

Report to Planning applications committee

Item

8 August 2019

Report of Head of planning services

Subject Application no 19/00242/MA - Flordon House, 195
Unthank Road, Norwich, NR2 2PQ

**Reason
for referral** Objections

4(b)

Ward:	Nelson
Case officer	Charlotte Hounsell - charlottehounsell@norwich.gov.uk

Development proposal		
Material amendment to previous permission 17/01791/F to allow a revised rear elevation and layout.		
Representations		
Object	Comment	Support
3	0	0

Main issues	Key considerations
1	Design
2	Amenity
3	Landscaping
4	Transport
5	Flooding
Expiry date	12 April 2019
Recommendation	Approve



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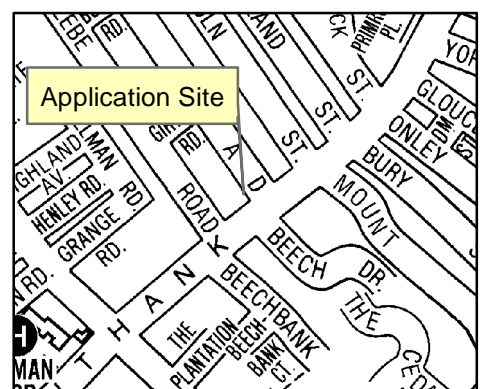
Planning Application No 19/00242/MA
Site Address 195 Unthank Road

Scale 1:1,000



NORWICH
City Council

PLANNING SERVICES



The site and surroundings

1. The subject property is located on the North East side of Unthank Road, West of the City Centre. The property was previously a detached three-storey dwelling built circa 1900 and is constructed of cream rendered finish and clay roof tiles. Permission was granted in 2017 for the conversion of the property to five flats. At the front of the property is a garden space separated from the highway by a boundary wall. Access to the main property is via a front door and a side access on the South West elevation. At the rear of the property is a small garden with steps up to an existing parking area which can also be accessed via an alley/road from College Road and Glebe Road. The rear parking area is at a significantly higher ground level than the garden space. The properties in the surrounding area are a mix of Victorian semi-detached or terraced houses.

Constraints

2. The property is located within the Unthank and Christchurch Conservation Area
3. The property is locally listed
4. The property is located within a critical drainage area

Relevant planning history

5.

Ref	Proposal	Decision	Date
4/2003/0392	Extension and conversion of nursing home into 12 flats.	WDA	23/05/2003
03/00017/F	Conversion from nursing home into 16 student bed-sits.	REF	19/09/2003
03/00022/F	Conversion of nursing home into 6 bedsits and 6 flats.	REF	19/09/2003
04/00109/U	Change of use from care home to private dwelling.	APPR	10/03/2004
04/00520/F	Construction of pitched roofs & external alterations at rear, and alterations to car port/garage.	APPR	27/07/2004
07/00791/C	Demolition of existing gate brick piers and replacement with new brick piers.	APPRET	23/08/2007
16/00227/F	Conversion of office and dwelling to 5 No. flats and associated alterations.	APPR	19/07/2016
16/01402/NM	Non-material amendments to previous permission 16/00227/F to allow internal	REF	17/11/2016

Ref	Proposal	Decision	Date
A	layout alterations to facilitate load bearing walls. 2 No. roof lights to front elevation and 2 No. windows to side elevation.		
17/01791/F	Conversion and extension to create 5 No. apartments and demolition of rear garage.	APPR	15/02/2018
18/01846/VC	Variation of Condition 3: landscaping and Condition 5: bicycle, refuse and recycling of previous permission 17/01791/F to amend the rear elevations and minor reduction to rear extension.	CANCLD	19/12/2018
19/00240/D	Details of Condition 3: landscaping; Condition 4: SUDs and Condition 5: bicycle/refuse storage of previous permission 17/01791/F.	WITHDN	21/05/2019

The proposal

6. This application proposes amendments to application 17/01791/F. The amendments are as follows:
 - a) Changes to internal layout
 - b) Amended plans to show correct placement of windows
 - c) Removal of rear extension and subterranean living accommodation
 - d) Changes to layout of parking and garden spaces
 - e) Changes to rear elevation windows and green wall
 - f) Replacement side extension
7. The principle of converting the property into 5 flats has already been considered acceptable under 17/01791/F. Therefore the purpose of this application is to consider the amendments only.
8. It should be noted that application 17/01791/F was subject to a number of pre-commencement conditions. The permission has been implemented without discharging conditions. Following discussions with the applicant, this material amendment application has been submitted to regularise some changes that have already taken place and to formalise proposed amendments to the scheme.
9. Officers raised concerns with the originally submitted information and revised plans were submitted to address these concerns. The assessment below is based upon the revised plans only.

Summary information

Proposal	Key facts
Scale	
Total no. of dwellings	5
No. of storeys	3
Appearance	
Materials	Rear windows – white uPVC
Transport matters	
Vehicular access	Existing access via small alleyway that links College Road and Glebe Road behind the houses on Unthank Road.
No of car parking spaces	Five spaces provided at the rear of the site
No of cycle parking spaces	Five occupier cycle spaces in rear store 3 visitor spaces to the front of the site
Servicing arrangements	Bin store area to front of site.

Representations

10. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 3 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
The new proposal would create 6 flats	The application does not propose to make any changes to the number of flats compared with the approved scheme 17/01791/F.
Overall reduction in design quality	See Main Issue 1
Change in window material dilutes the design quality	See Main Issue 1
Substantial internal changes would no longer allow for disabled access	See Main Issue 1

If the side extension becomes inhabited this would result in loss of privacy	See Main Issue 2
Increase traffic in the access alley will result in harm to amenity	See Main Issue 2
The car parking arrangement is compromised and would result in light and noise pollution to neighbours. Insufficient space for parking and cycle storage.	See Main Issue 2 and 3
The proposal no longer includes a green wall	See Main Issue 4
Confusion over who would manage the garden areas	See Main Issue 4
Insufficient number of bins and bin storage	See Main Issue 4
Inappropriate hard surfaces	See Main Issue 5
The previously approved SUDS have not been incorporated	See Main Issue 5
More preferable scheme to the one previously approved	Noted.
Confusion over the different application types that have been submitted	An application was submitted to discharge the conditions attached to 17/01791/F (Ref: 19/00240/D). After review of the submitted information, officers concluded that there were material changes to the scheme. Application 19/00242/MA was submitted to deal with these changes and the conditions from 17/01791/F. Accordingly, application 19/00240/D was withdrawn.
Incorrect 'approved' drawings have been provided and incorrect number of windows shown on elevations	Amended drawings have now been provided to accurately reflect the existing building and the proposals.
There is no party wall agreement in place.	The Party Wall Act is separate from the planning process and therefore this issue has not been considered further.
Disturbance from construction has been ongoing for a significant period	This is not a major construction scheme and such disturbance would not be considered sufficient to withhold consent.

Consultation responses

11. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Citywide Service

12. 6 x 360 (3 waste and 3 recycling should cover), with provision for a 7th bin to meet demand if realised? Hopefully a recycling one.

Design and Conservation

13. This is not an application that I intend to provide conservation and design officer comments on because it does not appear on the basis of the application description to require our specialist conservation and design expertise. This should not be interpreted as a judgement about the acceptability or otherwise of the proposal.

Highways (local)

14. No objection on highway grounds. The proposed car parking layout, design and cycle store appears satisfactory in principle. Please can you ensure that there are tethers within the cycle store e.g. floor mounted sheffield stands. Otherwise cycles can be easily stolen if the lock is broken.

Landscape

15. The green wall no longer forms part of the proposal. The proposed planting bed at the rear wall may cause some maintenance issue but is wide enough for lower planting and climbers. Natural green screens could be used as an alternative. Effective greening is required for the rear elevation and should constitute more than clematis. Further planting suggestions to improve the front garden.

Private Sector Housing

16. No comments received

Assessment of planning considerations

Relevant development plan policies

17. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS3 Energy and water
 - JCS4 Housing delivery
18. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
- DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design

- DM5 Planning effectively for flood resilience
- DM6 Protecting and enhancing the natural environment
- DM9 Safeguarding Norwich's heritage
- DM12 Ensuring well-planned housing development
- DM13 Communal development and multiple occupation
- DM28 Encouraging sustainable travel
- DM30 Access and highway safety
- DM31 Car parking and servicing

Other material considerations

19. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF1 Achieving sustainable development
- NPPF5 Delivering a sufficient supply of homes
- NPPF8 Promoting healthy and safe communities
- NPPF12 Achieving well-designed places
- NPPF14 Meeting the challenge of climate change, flooding and coastal change
- NPPF16 Conserving and enhancing the historic environment

Case Assessment

20. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Design and Heritage

21. Key policies and NPPF paragraphs – JCS2, DM3, DM9 NPPF 8, 12 and 16
22. Changes to the external appearance of the site include alterations to window design and materials, removal of the rear extension and subterranean living accommodation and a replacement single storey side extension. Concerns were raised that the amended scheme results in an overall reduction in design quality.
23. The proposed replacement windows within the rear elevation of the building were originally proposed as aluminium windows. The amended scheme proposes white uPVC windows of a more standard design. Although the building is locally listed, and uPVC is considered to be a lower quality material than aluminium, the use of this material in this instance is considered acceptable given it would be used on the less sensitive rear elevation of the building, and that many other properties in the surrounding area have also used this material.
24. The removal of the extension and subterranean accommodation is not considered to be significantly detrimental to the character of the building or the surrounding

area as the rear garden area of the site would essentially remain in its existing condition.

25. Concerns over the loss of planting quality have been assessed in Main Issue 4.
26. Concerns were also raised that the changes to the internal layout meant that the properties would no longer have disabled access. In accordance with policy DM12, only schemes providing 10 or more dwellings are required to be built to Lifetime Homes standards. However, accessibility of new properties is covered by Building Regulations under a separate process to the planning process.
27. It should be noted that the amended scheme does not propose any changes to the more sensitive front elevation of the building.

Main issue 2: Amenity

28. Key policies and NPPF paragraphs – DM2, DM11, NPPF 8 and 12
29. The proposal includes alterations to the interior of the flats. Interior walls are located in different places and rooms have been fitted out for different purposes to the approved plans. In addition, Flat 1 (rear ground floor) is proposed to be reduced in size and without extensions into the garden. Upon visiting the site, officers were satisfied with the internal layout of the flats which had already been completed or were mid-way through construction. Furthermore, the amended layout and sizes of the flats complies with requirements of the National Space Standards. The amount of garden space to be provided is greater than shown in the approved scheme. Therefore future occupiers are considered to benefit from an appropriate standard of amenity.
30. Representations raised concerns regarding the insertion of new windows within the side elevations of the building which could result in additional overlooking. No new windows have been inserted within the sides of the building and photographs prior to construction works have been provided to demonstrate this. The previously approved plans did not include these windows and were therefore incorrect. The amended plans have been updated and show the correct window positions.
31. Under application 17/01791/F, an existing side extension was proposed to be demolished. On site, this side extension has been replaced with a timber clad lean-to extension and is included on the amended plans. Concerns were raised that this area was to become inhabited which would result in a loss of privacy to neighbouring occupiers. This space is not shown as habitable internal space on the approved plans and is therefore not considered to give rise to any additional amenity impacts. Any alteration of this area to form internal living space in future would be in breach of the permission (should it be granted) and would be investigated as an enforcement matter.
32. Representations were also concerned with the amended parking layout at the rear of the site (discussed in more detail in Main Issue 3) and the impact this would have upon neighbour amenity in terms of noise and light pollution. The principle of using this area for parking was already established when the property was a single dwelling. Four parking spaces were approved in this area under 17/01791/F. The provision of one additional parking space is not considered to create any significant additional amenity impacts. Furthermore, the location of boundary walls and

provision of boundary planting to this area is considered sufficient to reduce significant light pollution from headlights.

33. Therefore the proposal is not considered to have an unacceptable impact on neighbouring amenity compared with the approved scheme under 17/01791/F.

Main issue 3: Transport

34. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, NPPF 8 and 12
35. The amended plans show a new layout to the parking area at the rear of the site. Concerns were raised that the layout was inappropriate and would not allow for cycle parking in this area. Revised plans have been submitted showing an updated parking layout which is more appropriate and also creates space to provide secure cycle storage for residents.
36. There was no objection from the Transportation Officer.

Main issue 4: Landscaping and open space

37. Key policies and NPPF paragraphs – DM3, DM8, NPPF 8 and 12
38. The previously approved scheme included a green wall to the rear elevation of the building. This was included to contribute towards sustainable drainage of the site and was considered to offer additional privacy to the rear elevation windows. The green wall is no longer proposed as part of the scheme and instead wisteria plants have been proposed. Whilst it is a shame that this feature has been removed, this is considered acceptable when balanced against the removal of the rear extension (and therefore the reduced emphasis on dealing with additional surface water on site (See Main Issue 5)).
39. Alterations have also been made to the front garden space including a different path and planting layout, provision of a bin store and visitor cycle spaces. The landscape officer has raised concerns that the choice of plants to the front of the site is unusual. In this case the planting is considered to improve the appearance of the site and unusual plant choice does not warrant a reason for refusal. It should also be noted that after the five year period specified with the landscaping condition (which requires that plants be managed, maintained and replaced should they die during this timeframe) there will be little planning control over the condition of the front garden.
40. Concerns were raised that it was not clear who would be responsible for the management and maintenance of the garden spaces. The revised layout plan now includes annotations that the ground floor flats will be responsible for the management of the garden spaces.
41. Representations were also concerned that the site did not appear to provide for a sufficient number of bins and a storage area. Officers were also concerned that the proposed bin store would be visible within the streetscene and would detract from the front elevation of the building. It has been confirmed by Citywide Services that an appropriate number of bins can be provided within the store. In addition, given the erection of replacement front boundary fencing, the bin store is unlikely to be overly prominent within the streetscene. Furthermore, locating the bins at the front of the site improves refuse collection arrangements.

Main issue 5: Flood risk

42. Key policies and NPPF paragraphs – JCS1, DM5, NPPF 14
43. The approved scheme included a number of sustainable drainage measures, including, new landscaping, permeable paving, green roof, permeable paving and an infiltration trench. These measures were considered important given the levels of the site and the extension to the rear.
44. Within the amended scheme, a number of these measures are no longer proposed such as the green roof and wall and infiltration trench. The scheme still includes planting (discussed in Main Issue 4), permeable paving. Although it is a shame that some of these measures will no longer be included, given that the scheme no longer proposes an extension to the rear of the site, there is a reduced emphasis on dealing with additional surface water on site. Therefore, these measures are considered acceptable.

Equalities and diversity issues

45. There are no significant equality or diversity issues.

Local finance considerations

46. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
47. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
48. In this case local finance considerations are not considered to be material to the case.

Conclusion

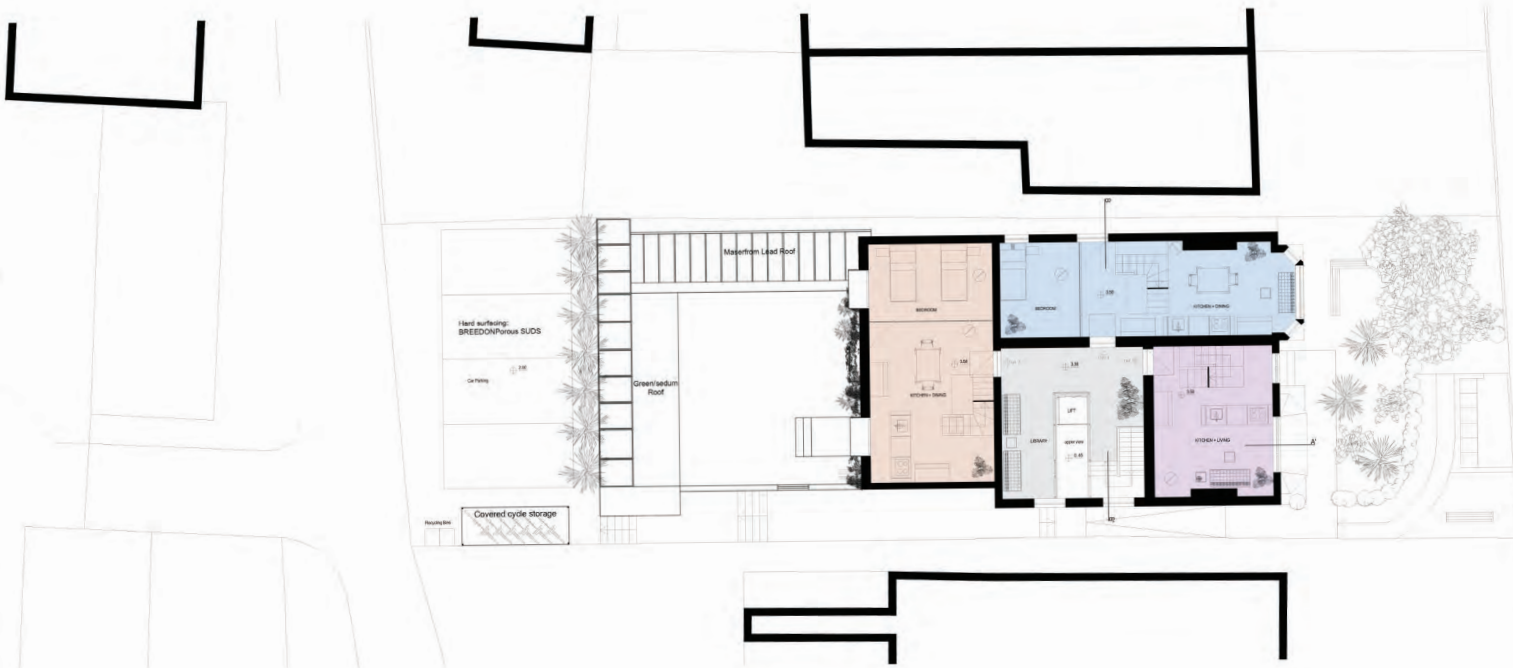
49. The principle of development has already been considered acceptable under application 17/01791/F. The amended scheme results in a number of changes to the design, layout and landscaping of the site. It is acknowledged that there is a loss of some of the beneficial features that were included in the previous permission, such as the green wall and use of aluminium windows. However, on balance, these changes are considered acceptable. In addition, the removal of the rear extension and the replacement of the side extension is not considered to be significantly detrimental to the character of the main building or the surrounding area. Whilst the internal alterations change the size and layout of the flats, these would still be of an appropriate size and future occupiers would benefit from a good standard of amenity overall.
50. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 19/00242/MA - Flordon House, 195 Unthank Road, Norwich, NR2 2PQ and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Management and maintenance of landscaping
4. Installation and retention of bin and bike storage
5. Water efficiency
6. Parking made available prior to first occupation

Disclaimer:
This drawing is to be used in conjunction
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No guarantee is made that the information
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FIRST FLOOR

PROPOSED PLANS
1:100 on A1



GROUND FLOOR

- FLAT 01 - 3 BED - 112 m2
- FLAT 02 - 2 BED - 81 m2
- FLAT 03 - 2 BEDROOMS - 81 m2
- FLAT 04 - 2 BEDROOMS - 77 m2
- FLAT 05 - 2 BEDROOMS - 94 m2

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Company No 10885979

PROPOSED PLANS
1:100 on A1

- FLAT 01 - 3 BED - 112 m²
- FLAT 02 - 2 BED - 81 m²
- FLAT 03 - 2 BEDROOMS - 81 m²
- FLAT 04 - 2 BEDROOMS - 77 m²
- FLAT 05 - 2 BEDROOMS - 94 m²

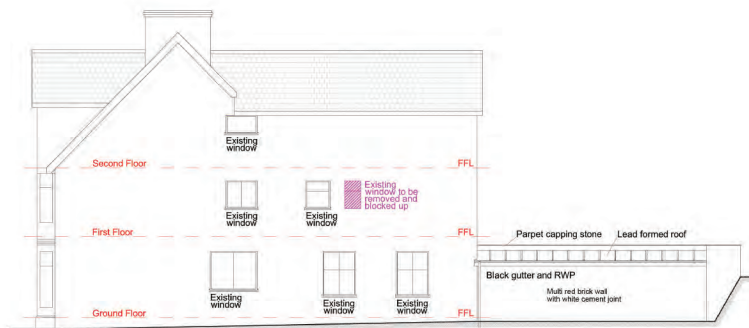
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ROOF LEVEL

SECOND FLOOR

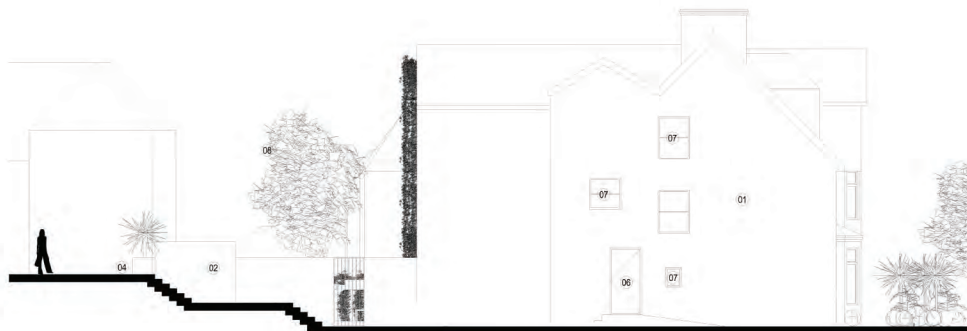
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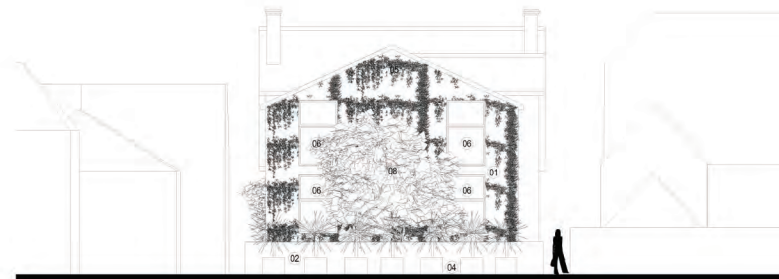
ELEVATION NE



ELEVATION SE



ELEVATION SW



ELEVATION NW

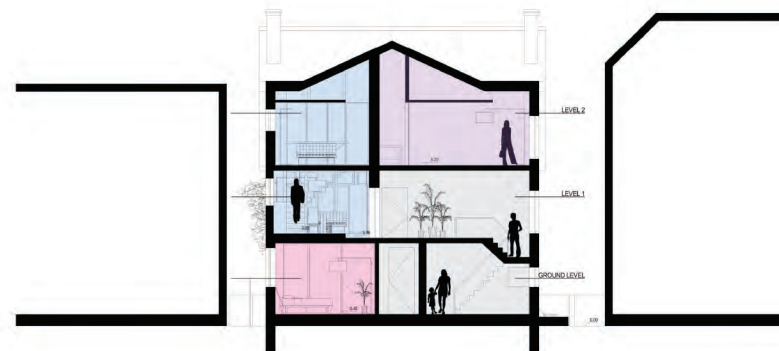
PROPOSED ELEVATIONS
& SECTIONS
1:100 on A1

- 01 Existing painted walls to be painted with heritage approved pigment (French gray)
- 02 Multi-red brick
- 03 Green roof sedum blanket
- 04 Breckon aggregate
- 05 Stainless steel wired trellis with evergreen climbers
- 06 New windows / doors with steel frame cristall style with polyester coating deep gray
- 07 Existing windows / doors with new joinery hardwood white
- 08 New Silver Birch (Betula Pendula)

- FLAT 01 - 3 BED - 112 m²
- FLAT 02 - 2 BED - 81 m²
- FLAT 03 - 2 BEDROOMS - 81 m²
- FLAT 04 - 2 BEDROOMS - 77 m²
- FLAT 05 - 2 BEDROOMS - 94 m²



SECTION AA



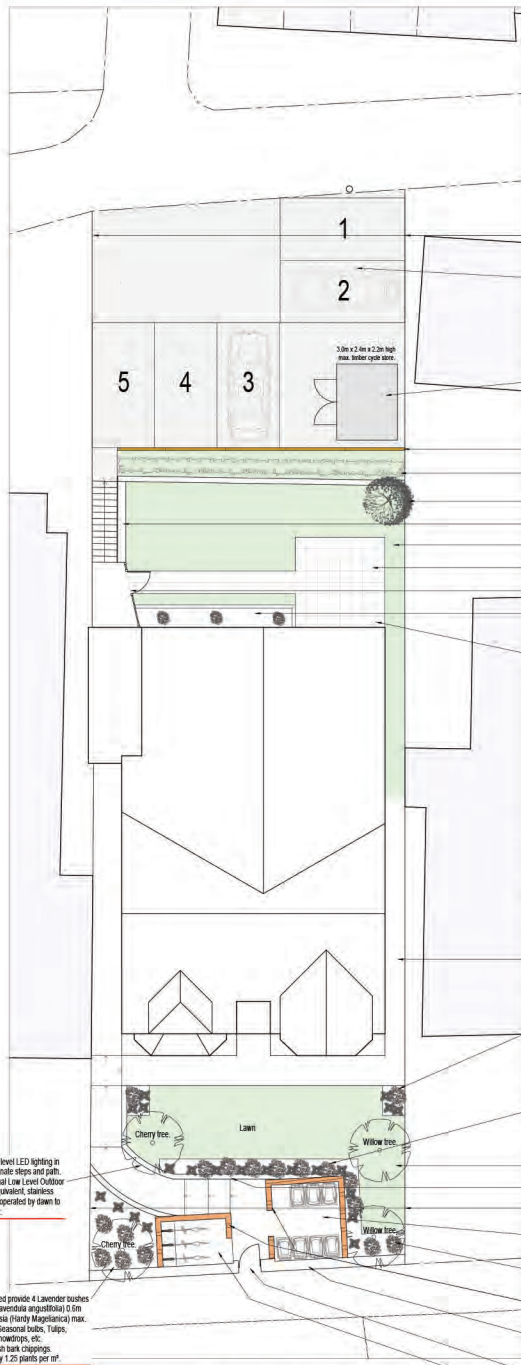
SECTION BB

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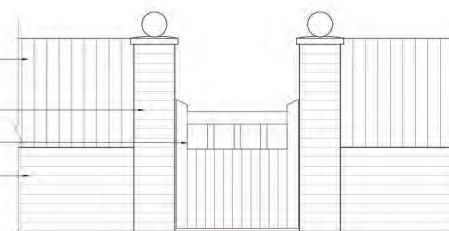
Company No 10885979

DRAWING
05
REVISION 03 3/18
0 5 1
4m



SITE PLAN 1:100

Retain/repair existing timber fence to match existing.
Reinstate gate and brick piers to previous design.
Brick piers built in red facing brickwork 328 x 328 stone coping with lead finish.
Timber gate stained to match fence.
Existing boundary wall to be retained.
Repair/ rebuild part to match existing.



REPLACEMENT BRICK PIERS AND GATE 1:20

Regular trimming to contain plants to approx. sizes.

Plant pot sizes at time of planting:
Lavender bushes "Hidcole" (Lavandula angustifolia) 5 litre
Fuchsia (Fuchsia Magnifica) 2 litre
Lupine (Lupinus) 2 litre
Buddleia 2 litre

Gardens are hardy and low maintenance.
Seasonal maintenance for the appearance of the hard landscaping shall take place 4 times a year including the removal of weeds and fallen leaves. The above shall continue from occupation for 5 years as a minimum.

Regular trimming to contain plants to approx. sizes.

External paths - Marshalls Driveline Nova in grey laid and installed in accordance with manufacturers instructions to ensure a permeable surface finish. Retained by timber sleepers.

To corner beds provide 3 Lavender bushes "Hidcole" (Lavandula angustifolia) 1.5m high 2 Fuchsia (Hardy Magnifica) max. 1.2m high.
Seasonal bulbs, Tulips, Daffodils, Snowdrops, etc.
Surface finish bark chippings.
Plant density 4 per m².

To screen pathway and ban store Lavender bushes "Hidcole" (Lavandula angustifolia) 1.5m high planted at intervals of 1m, 3 Buddleia bushes (Buddleia davidii) between lavender bushes (planted 1.5m high & 1.5m wide), 3 Lupine (Lupinus) in around the bushes (planted 1.5m high), 3 Fuchsia (Hardy Magnifica) max. 1.2m high. Seasonal bulbs, Tulips, Daffodils, Snowdrops, etc.
The planting will encourage wildlife including butterflies and bees.
Surface finish bark chippings.
Plant density 2.5 per m².

Front garden managed by Fial 2.

Provide coping stone to top of low garden walls, use Marshalls Richmond Grey slabs.
Retain all existing boundaries.

Refuse and recycling store to house min. 700L communal 950 litre wheeled bins. Also for recycling and 300L for general waste.

Refill part excavated area and provide cherry tree.
Provide 2 Fuchsia (Hardy Magnifica) max. 1.2m high. Seasonal bulbs, Tulips, Daffodils, Snowdrops, etc. Surface finish bark chippings.

Walls clad with larch boarding - height to be below existing wall.

Existing boundary wall to be retained. Retain/replace/repair existing timber fence above to screen cycle and refuse/recycling store.

Reinstate gate and brick piers to previous design.

Visitor cycle parking using metal 'Y' clamps bolted to wall.

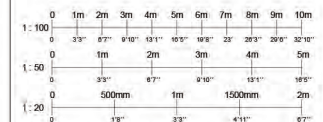


CYCLE STORE ELEVATIONS 1:50

3.0m x 2.4m x 2.2m high max. secure timber cycle store for 5 bicycles.

General Notes

- This drawing must not be scaled and if in doubt ask.
- All Contractors are to check all dimensions & levels on site prior to commencing any construction or fabrication.
- This drawing to be checked and read in conjunction with all Engineers, Architectural, Services Engineers and any specialist drawings, together with any relevant additional Engineers' specifications.
- Where site information or existing building details are contrary to issued details then the Engineer is to be informed immediately.
- No structural members are to be cut, reduced, or perforated unless shown on the Engineers' details. Unless otherwise noted all connections of structural members including beams & anchorage of reinforcement shall be capable of mobilising the full structural capacity of the member.
- All test connections to have a minimum of 2 loads.
- The foundations have been designed on ultimate ground pressure of 100 kN/m² & shall not be confirmed on site before casting of foundations. Unless informed to the contrary in writing it has been assumed that the sub-soil is not a clay soil but a sand/gravel mixture of 70% sand & 30% gravel & that there is no possibility of heave or shrinkage.
- Under the provisions of the Party Wall etc. Act 1996 if the excavations are within 3m of adjacent buildings written agreement for the works from the owner & the tenant (if applicable) of adjacent buildings must be obtained before building works commence & one month's notice must be given before building works commence. If the work applies to the party wall two month's notice must be given. Note: If foundations are deeper than normal a further notice may have to be given & agreement received. Note: If foundations, soffits, gutters, etc. encroach across the boundary a written agreement from the owner of the adjoining level buildings must be obtained & the boundary agreed before building works commence.
- The Construction (Design & Management) Regulations 2015.
The client must make suitable arrangements for managing the project, including the allocation of sufficient time and resources.
a. The construction work can be carried out (or for as reasonably practicable) without risk to the health and safety of any person affected by the project.
The client must provide any construction information to the designer and contractor.
These arrangements must be reviewed and maintained throughout the project.
The client must ensure that a construction phase plan is in place before the construction phase starts.
The client must ensure that the principal designer prepares a health and safety file for the project which is suitable, regularly updated and is available for inspection.
The client must take reasonable steps to ensure that the principal designer and contractor comply with their duties.
The client must pass the health and safety file to any new owner(s) (projector(s)) and ensure that the new owner(s) (projector(s)) is aware of the value and purpose of the file.
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Rev	Date	Amendment	Dwn
F	19/07/2019	Plant pot sizes added for indication of planted size.	PB
E	11/07/2019	Ground anchors added to cycle store. Planting details added. Paths detailed as brick paving.	PB
D	25/06/2019	Gate changed to timber, path finish changed to slabs.	PB
C	21/06/2019	Parking spaces numbered to relate to flat numbers. Brick piers and gate detail added. Paths amended to block paving. External lighting details added. Visitor cycle parking area amended.	PB
B	20/05/2019	Amended landscaping front and rear, and parking.	PB
A	17/04/2019	Rear extension details added. Additional details added as highlighted.	PB

Architectural Design,
Building Surveyors and
Planning Services

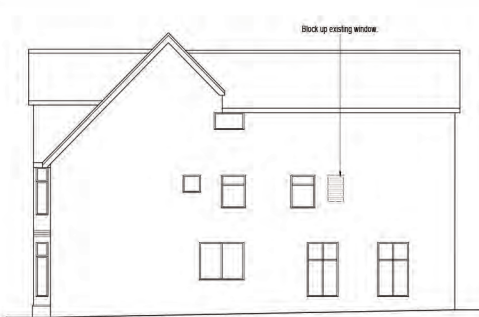
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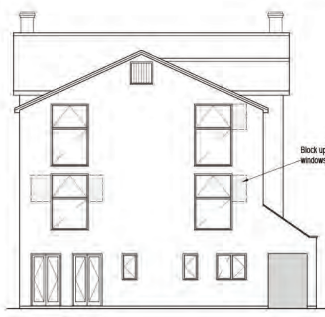
Client:	Lionheart Properties Limited
Project:	Application to Satisfy Planning Conditions
Site address:	Fordon House 185 Unthank Road Norwich NR2 2PQ
Contents	Proposed Site Plan Cycle Store Elevations Replacement Piers & Gate
Scale: A1: 1:50, 1:100,	Date: February 2019
Signed/checked: P.B./J.N.	Revision: F
Project No: 3342.0219N	Sheet No: 1



SOUTH EAST
ELEVATIONS 1:100



NORTH EAST



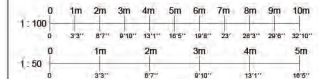
NORTH WEST



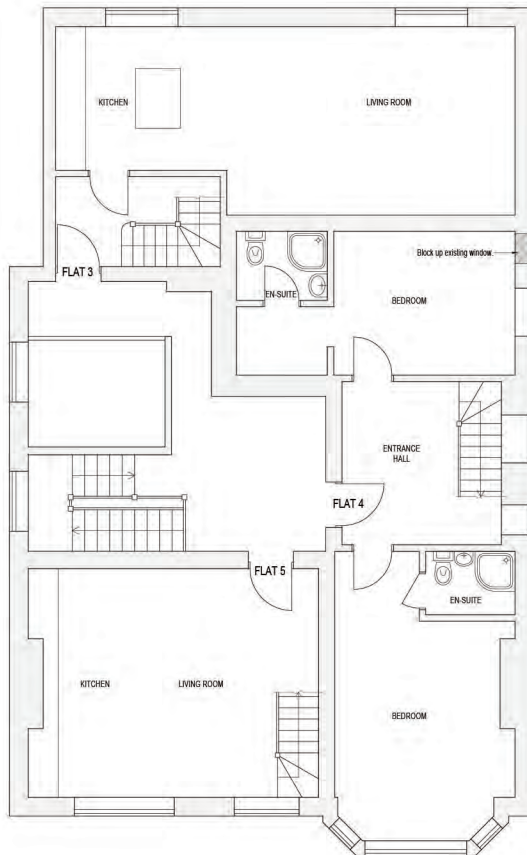
SOUTH WEST

General Notes

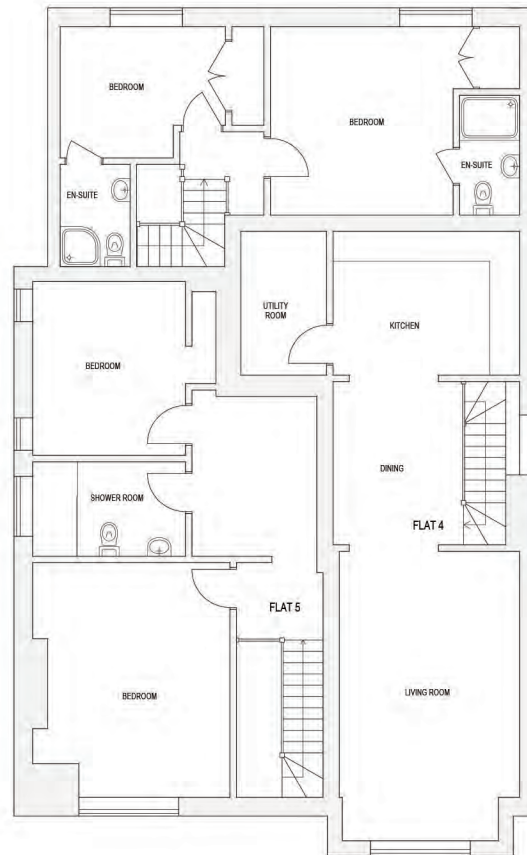
1. This drawing must not be scaled and if in doubt ask.
2. All Contractors are to check all dimensions & levels on site prior to commencing any construction or fabrication.
3. This drawing is to be checked and read in conjunction with all Engineers, Architectural, Services Engineers and any specialist drawings, together with any relevant additional Engineers' specifications.
4. Where site information or adjoining building details are contrary to issued details then the Engineer is to be informed immediately.
5. No structural members are to be cut, fractured, or joined unless shown on the Engineers details. Unless otherwise noted all connections of structural members including beams & arrangements of reinforcement shall be capable of maintaining the full structural capacity of the member.
6. All load connections to have a minimum of 2 bolts.
7. The foundations have been designed for ultimate ground pressure of 100 kN/m² & shall must be confirmed on site before casting of foundations. Unless informed to the contrary in writing it has been assumed that the sub-soil is dry and that the soil has been compacted to 95% & that there is no possibility of heave or shrinkage.
8. Under the provisions of the Party Wall etc Act 1996 if the excavations are within 3m of adjacent buildings written agreement for the works from the owner & the tenant (if applicable) of adjacent buildings must be obtained before building works commence & one month's notice must be given before building works commence. If the work applies to the party wall two month's notice must be given. Note: If foundations are deeper than normal a further notice may have to be given & agreement received. Note: If foundations, soffits, gutters, etc encroach across the boundary a written agreement from the owner of the adjoining land/buildings must be obtained & the boundary agreed before building works commence.
9. The Construction (Design & Management) Regulations 2015.
The client must make suitable arrangements for managing the project, including the allocation of sufficient time and resources.
a. The construction work can be carried out (so far as reasonably practicable) without risks to the health and safety of any person affected by the project.
b. If not suitable written facilities are provided.
These arrangements must be reviewed and maintained throughout the project.
The client must provide any construction information to the designer and contractor.
The client must ensure that a construction phase plan is in place before the construction phase starts.
The client must ensure that the principal designer prepares a health and safety file for the project which is suitable, regularly updated and is available for inspection.
The client must take reasonable steps to ensure that the principal designer and contractor comply with their duties.
The client must pass the health and safety file to any new owner(s) (owner(s)) and ensure that the new owner(s) (owner(s)) is aware of the nature and purpose of the file.
10. This drawing is Copyright to Building Plans Ltd.



GROUND FLOOR 1:50



FIRST FLOOR 1:50



SECOND FLOOR 1:50

A	11/02/2019	Elevations added.	PB
Rev	Date	Amendment	Dwn



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Client:	Lionheart Properties Limited
Project:	Application to Satisfy Planning Conditions
Site address:	Fordon House 185 Unbank Road Norwich NR2 2PQ
Contents	Floor Plans Elevations
Scale @ A1:	1:50, 1:100,
Date:	June 2019
Signed/checked:	PB/JLN
Revision:	A
Project No:	3342.0219N
Sheet No:	3