1,000



NORWICH
City Council

PLANNING SERVICES

Page 46 of 70



The site and surroundings

1. The site forms part of the large residential curtilage of no. 215 Woodcock Road. The existing house is a detached two storey property set back from the road and accessed via a long driveway. St. Clements Park is located to the north and west of the site, with residential dwellings in Woodcock Road and Rocelin Close to the south and east.

Constraints

2. The site is within a Critical Drainage Area as designated by the Norwich Local Plan Development Management Policies document.

Relevant planning history

- 3.

Ref	Proposal	Decision	Date
16/01705/O	Erection of 6 no. dwellings.	Withdrawn	01/02/2017

The proposal

4. Outline planning permission with all matters reserved is sought for the erection of two houses and one bungalow within the grounds of no. 215 Woodcock Road. As a result the assessment to be made is whether the site is capable of accommodating the description of development proposed. Whilst an indicative plan has been submitted, layout, appearance, scale, access and landscaping are all reserved matters which would be subject to a second application.
5. During the course of the application negotiations took place and the proposal has been revised from 4 dwellings down to 3, with one of these being a bungalow.

Summary information

Proposal	Key facts
Scale	
Total no. of dwellings	3
No. of affordable dwellings	0
No. of storeys	2 no. 2 storey dwellings and 1 no. 1 storey dwelling
Density	12.5 dwellings per hectare
Transport matters	

Proposal	Key facts
Vehicular access	From Woodcock Road

Representations

6. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 6 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Concerns about privacy.	See main issue 3
Potential impact on neighbouring fencing and landscaping at 4 Rocelin Close.	See main issue 3
Concerns about refuse collection, site road not suitable for a bin lorry and insufficient space on Woodcock Road to accommodate number of bins required.	See main issue 4
Concerns that visibility for cars at the access is inadequate and narrowness of access road.	See main issue 4
Concerns about increased traffic and parking on the verges on Woodcock Road and impact on users	See main issue 4
Building of three storey houses is not in keeping with the character of the area and would cause overlooking. (comments on original plans)	See main issue 2
Preference for trees on boundary to be retained and concerns about boundary treatments.	See main issue 5
Impact on wildlife.	See main issue 7
Concerns that existing street light within site will be switched back on.	See main issue 3
Concern about noise from construction activities.	This is not a planning matter

Consultation responses

7. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Highways (local)

8. No objection on highway grounds. The proposed development will make use of an extant vehicle access to Woodcock Road that is fit for purpose in principle. The site layout appears satisfactory, there is adequate space for cars to enter and exit the site in a forward gear.
9. What is not clear is how refuse would be collected from the site, as the turning head is not large enough. It may be better if there was a communal bin store at the Woodcock Road end of the site to avoid the need for refuse trucks to enter and turn within the site.
10. We would not wish to adopt this cul de sac, but it should be built to adoptable standards, with no rainwater runoff to the highway. There would be no adopted street lighting.
11. I notice that the frontage property at 217 Woodcock Road has a vehicle parked on the verge causing unsightly deep rutting. Vehicles parked here would also impeded inter-visibility of vehicles exiting this site. It would be advisable if verge parking was controlled here in some way, one of the most effective methods would be to plant one or two street trees, payable by the applicant, subject to feasibility assessment. (i.e. underground cables).

Citywide Services

12. In terms of refuse collection, the ideal situation would be a bin storage area where residents can bring their bins to for collection day at the end of the driveway, this would be no more than 10 metres from the public highway.

Tree protection officer

13. Full tree protection measures are required to be submitted once we know the exact layout proposed.

Norwich Society

14. No comments at this stage. We will reserve judgement for the detail association.

Assessment of planning considerations

Relevant development plan policies

15. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS3 Energy and water

- JCS4 Housing delivery
- JCS6 Access and transportation
- JCS9 Strategy for growth in the Norwich policy area
- JCS12 The remainder of the Norwich urban area including the fringe parishes

16. Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)

- DM1 Achieving and delivering sustainable development
- DM2 Ensuring satisfactory living and working conditions
- DM3 Delivering high quality design
- DM5 Planning effectively for flood resilience
- DM6 Protecting and enhancing the natural environment
- DM7 Trees and development
- DM12 Ensuring well-planned housing development
- DM28 Encouraging sustainable travel
- DM30 Access and highway safety
- DM31 Car parking and servicing

Other material considerations

17. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF4 Promoting sustainable transport
- NPPF6 Delivering a wide choice of high quality homes
- NPPF7 Requiring good design
- NPPF10 Meeting the challenge of climate change, flooding and coastal change
- NPPF11 Conserving and enhancing the natural environment

18. Supplementary Planning Documents (SPD)

- Trees, development and landscape SPD

Case Assessment

19. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

20. Key policies and NPPF paragraphs – JCS4, DM12, NPPF paragraphs 49 and 14.
21. The site is within development limits and there is no policy to restrict the development of the site for housing. The proposal would make a small contribution towards meeting housing need and reducing the current shortfall within the 5-year

housing land supply of the Norwich Policy Area. The principle of development is therefore acceptable, subject to consideration of the further policy matters considered below.

22. Main issue 2: Design

23. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 9, 17, 56 and 60-66.
24. Layout, appearance and landscaping would be controlled by a second application at the reserved matters stage. The indicative plan demonstrates how three new dwellings could be arranged within the site. The application originally proposed a total of four new dwellings, with two of these being three storey and two of them two storey. This was considered to be an overdevelopment of the site and following discussions with the applicant this has been reduced to a total of 3 dwellings, including 2 no. two storey houses and 1 no. bungalow.
25. The site is capable of accommodating this form of development and the positioning of the bungalow would safeguard the privacy of neighbouring occupiers as well as reducing the scale and impact of the development on the adjoining park and surrounding area. It should be possible to ensure each property has sufficient space for off road parking and a private garden.
26. There is currently an unsightly palisade fence which was erected by the previous owner surrounding the northern and western boundary with St. Clement's park. It is recommended that this be replaced with a more sympathetic form of boundary treatment, to improve the experience of users of the park and also the future occupiers of the site. This could be controlled at reserved matters stage.

Main issue 3: Amenity

27. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
28. Although six objections were received, these were made to the original scheme which involved four dwellings, two of which would have been three storey. At the time of writing no comments have been received on the revised scheme.
29. The indicative layout plan demonstrates how three dwellings could be accommodated within the site without causing significant amenity impacts. The two dwellings to the rear of the site should be no higher than two storey and it is considered important that the new dwelling closest to Woodcock Road is a bungalow with no first floor windows facing east to prevent overlooking of the adjacent property at no. 217 Woodcock Road. The reduced scale of development also assists in protecting the setting of St. Clements Park.
30. The exact details such as siting of buildings, appearance and positioning of windows would be controlled at reserved matters stage. It should be possible to ensure that the development causes no material harm to neighbouring boundaries or landscaping. Landscaping and external lighting could be controlled by condition, it is likely the existing street lamp in the rear garden which is of concern to neighbours would be removed.

Main issue 4: Transport

31. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, NPPF paragraphs 17 and 39.
32. No objection is raised by the Council's Transport Officer in relation to the suitability of the access from Woodcock Road. However it has been suggested that a means of preventing verge parking in the vicinity of the access should be provided, ideally in the form of new street trees. A condition is recommended to secure this. There would be room to provide sufficient off street parking for each dwelling, including the existing house - likely to be 2 spaces per dwelling. Secure bike storage should also be agreed at reserved matters stage.
33. Refuse lorries would not drive down the access road so a bin presentation area should be provided within the site and within 10 metres of the highway. There is room to provide this just inside the driveway and this could be secured at reserved matters stage.

Main issue 5: Trees/Landscaping

34. Key policies and NPPF paragraphs – DM7, NPPF paragraphs 109 and 118.
35. There are a number of trees along the boundary and within the site. The application is accompanied by a tree survey which confirms the majority of these are category C trees (therefore of lower value), with there being just one category B tree which is next to the existing house. It is considered the site could be developed in the manner proposed whilst maintaining the majority of trees and hedgerows, and whilst some vegetation may need to be removed, there would be adequate space for replacement planting.

Main issue 6: Flood risk

36. Key policies and NPPF paragraphs – JCS1, DM5, NPPF paragraphs 100 and 103.
37. Within critical drainage areas (as is the case here) policy DM5 requires development proposals to give adequate consideration to be given to mitigating surface water flood risk. Measures such as permeable materials, on-site rainwater storage, green roofs and walls are likely to be required but the detail of this could be agreed at reserved matters stage. It is considered that there would be sufficient space within the site to incorporate measures to ensure that the development does not increase flood risk.

Main issue 7: Biodiversity

38. Key policies and NPPF paragraphs – JCS1, DM6, NPPF paragraph 118.
39. The site is predominantly laid to lawn and therefore of minimal biodiversity interest. It is considered that opportunities to increase the biodiversity of the site could be sought at reserved matters stage. This could include measures such as green roofs, new native species planting and bird/bat boxes.

Compliance with other relevant development plan policies

40. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Cycle storage	DM31	Yes subject to condition
Car parking provision	DM31	Yes subject to condition
Refuse Storage/servicing	DM31	Yes subject to condition
Energy efficiency	JCS 1 & 3 DM3	Not applicable
Water efficiency	JCS 1 & 3	Yes subject to condition
Sustainable urban drainage	DM3/5	Yes subject to condition

Equalities and diversity issues

41. There are no significant equality or diversity issues.

Local finance considerations

42. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
43. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
44. In this case local finance considerations are not considered to be material to the case.

Conclusion

45. Outline permission with all matters reserved is sought for 2 no. two storey houses and 1 no. bungalow. There is a principle in favour of development on the application site and the indicative plans submitted shows how three dwellings could be comfortably accommodated on site. The development is in accordance with the requirements of the National Planning Policy Framework and the Development

Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 17/01192/O - 215 Woodcock Road, Norwich, NR3 3TE and grant planning permission subject to the following conditions:

1. Application for reserved matters to be made within 3 years of the date of permission, development to commence within 2 years of approval of reserved matters
2. No development to take place without approval of reserved matters relating to appearance, landscaping, scale, layout and access.
3. Unexpected contamination to be reported
4. Imported topsoil/subsoil to be certified
5. No occupation to take place without details of bicycle storage, vehicle parking and servicing facilities being approved and the approved details to be implemented in full.
6. No development to take place until a scheme to mitigate the impacts of surface water flooding has been submitted for approval and approved scheme to be implemented in full.
7. Water efficiency condition
8. 2 no. street trees to be provided on grass verge outside 217 Woodcock Road.

Article 35(2) Statement:

The local planning authority in making its recommendation has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been recommended for approval subject to appropriate conditions and for the reasons outlined in the officer report.

18102017MJS
Scale 1.500
215 Woodcock Road
NR3 3TE

Plot 3
4 bed detached
house over two
floors 132m sq
GIA (1432 ft sq)

Plot 4
4 bed detached
house over two
floors 132m sq
GIA (1432 ft sq)

Plot 1 detached
bungalow 80m
sq GIA approx



Report to Planning applications committee

Item

9 November 2017

Report of Head of planning services

Subject Application nos 17/00896/F and 17/00902/L -
68 St Stephens Road, Norwich, NR1 3RE

**Reason
for referral** Objections

4(d)

Ward:	Town Close
Case officer	Samuel Walker - samuelwalker@norwich.gov.uk

Development proposal		
Single storey rear extension.		
Representations		
Object	Comment	Support
2	-	8

Main issues	Key considerations
1	Principle of development
2	Design
3	Heritage
4	Landscaping
5	Amenity
Expiry date	25 July 2017
Recommendation	Approve



© Crown Copyright and database right 2017. Ordnance Survey 100019747.

Planning Application No 17/00896/F & 17/00902/L
 Site Address 68 St Stephens Road

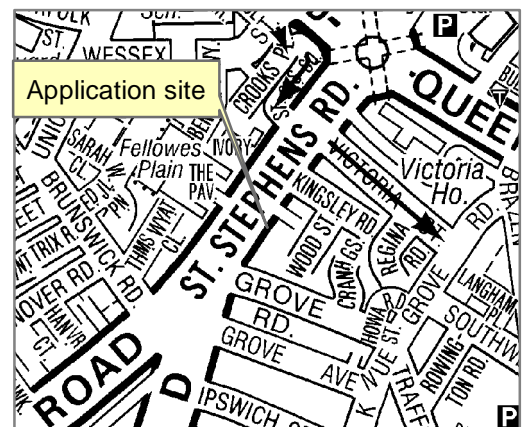
Scale 1:1,000



NORWICH
 City Council

PLANNING SERVICES

Page 58 of 70



The site and surroundings

1. Located on the eastern side of St Stephens Road, between the junctions with Kingsley Road and Grove Road. The subject property is a terraced house with accommodation over four floors.
2. The frontage elevation is a grand Georgian terrace whilst the rear elevation to this property is more modest and relatively unaltered from its original form. The rear garden area is well laid-out and attractively landscaped, enhancing the setting of this Grade II Listed Building.

Constraints

3. Newmarket Road Conservation Area
4. Grade II statutory listed building, Description as follows:

“Terrace of six houses. Early C19. Yellow brick; slate roof; 2 brick ridge chimneys. 2 storeys and basement; 13 first-floor windows. End pilasters, 3 steps up to doors at right of each unit (Nos. 74 & 76, are blocked with C20 windows; Nos. 72 and 78 have access ramps), alternating with 16-pane sash windows under flat gauged brick arches, 6-panelled doors have cinque- foiled fanlights in recessed gauged brick round-headed arches. Rendered cornice below parapet.”

Relevant planning history

Ref	Proposal	Decision	Date
04/01050/F	Demolition of outbuildings and conversion of former Health Authority residential accommodation to nine terraced houses and nine flats together with sub-division of grounds for private and communal use, construction of garages, formation of an access road and ancillary works .	APPR	01/09/2006
04/01051/L	Demolition of outbuildings and conversion of former Health Authority residential accommodation to 9 terraced houses and 9 flats, together with subdivision of the grounds for private and communal use, construction of garages, formation of access road and ancillary works.	APPR	05/08/2005
14/00584/TCA	T1 Acer Crimson King: crown reduction by 1 metre; T2 Sycamore: crown reduction by 1 metre; T3 Carpinus Betulus: crown reduction by	No TPO Served	23/05/2014

Ref	Proposal	Decision	Date
	1 metre; T4 Prunus: crown reduction by 0.5 metre.		
14/00784/L	Installation of railings on front wall to match existing railings on front wall of 72-78 St Stephens Road.	APPR	14/07/2014

The proposal

5. The proposed development is for a single storey flat roofed rear extension with associated internal alterations to facilitate its use.

Summary information

Proposal	Key facts
Scale	
Total no. of dwellings	One (Existing)
No. of storeys	Single storey rear extension to existing 4 storey residential dwelling (Basement, ground, first and attic)
Max. dimensions	Extension - 4m long x 3.75m wide x 2.8m tall New associated boundary/parapet wall – 4.7m long x 3m tall
Appearance	
Materials	Brickwork to match existing, dark colour single ply membrane flat roof finish, powder coated aluminium fascia, steel beam detail. Powder coated aluminium glazed doors

Representations

6. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. Ten letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number. Following extensive negotiation with the applicant, the scheme has been substantially revised, re-consultation was carried out to direct neighbours and existing objectors only. This consultation period expired 9/10/2017.

Issues raised	Response
Material selection (Metal fascia detail, flat roof finish)	Main issue 2 Design
Out of character development/inappropriate design. Overdevelopment	Main issue 2 Design
Detrimental Impact to Grade 2 listed building Loss of original rear façade	Main issue 3 Heritage
Amenity - outlook	Main issue 5 Amenity

Consultation responses

7. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

8. **(In relation to previous scheme)** I consider the scale of the extension to be too great relative to the existing property and would suggest the internal dimensions are reduced to a proportion more in keeping with the existing ground floor living spaces ie reception room and kitchen. Realising the boundary and existing rear light well are the restrictions on width would give an extension with an internal dimension of approximately 3.0m W x 3.4m L.
9. The 'glass box' projecting from the side of the new extension is not considered appropriate as the shape is not in keeping with the rest of the property and is visually impactful on the rear elevation interest, namely the ground floor rear window and light well. I would suggest this element of the proposal is removed allowing for a simpler shape which is more in keeping with the rear of the property and historically contextual in form. I would welcome the concept of full height glazing of the two elevations facing into the garden.
10. Widening the opening between the existing kitchen and dining areas is to be resisted and was expressly agreed on site would not form part of any application. The removal of a section of rear elevation to form an opening between the existing kitchen and new extension is not considered appropriate as it is damaging to the historic floorplan and non-reversible. In addition no clear benefit is considered from this alteration.
11. I would suggest that twin 'nibs' are included within the proposal, as well as a substantial down-stand, outlining the enlarged opening between existing dining area and new extension. This would signify the historic intention and architectural interest of the rear elevation.
12. I also have concerns with the detail shown for rainwater disposal from the extension. It is very difficult for me to comment on the potential for any other changes proposed, or previously undertaken without the benefit or consent or permission, without

indication of the building prior to alteration ie the existing plans show no other area than the ground floor plan.

13. As previously stated; the window/light-well in the rear elevation and the boundary wall are the restrictions on the width of the proposal. Using the proportions (the ratio of depth to width) of the existing rooms within the ground floor of the house (drawing room and kitchen) and the likely construction methodology of the extension produces the dimensions as previously advised (approximately 3.4m deep x 3.0m wide). It has been stated by the applicants in the heritage impact assessment that the new extension will respect the form and character of the existing building. I suggest that the proportion of the spaces within the plan form is part of the character and that the methodology to determine the dimensions we have used is most appropriate.

In relation to amended scheme (For full consultation response, please refer to associated documents)

Acceptability of the proposals

14. Erection of single storey rear extension; the extension of this property has involved an extended period of negotiation between the local authority officers and the applicant/agent. The negotiation has involved significant amendment to the proposal concerning the form and mass of the extension. The shape has been simplified and scale reduced in order to comply with Historic England guidance as interpreted by the local authority officers.
15. The amended scheme shows clear distinction between the existing building and the extension using mostly modern materials. There is contextual use of materials (brick) in areas which impact most on adjacent properties. The dominant use of glass provides the benefit of a perceived lightweight and reversible structure.
16. Proportionally, the extension allows for a space that is respectful of the existing internal dimensions of the designated heritage asset, whilst being mindful of the impact upon the rhythm and cadence of the terrace.
17. Conditions will be required for; the material/s used for the roof structure and coverings, brickwork, brickwork bond and mortar, skylight, rainwater goods and doors/windows
18. Enlargement of current opening on ground floor; historically it is clear that this opening has been altered previously. Although further loss of potentially historic fabric is regrettable, the applicant has argued that the increased opening size will be better suited to the requirements of 'modern living' in that the kitchen/dining area has become the 'hub' of current family lifestyles. Aesthetically speaking, the increased size is proportionally accurate for the increased space the scheme proposes. The extension and increased ceiling height will provide a perception of larger volume to the existing dining/breakfast area.
19. It is suggested a condition should be applied stipulating a section of the opening, detailing its relationship to the rooms either side of the opening with particular note being given to the size of the 'nibs' and 'down-stand' prior to relevant works commencing.

20. Removal of ceiling down-stand within basement; this alteration to the building is welcomed as the existing arrangement does not provide for best use of the space. The existing arrangement is clearly not a historic feature and it is postulated to be as a result of a previous ill-advised scheme.
21. Creation of opening in rear elevation; the proposed scheme involves the removal of a rear window and section of brickwork to facilitate a larger opening between the extension and existing. The loss of historic fabric is regrettable but viewed as less than substantial harm, which is outweighed by the provision of enabling continued beneficial use.
22. It is suggested a condition should be applied requiring a section of the opening, detailing its relationship to the rooms either side of the opening with particular note being given to the size of the 'nibs' and 'down-stand' prior to relevant works commencing. It is suggested the existing brick lintels should be maintained if reasonably possible as an indication of the historic building form.
23. Installation of shower-room within roof-space (retrospective); the work that has been undertaken to the roof space does not benefit from listed building consent and this application seeks to 'regularise' this.
24. There is no indication of the space prior to the works having been undertaken and thus it is impossible to determine the extent of potential harm without invasive study. It is suggested that the works as viewed appear to have been undertaken to a standard that could be reasonably expected and the potential for substantial harm is low. If viewed as less than substantial harm, the benefit of increased usable space within the property is beneficial to its long term preservation.
25. Other associated refurbishment works; works as shown within the submitted details are considered to be reversals or improvements upon previously undertaken, ill-advised works and are thus considered to be enhancements of the architectural and/or historic interest of a designated heritage asset.

Assessment of planning considerations

Relevant development plan policies

26. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS2 Promoting good design
 - JCS11 Norwich city centre
27. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM9 Safeguarding Norwich's heritage
 - DM15 Safeguarding the city's housing stock

Other material considerations

28. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF6 Delivering a wide choice of high quality homes
- NPPF7 Requiring good design
- NPPF12 Conserving and enhancing the historic environment

Case Assessment

29. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

30. Key policies and NPPF paragraphs – DM12, NPPF paragraphs 49 and 14.
31. The principle of residential extensions is established and is acceptable in principle; whilst this property has not previously been extended, others within the same terrace have single storey rear extensions.

Main issue 2: Design

32. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 9, 17, 56 and 60-66.
33. The design of the proposed extension has been subject to significant negotiation and revision, the scheme as proposed is considered to be of an appropriate scale on both footprint and height in relation to the subject property.
34. The extension presents a primarily glazed façade enabling a clear reading of the external elevation from the rear curtilage.
35. The contemporary design and specification of powder coated aluminium doors and fascia are considered to be of a simple 21st century style, the selected colours complementing the buff brick work and slate roof of the rear of the property. The contemporary design is considered to be an appropriate style which shows the timeline of development, it is considered to be more appropriate than pastiche period design.
36. The dark single ply membrane used for the roof is considered an appropriate specification, and has been used on other listed buildings in Norwich.

Main issue 3: Heritage

37. Key policies and NPPF paragraphs – DM9, NPPF paragraphs 128-141.

38. Following negotiation, the loss of existing historic fabric has been reduced significantly. In addition, the amended scheme allows a better understanding of the original layout of the building and relates better to existing features such as windows.
39. The existing opening between the kitchen and existing dining room is to be widened 300mm each side, from 1.8m wide to 2.4m wide. This small alteration is not considered to cause significant harm to the statutory listed building. This loss of fabric does not require any further loss of fabric to the existing walls on the floor above, which the original scheme did. The demolition should be carried out by hand: this should be controlled by condition.
40. The existing rear door is to be removed and the opening enlarged, retaining a small nib of brickwork each side as negotiated by the city council's conservation officer. This is a small loss of fabric, which allows the reading of the original form to be recognised in the transition between old and new spaces. Demolition should be carried out by hand, which should be controlled by condition as above.

Main issue 4: Landscaping and open space

41. Key policies and NPPF paragraphs – DM3, DM8, NPPF paragraphs 9, 17 and 56.
42. The external amenity space is currently well laid out and maintained, the proposed extension relates well with the external space enhancing the potential enjoyment of this space. The proposed extension is not considered to have a negative impact on the external amenity space.

Main issue 5: Amenity

43. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
44. The proposed extension has been reduced in scale since the originally proposed scheme, in its currently proposed form it is not considered to cause detrimental impact to neighbouring occupiers with regards to overlooking or overshadowing impacts.
45. Issue has been raised with regards to negative impact on outlook due to the expanse of flat roof and the selected material. In response, this expanse has been reduced since the original submission, and also includes a small roof-light. The affected outlook is primarily from first floor side elevation windows of neighbouring properties into the private amenity space of the application dwelling. The area of roof and selected dark single ply membrane finish is not considered to have sufficient detrimental impact to the outlook of secondary rooms within neighbouring dwellings to warrant refusal or revision of this application.

Other matters

46. The following matters have been assessed and considered satisfactory and in accordance with relevant development plan policies, subject to appropriate conditions and mitigation:
47. Objectors have stated that the applicant does not need an extension of the size proposed. The 'need' for the extension is not for the planning process to regulate: the

planning process considers the wider impact upon the public interest including upon the subject and neighbouring properties and the impact in the wider area.

Equalities and diversity issues

48. There are no significant equality or diversity issues.

Local finance considerations

49. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
50. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
51. In this case local finance considerations are not considered to be material to the case.

Conclusion

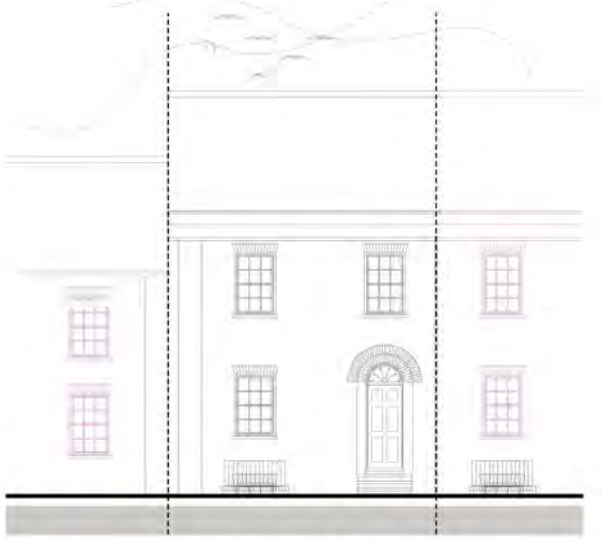
52. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

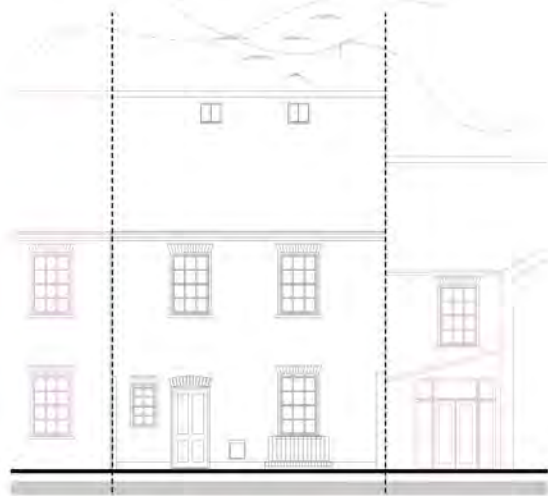
To approve:

- (1) application no. 17/00896/F - 68 St Stephens Road Norwich NR1 3RE and grant planning permission subject to the following conditions:
1. Standard time limit;
 2. In accordance with plans;
- (2) application no. 17/00902/F - 68 St Stephens Road, Norwich, NR1 3RE and grant Listed Building Consent subject to the following conditions:
1. Standard time limit;
 2. In accordance with plans;
 3. Details of materials: including brick sample & sample panel including brick bond and mortar, roof covering, fascia details, rainwater goods, specification of doors and rooflight.
 4. Demolition by hand to new opening to rear wall and enlargement of opening between existing kitchen and dining room.
 5. Section details of increased structural openings
 6. Listed building making good
 7. Stop works if unidentified features revealed.

Reason for approval - The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.



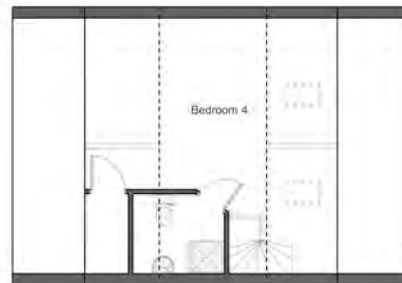
Front - West Elevation as Existing
1:100



Rear - East Elevation as Existing
1:100



First Floor Plan as Existing
1:100

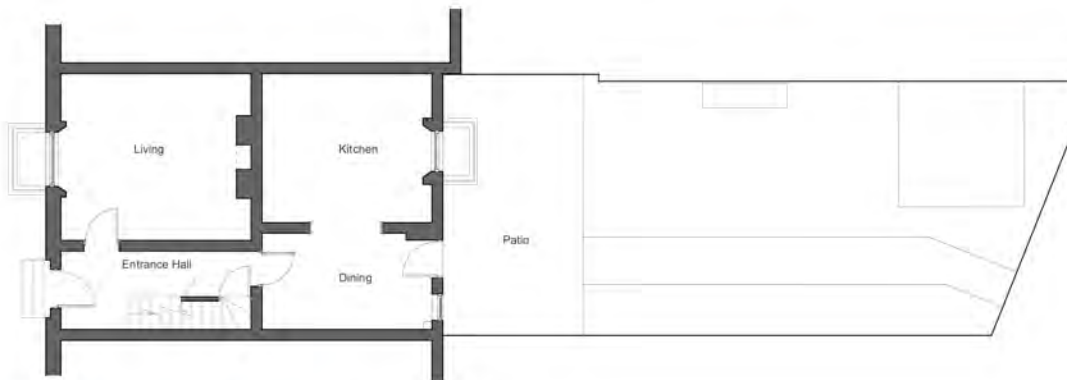


Attic Floor Plan as Existing
1:100

0 2 3 4 5 M



COPYRIGHT: This drawing must not be reproduced, loaned or copied without the consent of CAM Architects Limited. All errors, discrepancies should be reported to CAM Architects Limited immediately. All dimensions are to be checked before any site fabrication by the contractor or sub-contractors, specialist suppliers etc. Do not scale plans. Use only figured or grid dimensions. Any deviation from this drawing is to be reported to CAM Architects Limited immediately. This drawing has been prepared for the following purposes and does not constitute use for any other purpose: Planning Application



Ground Floor Plan as Existing
1:100

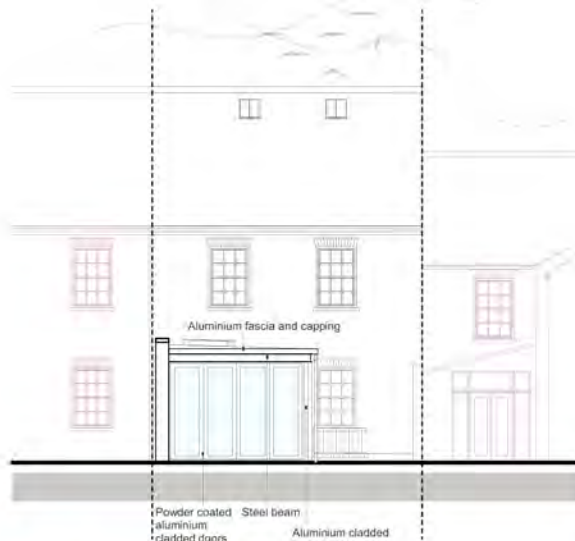


Basement Floor Plan as Existing
1:100

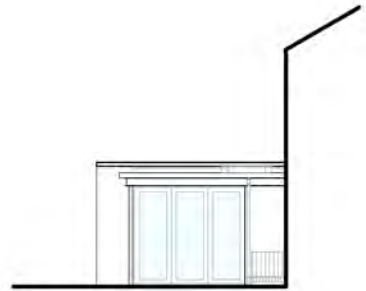
REV B: 17-07-17: Assoc floor plan updated		
REV A: 19-05-17: Basement and First Floor Plans Added		
CAM ARCHITECTS <small>Studio: 103 Westgate Road, 3rd Floor, Norwich, NR1 3RE Tel: 01603 658111 info@camarchitects.co.uk - www.camarchitects.co.uk</small>		
Client Ms Michelle Nadler		
Project Details Rear Extension and Internal Alterations to Ground Floor to Residential Property		
Project Address 68 St Stephens Rd NORWICH, NR1 3RE		
Drawing Title Floor Plans and Elevations as Existing		
Job No: 1431	Drawing Number: 1431-A-PL02	
Date: 17-07-17	Scale: 1:100 @A2	Revision: B
Drawn: EA	Checked: EA	CSO Date: 25-05-17



Schematic section A as Proposed
1:100



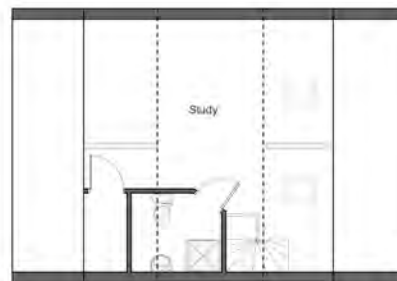
Rear - East Elevation as Proposed
1:100



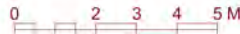
Side - North Elevation as Proposed
1:100



First Floor Plan as Proposed
1:100



Attic Floor Plan as Proposed
1:100



COPYRIGHT: This drawing must not be misused, loaned or copied without the consent of CAM Architects Limited. All errors, discrepancies should be reported to CAM Architects Limited immediately. All dimensions are to be checked, before any site fabrication by the contractor or sub-contractors specialist suppliers etc. Do not scale plans. Use only figured or grid dimensions. Any deviation from this drawing is to be reported to CAM Architects Limited immediately. This drawing has been prepared for the following purposes and does not constitute use for any other purpose: Planning Application

REV C: 04/09/17 Scheme amended as per Design Officer sketch
REV B: 07/07/17 Scheme amended to respond to Conservation and Design Officer
REV A: 18/05/17 Basement and First Floor Plans Added, Notes added



Studio 112 Northampton Road, 112 King Street, Norwich NR1 1JH
Tel: 01603 466111
www.camarchitects.co.uk

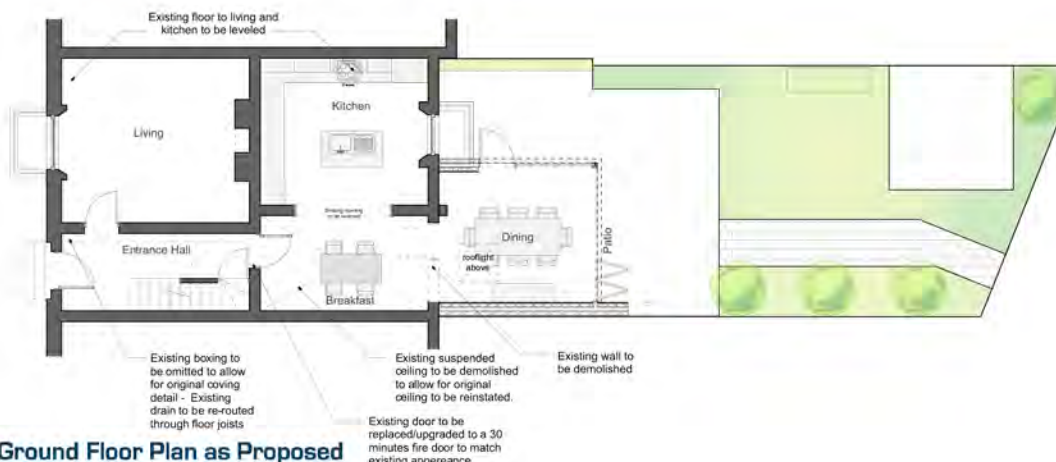
Client
Ms Michelle Nadler

Project Details
Rear Extension and Internal Alterations to Ground Floor to Residential Property

Project Address
68 St. Stephens Rd
NORWICH, NR1 3RE

Drawing Title
Ground Floor Plan and Elevations as Proposed

Job No. 1431	Drawing Number 1431-A-PL03	Revision C
Date 04/09/17	Scale 1:100 @A2	CSO Date 25/05/17
Drawn EA	Checked EA	



Ground Floor Plan as Proposed
1:100



Basement Floor Plan as Proposed
1:100

