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# ST ANNE'S QUARTER, NORWICH

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SECTION 73 - DESIGN AND ACCESS STATEMENT  
DECEMBER 2016

Vision, form and function

Ingleton  
Wood

# ST ANNE'S QUARTER, NORWICH

31359

## SECTION 73 APPLICATION CHANGES

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Date: December 2016  
Status: Issued

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# 1.0 INTRODUCTION AND PURPOSE OF DOCUMENT

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This document is submitted in support of a Section 73 Application to vary Condition 32 of Planning Application Ref consent ref. 04/00605/F. This submission follows an application for Non-Material Amendment (ref 16/01036/NMA) submitted on 11th July and the application, approved by NCC on 18th November 2016.

The need for a Section 73 application has been discussed with representatives of the planning department of Norwich City Council, following discussion on minor changes to the scheme, required by the developer of the site, Orbit Homes. Orbit Homes (2020) Ltd changes proposed are largely required to improve liability of residential units, increase market appeal and address buildability issues with the consented design.

The degree of changes required was deemed to be beyond the remit of an NMA application, but of insufficient degree of change to require a new full application. A section 73 application has been deemed the most appropriate method by which planning amendments may be considered to ensure the lawful development of the revised scheme in planning terms.

The purpose of this document is to provide clarity and narrative on the proposed changes to the scheme and where relevant (if not immediately apparent) the justification for proposed changes required to be cleared through planning.

## 2.0 SCOPE OF S73 APPLICATION

The extent of this section 73 application is limited to the area identified as the red line boundary as featured on the application drawings. The extent of the site covered by the proposed changes is highlighted on the adjacent drawings. The Red Line Site Location Plan remains unchanged as part of the Section 73 application TBC. For clarity, it should be assumed that the scheme remains in accordance with the original Benoy application drawings outside of this application boundary, except for issues approved in the NMA application.

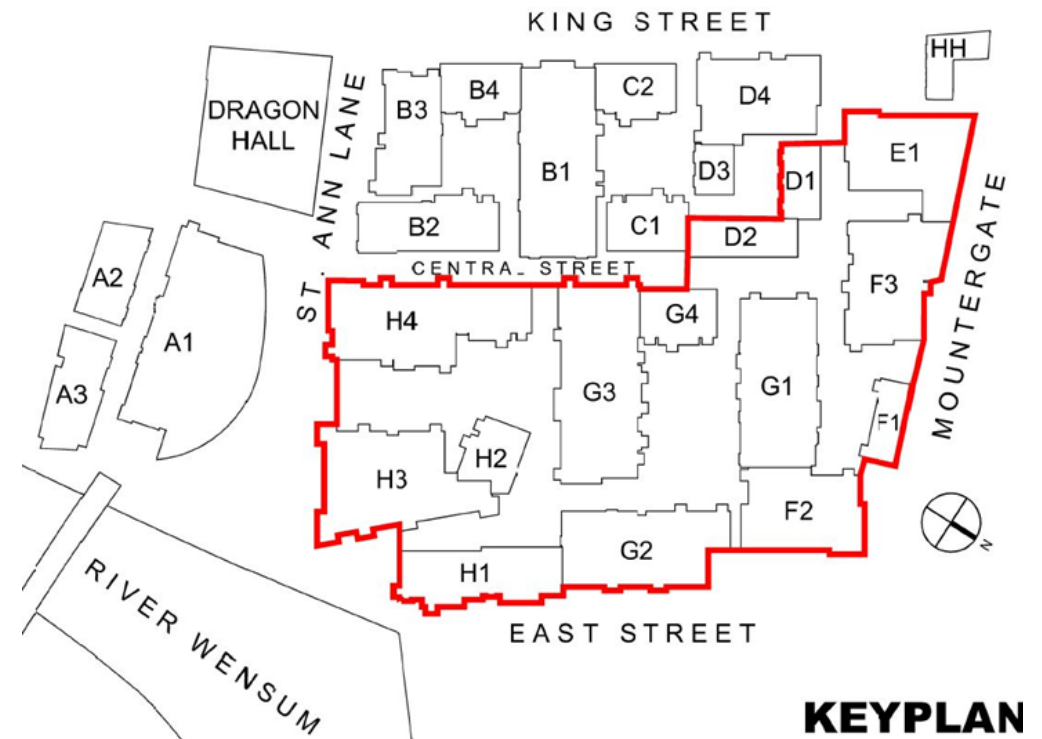


Figure 1 - key site plan diagram indicating the extent of section 73 application

## 3.0 OUTLINE SCHEDULE OF CHANGES TO SCHEME AS FEATURED ON RELEVANT DRAWINGS

The below is provided as a concise, block by block reference list of the changes proposed to the scheme under the extent of this application.

Ref	Block Ref	Section 73 Change Summary	Narrative Note Ref
1	A1-A3	No changes proposed (outside scope extent of S73 application)	
2	B1-B4	No changes proposed (outside extent of S73 application)	
3	C1-C2	No changes proposed (outside extent of S73 application)	
4	D1-D2	Town houses amended to add additional floor over half the footprint. Bedroom numbers increased and roof terrace added. Southern most unit extended at ground floor into redundant lift and storage space to provide enhanced living area. Fenestration amended to suit new layout and enhance liveability.	1
5	D3/D4	No changes proposed (outside extent of S73 application)	
6	E1	2 apartments added to upper ground floor relocated from bridge link between G2&G3. Changes to external envelope at entry level facing Howard House and pedestrian route between D4 and E1. External steps in passage between E1 and Howard House removed, as purpose removed.  Block E1 moved south 180mm to address retaining wall retention issues.  Windows previously 660x660mm changed to 800x825mm.	2   3
7	F1	Design of units changed to address poor design issues raised in dialogue with planners. Internal layout changed and elements of external fenestration.  Windows previously 600mm x 600mm changed to 800mm x 825mm	4  3

8	F2	Projecting balconies on upper levels drawn back to new Juliet balcony design.  Windows previously 600mm x 600mm changed to 800mm x 825mm.  Timber boarding replaced with proposed Marley Eternit Tectiva.	5  3  6
9	F3	Block F3 moved south 180mm to address retaining wall retention issues.  Windows previously 600mm x 600mm changed to 800mm x 825mm.  Timber boarding replaced with proposed Marley Eternit Tectiva.	3  6  3
10	G1	Windows previously 600mm x 600mm changed to 800mm x 825mm.  Timber boarding replaced with proposed Marley Eternit Tectiva	3  6
11	G2	Projecting balconies on upper levels drawn back to new Juliet balcony design, to reduce impact on existing adjacent properties facing East Street.  Windows to North East corner enlarged to 900x1125mm on upper floor levels.  West elevation amended at upper ground and upper levels to reflect the widening of the through route between courtyard G and courtyard H in addition to the removal of the bridge link between G2 and G3.  Timber boarding replaced with proposed Marley Eternit Tectiva	5  2  6  3

12	G3	Block G3 length amended to allow widening of fire tender route between G2 and G3. Eastern gable pulled Westbound approx. 3.5m.	2
		<p>Block G3 length amended as western gable is pushed 1350mm Westbound to allow for general adjustment of design between G2 and G3.</p> <p>Bridging apartments located over the fire tender access route have been removed and relocated to upper ground floor level of E1.</p> <p>Fenestration and proportions of G3 amended following length adjustments made as above.</p> <p>New roof terrace added to southern penthouse apartment.</p> <p>Timber boarding replaced with proposed Marley Eternit Tectiva</p>	3
13	H1	Projecting balconies on upper levels drawn back to new Juliet balcony design to reduce impact on adjacent existing properties.	5
14	H2	Windows previously 600mm x 600mm changed to 800mm x 825mm	3
15	H3	Block design generally amended to enhance commerciality and design approach	7
		Changes to apartments located at the Eastern corner to provide larger premium apartments with better functionality, layout and market appeal.	7
		Fenestration design changed generally, but substantively to south east and south west elevation to balance proportion externally.	7

		Apartment layout on level 5 altered to convert 3 smaller apartments to 2 larger apartments with large roof terraces.	7
		Enhanced roof terraces added to penthouse apartments	7
16	H4	Windows previously 600 x 600mm changed to 800 x 825mm	
		Timber boarding replaced with proposed Marley Eternit Tectiva	
17		Minor adjustment to red line site boundary to reflect updated topographical survey information.	

## 4.0 DESIGN NARRATIVE ASSOCIATED WITH DESIGN CHANGES TO BE CONSIDERED IN S73 APPLICATION

### Narrative note number 1.

#### Amendments to blocks D1-D2

Blocks D1-D3 contain the only houses on the development. These are currently 2 storey 2 bedroom terraced units facing on to central street and with small private gardens to the rear.

Review of these units has established that they are of poor market appeal and the design is awkward in massing terms and of the elevational design.

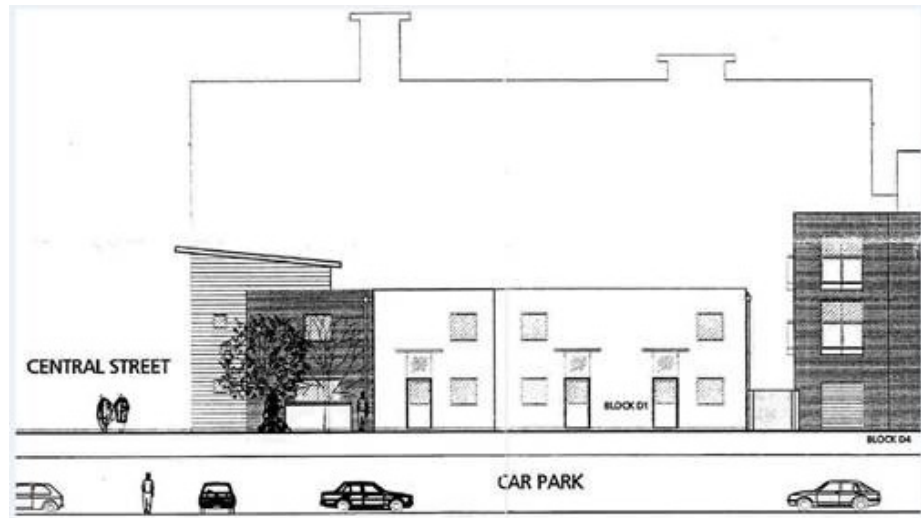


Figure 2 - Benoy approved elevation for Block D1

The proposed IW design seeks to amend the design of these units to both increase their commercial appeal and to enhance the design of the units themselves.

It is proposed that whilst the ground and first floor remain substantively as approved, an additional storey be added over half of the floor plate at second floor level. This provides a more viable and attractive townhouse with an additional amenity terrace at second floor level up and above podium deck.

The elevations to both public realm and private areas have been amended to better reflect the fenestration of the remainder of the site and material composition also adjusted to match.



Figure 3 - Benoy approved elevation for Block D2



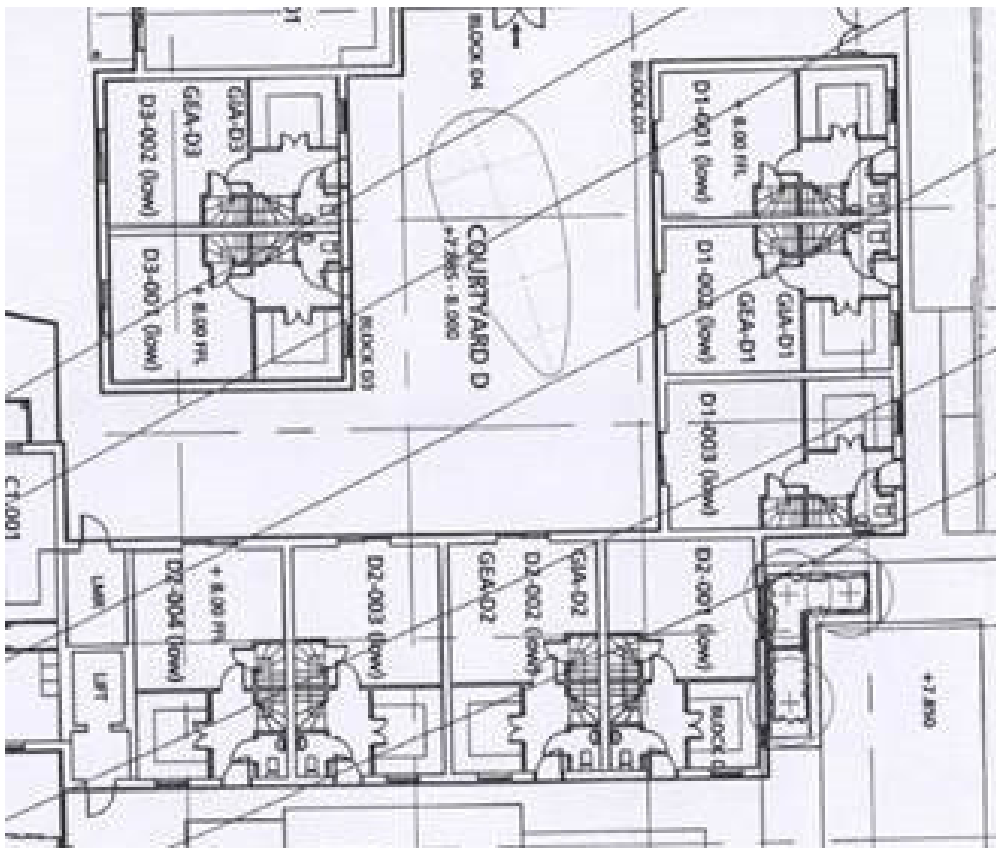


Figure 4 - Benoy approved upper ground floor blocks D1 & D2

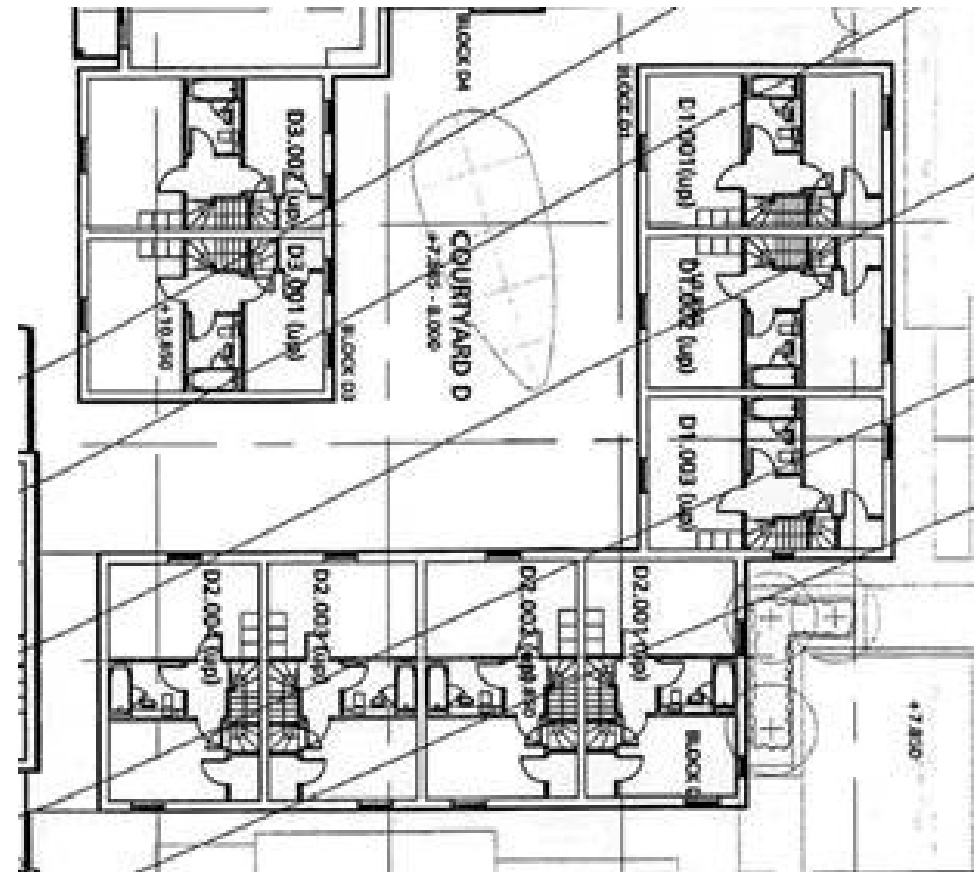
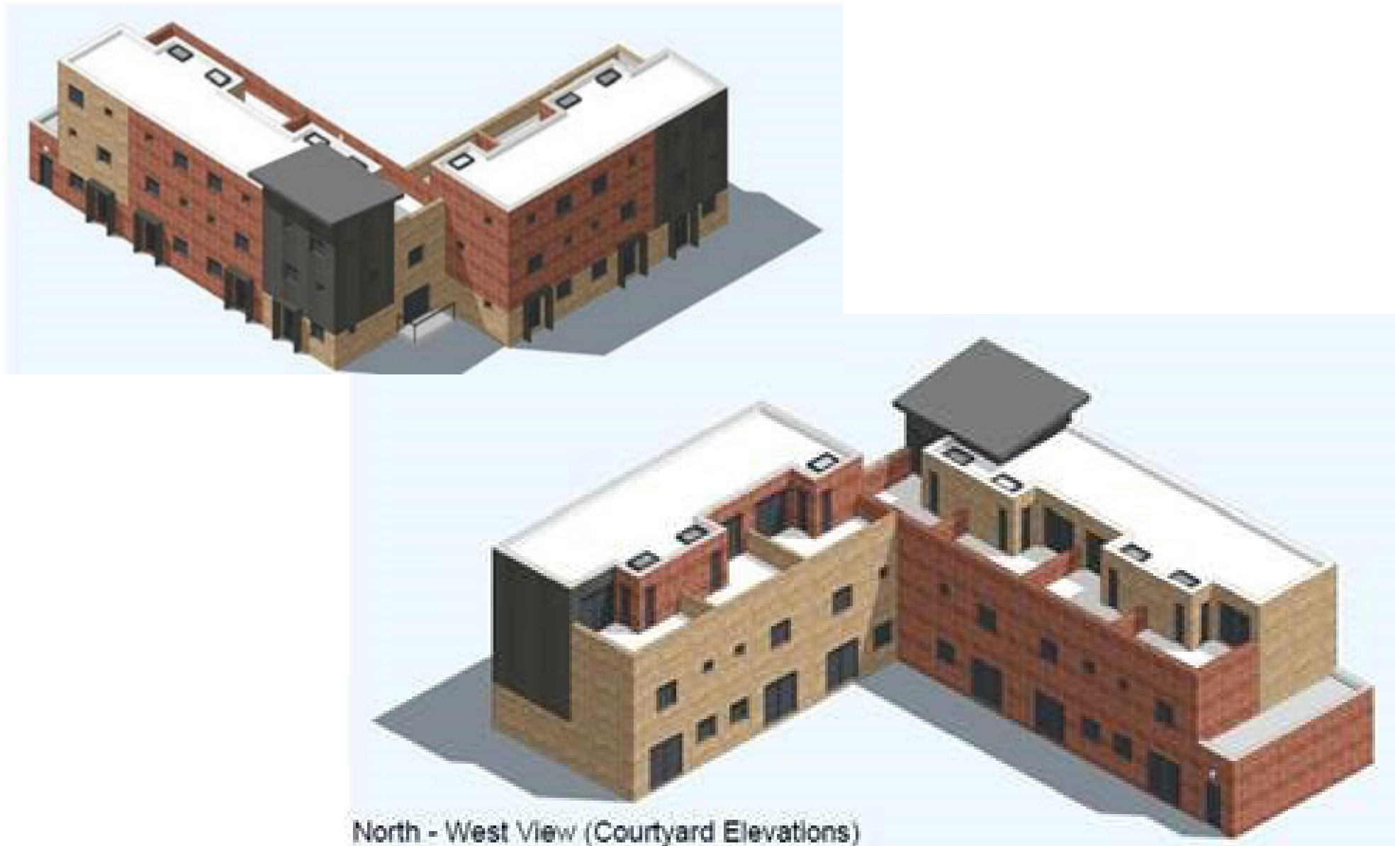


Figure 5 - Benoy approved first floor blocks D1 & D2



**North - West View (Courtyard Elevations)**

**Figure 6 - IW proposed revised massing to blocks D1 & D2**



Figure 7 - IW proposed revised UG to blocks D1 & D2



Figure 8 - IW proposed revised layout at SF to blocks D1 & D2

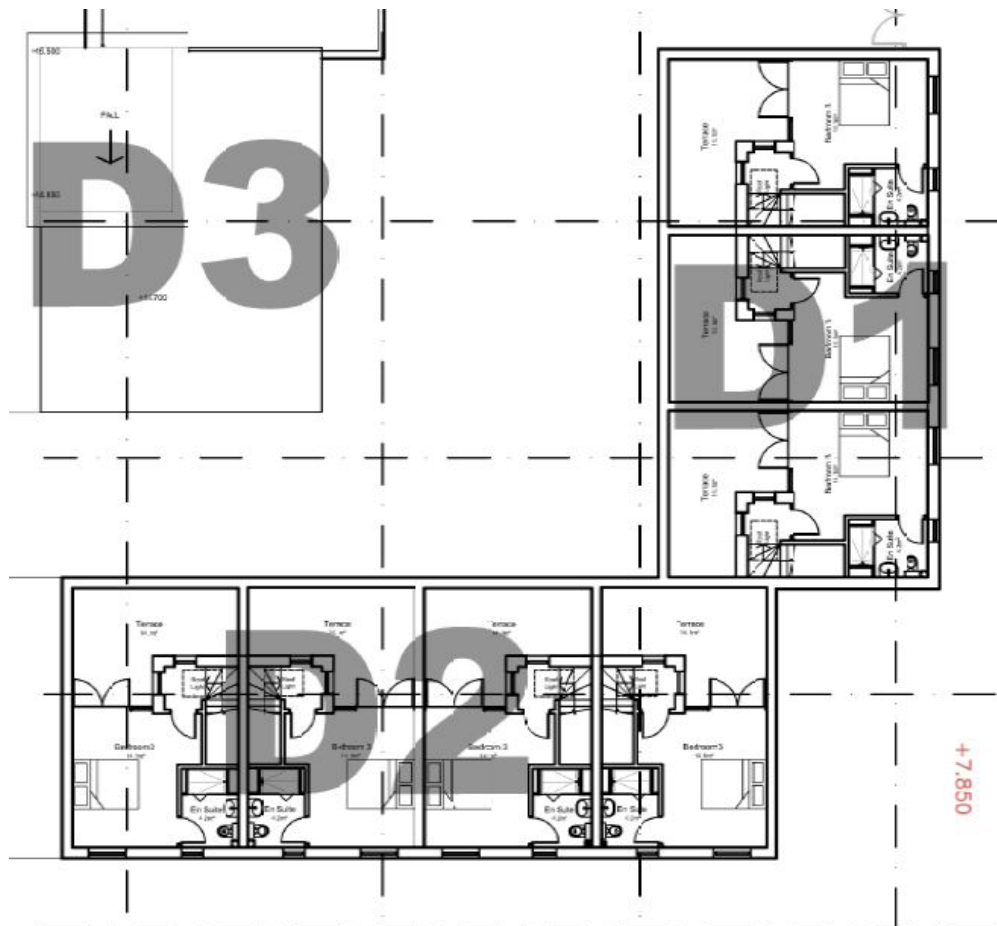


Figure 9 - IW proposed revised layout at SF to blocks D1 & D2

## Narrative note number 2.

### Detachment of Blocks G2 and G3

Detailed design development has established that the approved route of access for fire tender into courtyard H is of insufficient size. The approved scheme indicated a passage route width of 2320mm x 2700 high but to allow the passage of a fire tender



Figure 10 - Approved Benoy Plan (NTS)

this route needs to be widened to an effective aperture of 6000mm wide.

The enlargement of this passage opening, has meant that 1 bed apartment previously located immediately over the passageway on first floor has been lost due to the requirement for additional height. Additionally, the apartments to the eastern tip of G3 have also been remodelled. The omission of the first floor apartment leaves only a single 1 bedroom bridging apartment between G3 and G2. If retained this apartment



Figure 11 - Proposed Plan by Ingleton Wood to allow fire tender access



would be both complex to construct and disproportionately expensive to construct relative to its value.

It is proposed therefore that both the bridging apartments, previously located on first and second floors should be removed and relocated elsewhere in the scheme.

In order to retain the quantum of units established by the planning consent, these units

are proposed to be displaced into upper ground level of Block E1 within commercial space. This is described later in detail.

Apartments either side of the previous bridge link element have been remodelled and planned to improve their layout and ability to capture daylight. The detachment of G2 and G3 allows enhanced buildability and sequencing of the 2 blocks



**Figure 12 - Approved Benoy design**



**Figure 13 - Part elevation of proposed scheme with G2-G3 detached**

### Relocation of displaced units within E1

It is the intention of Orbit Homes that they will place their own site management suite within the commercial space within E1. This unit will act as the on site hub and contact point for all residents. Initial discussions with OH have indicated that the maximum size required for this facility is 100m<sup>2</sup>.

The remaining space, formerly part of the commercial space within Block E1 will be converted to residential apartment use with the inclusion of 1x 1 bedroom apartment and 1x 2 bedroom apartment.

This will result in a small change to the external envelope of the block including the elevation facing Howard House, as included on the submitted elevational drawings but this change is not regarded as of significance albeit in the context of an important listed building.

It is also highlighted that steps used to provide external access to one of the upper lever apartments between Howard house and block E1, has been removed. Internal replanning of block E1 has allowed access to all units to be provided via the common entrance to this block. The removal of the stairs provides greater clarity of the path route between E1 and Howard House.

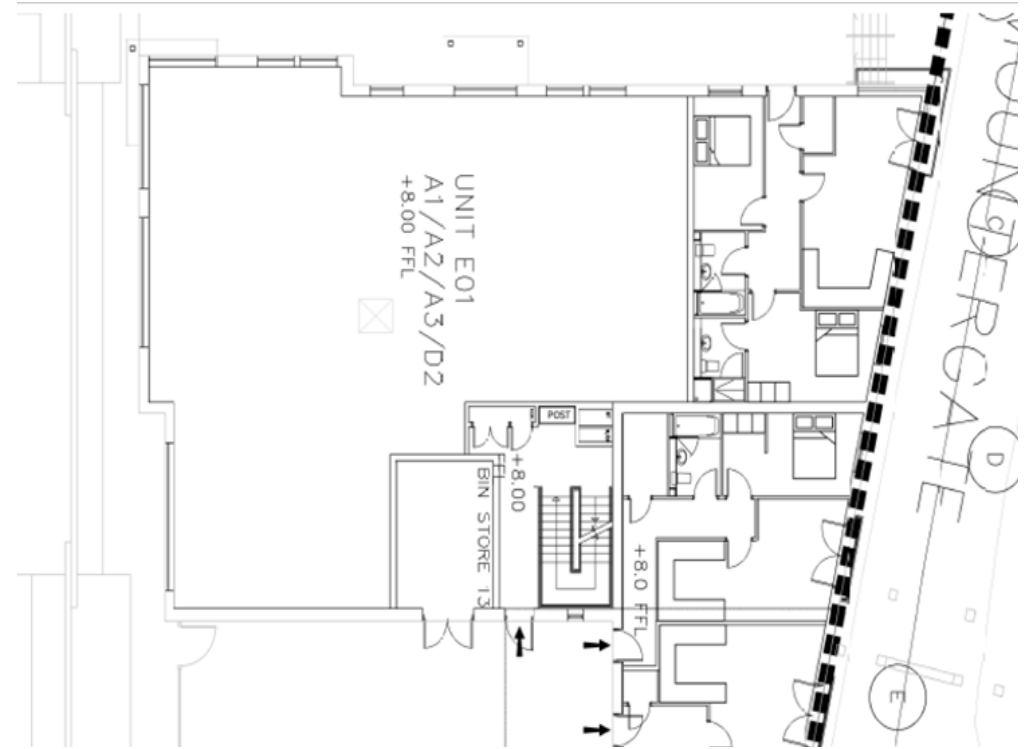


Figure 15 - Approved Benoy E1 layout



Figure 14 - Benoy King St Elevation of E1 including Howard House Elevation



Figure 16 - Benoy South Elevation to E1 and Howard House



Figure 17 - South Elevation as proposed

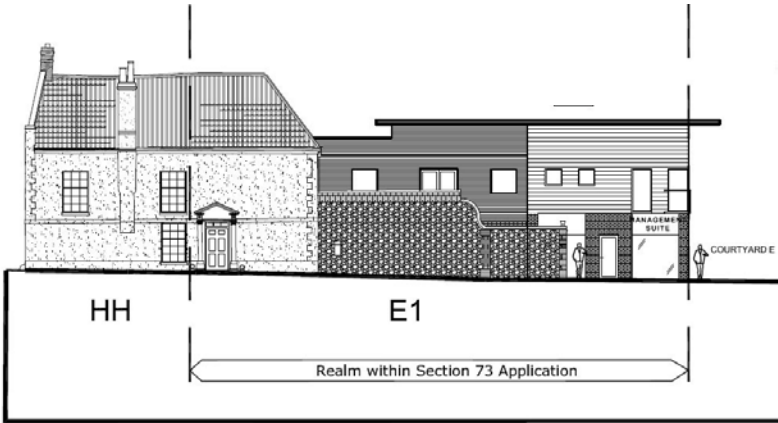


Figure 18 - King Street Elevation as proposed

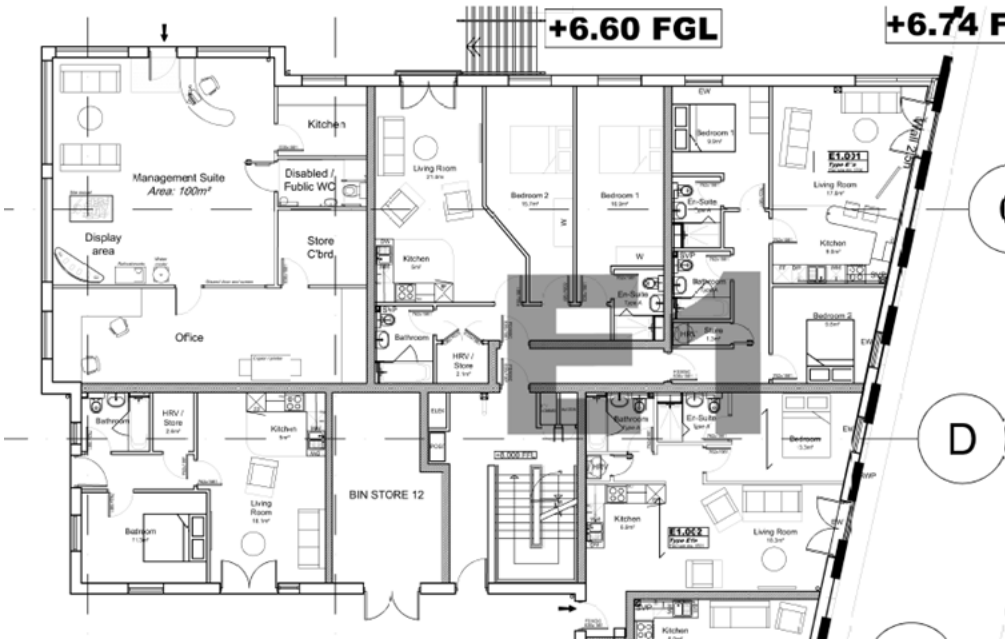


Figure 19 - Revise layout to bock E1 featuring proposed managment suite and new apartments relocated from G2/G3



### Narrative note 3.

#### Conversion of window sizes from 600x600mm to 800x800mm.

This has been proposed throughout the scheme to allow enhanced levels of natural daylight into apartments. The modifications are not regarded as significant in elevation terms or on impact of adjacent properties but does offer significant benefits to the proposed units.

The placement and quantum of these windows remains as previously approved under the Benoy consent.



Figure 20 - Part elevation of Benoy approved scheme featuring 600x600mm windows (NTS)



Figure 21 - Part elevation of proposed Ingleton Wood Scheme

## Narrative note number 4.

### Unit F modification of external envelope

On discussion with both the client and planning authority it has been identified that block F1 required review to enhance the design of the block as it forms a key part of the Mountergate elevation.

The design of this block of single bed apartments has been reviewed and new proposals submitted with the application.

The aim of the revised approach has been to enhance the overall design and make this more attractive, recognising that this is a key block on the Mountergate elevation. In addition, the generally reconfigured windows to Mountergate enhance daylight into units.



Figure 22 - Approved Benoy elevation to King St featuring fenestration identified by Planners and Ingleton Wood as area for betterment

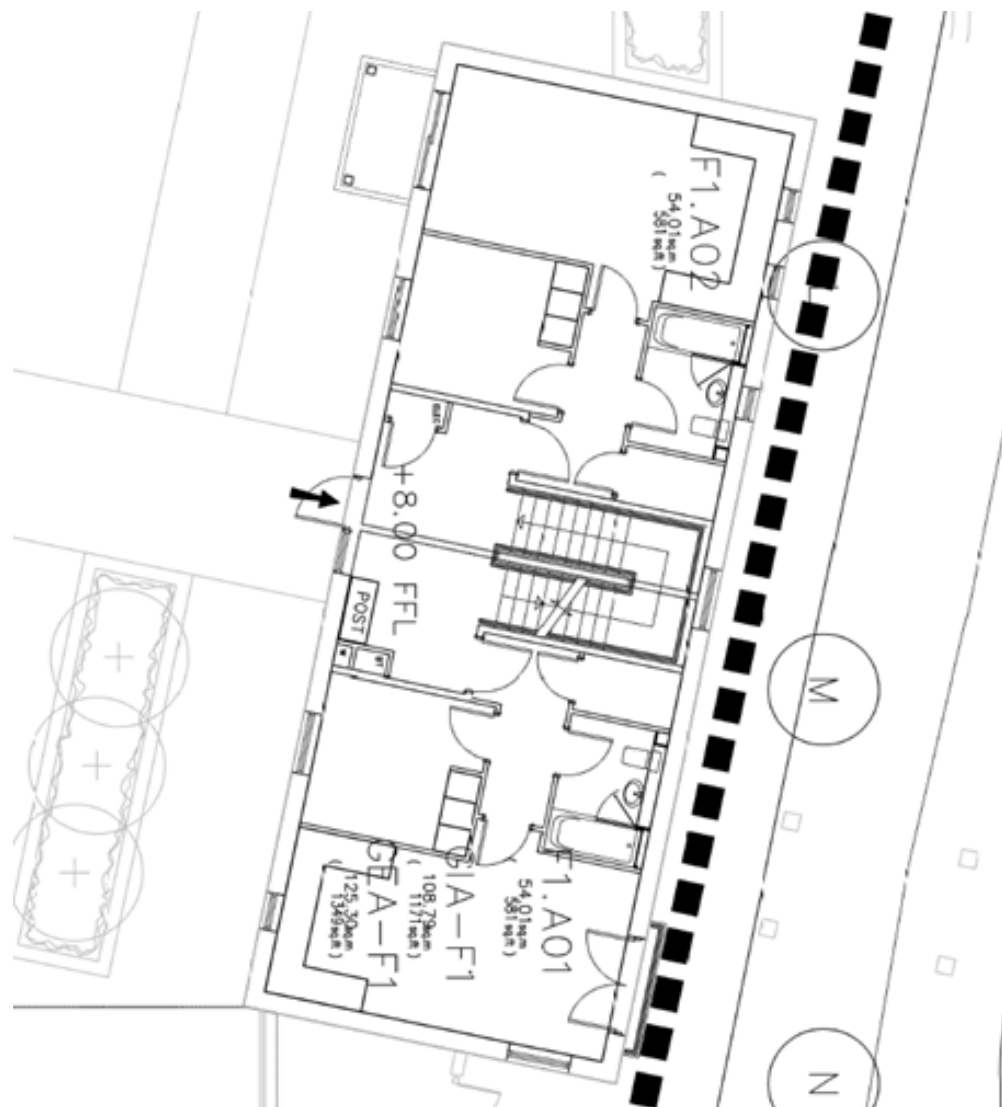


Figure 23 - Approved Benoy typical floor plan to F1



Figure 24 - Proposed revised treatment to elevational design of F1



Figure 25 - Proposed revised typical layout to F1 with rationalised fenestration and layout

### Narrative note number 5.

#### Retraction of Balconies to the East street frontage of blocks F2, G2 and H1

In order to address issues raised during discussions with planners and adjacent landowners, it is proposed that the projecting balconies featured on the Benoy scheme, to the substantive part of East Street, be replaced wholly with Juliette balconies. Previously balconies projected approximately 1200mm from the building principal frontage and now are retracted to within approximately 75mm of the building face.

Whilst is to the detriment of the amenity of the apartments, the retraction of the balconies assists in ensuring that balconies are clear of the tracked path of vehicles using East Street. In addition, this gives a further reinforced distance between the new dwellings and the residents of Baltic Wharf. The changes shown in relation to the East street frontage are specifically shown on drawing 31359-IW-ALL-UG-M2-A-11004 – East Street Balcony Comparison.

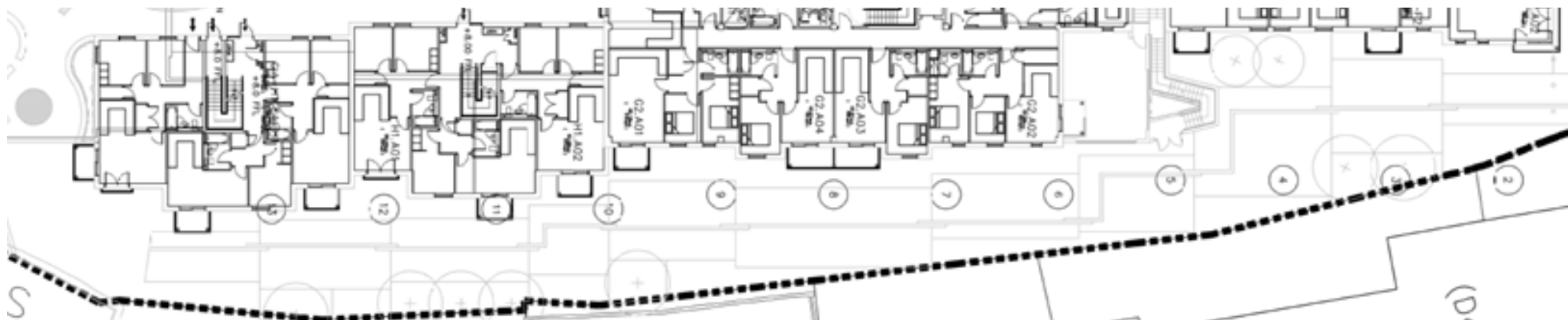


Figure 26 - Benoy approved layout to East Street featuring upper level balconies



Figure 27 - IW proposed layout featuring Juliet balconies to upper levels where facing residential aspects of Baltic Wharf



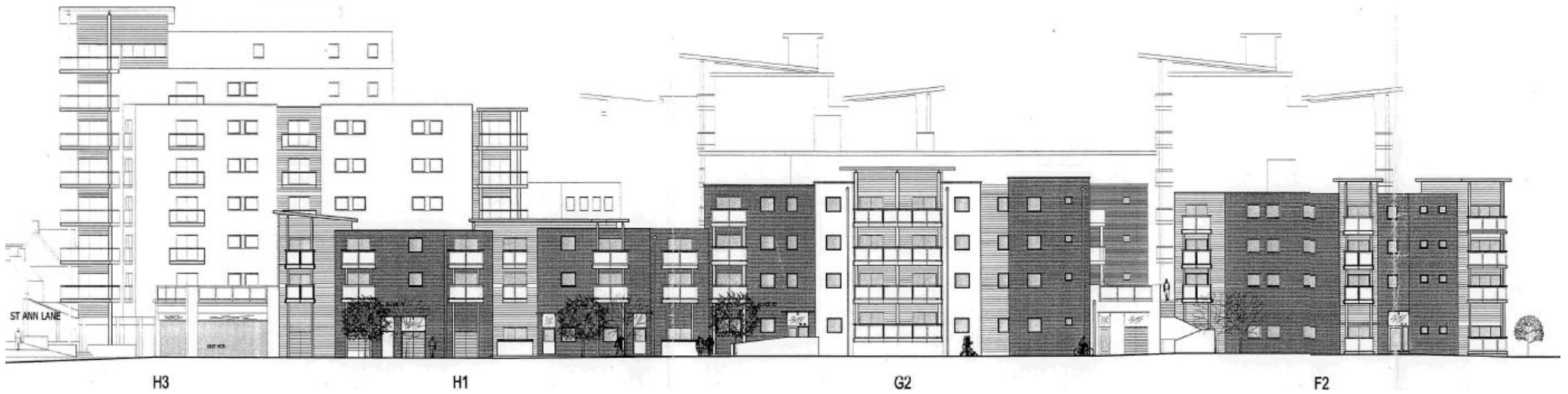


Figure 28 - New Benoy east street before



Figure 29 - New IW east street

### Narrative note number 6.

The Benoy approved scheme extensively features the use of timber boarding as one of the components of the materials palette. On review of the approved scheme, reservations have been raised by the client and design team about the use of natural timber as a material on the scheme in relation to its longevity and cosmetic appearance as the material weathers. Examples of the use of timber in Norwich are commonplace and in the substantive part are not regarded as a positive contribution to the urban environment as many have matured to a dark grey brown colour and are often subject to extensive staining etc..

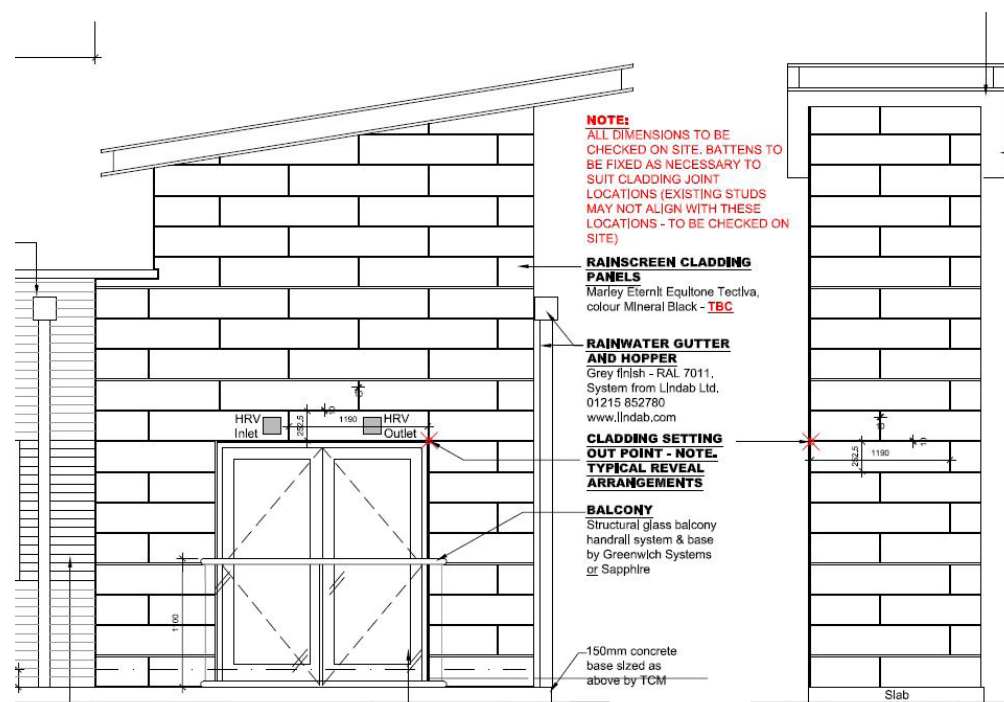
The issue has been discussed extensively with NCC with a view to finding an alternative and acceptable material which will be appropriate for use in the conservation area and for a scheme where quality of materials is a key consideration.

It is proposed that Marley Eternit Tectiva (colour 'pebble'), a cementitious through coloured board be used in place of the timber boarding on areas within this section 73 amendment and other areas to be considered in later applications.

This material is felt to be appropriately characterful in texture and colour, in addition to being sufficiently and enduring to be used without significant concern over maintenance which is a key concern for upper areas of H3 for example where access to maintain economically is not possible.

A full sized sample panel of materials is to be constructed on site in order that the nature of the material can be fully appreciated and understood prior to anticipated approval of the material.

A copy of the materials sample drawing will be included with the submission for information and technical data on the material is available for review at [www.marleyeternit.co.uk/Facades/EQUITONE/Tectiva.aspx](http://www.marleyeternit.co.uk/Facades/EQUITONE/Tectiva.aspx)



**Figure 30 - Extract of detailed design drawing of sample panel to be constructed on site for review**

## Narrative note number 7.

### Block H3

Block H3 is regarded by Orbit Homes as the premium value block on the site; having the highest elevation and great views of the river and the wider city from the upper levels.

On review of the block, several issues were highlighted as areas for betterment on the original design

1. The clustering of building mass on the uppermost floor where plant rooms were accommodated is poor and allows no advantage to be taken from this orientation and river view.
2. The Eastern corner apartments are of sub-optimum size and layout.
3. The penthouse level features a full storey of volume with no purpose or occupiable space.
4. There are a number of rooftop areas which could be used as external amenity, but are left identified as flat roof only which is regarded as a missed opportunity.



Figure 31 - Benoy scheme approved Level 6 and 7 massing



**Figure 32 - IW proposed scheme Level 6 and 7 revised massing**

The proposed design seeks to address these core issues and is described below.

1. The clustering of building mass on the uppermost floor where plant rooms were accommodated is poor and allows no advantage to be taken from this orientation and river view.

The design team have carried out a reviews of the proposed plans and massing of H3. Early in our process we identified that the plan of the building featured a large air vent shaft associated with the car park at lower ground floor level. This both occupied valuable residential footprint and at the top most level added a blank box to the building mass. By re-designing the floor plate layouts and the removal of the air shaft and relocation at deck level, this has relieved pressure on the tower apartment layouts and removed awkwardly designed building mass at top level. The removal of the shaft and other superfluous plant space has allowed us to enhance residential space at these upper levels. This also allows us to take greater advantage of the east façade gaining city and river views.





Figure 33 - Benoy scheme approved H3 upper levels massing



Figure 34 - IW proposed scheme H3 upper levels massing

2. The Eastern corner apartments are of sub-optimum size and layout.

The below 3d visual illustrates the approved layout for the typical eastern corner apartments of block H3. The units were approximately 69.92m<sup>2</sup>. It is considered that the inset angled L shaped living, dining and kitchen area is both constrained and of awkward proportions. Further, external balcony configurations are 'oddly' formed and not well suited to quality external amenity use.

The revised plan layout design by IW seeks to address these key client concerns, principally by reconfiguring the layout of the apartment and increasing its size. Levels 1 to 4 all echo this same revised plan approach. The revised plan is increased in size to 82.7m<sup>2</sup> which increases the liveability and value of these apartments significantly. The proportion of the main living, dining and kitchen area is much improved with the provision of a single, larger and rectilinear area which clear areas for each activity.



**Figure 35 - Benoy approved H3 east corner apartment layout (Level UG - 5)**

The reconfiguration of the external balcony also increases its size to make this a more appropriate size and area for a premium quality apartment.

At level 5 of H3 the apartment layout varies where there is opportunity for superior apartments with enhanced size roof terraces. On this level the opportunity has been taken also to merge 3 small apartments (56.4m<sup>2</sup>, 51m<sup>2</sup> and 73m<sup>2</sup>) into 2 large and more marketable apartments better suited to this elevated position (82.5m<sup>2</sup> and 98.6m<sup>2</sup>).



**Figure 36 - IW proposed H3 eastern corner apartment layout**

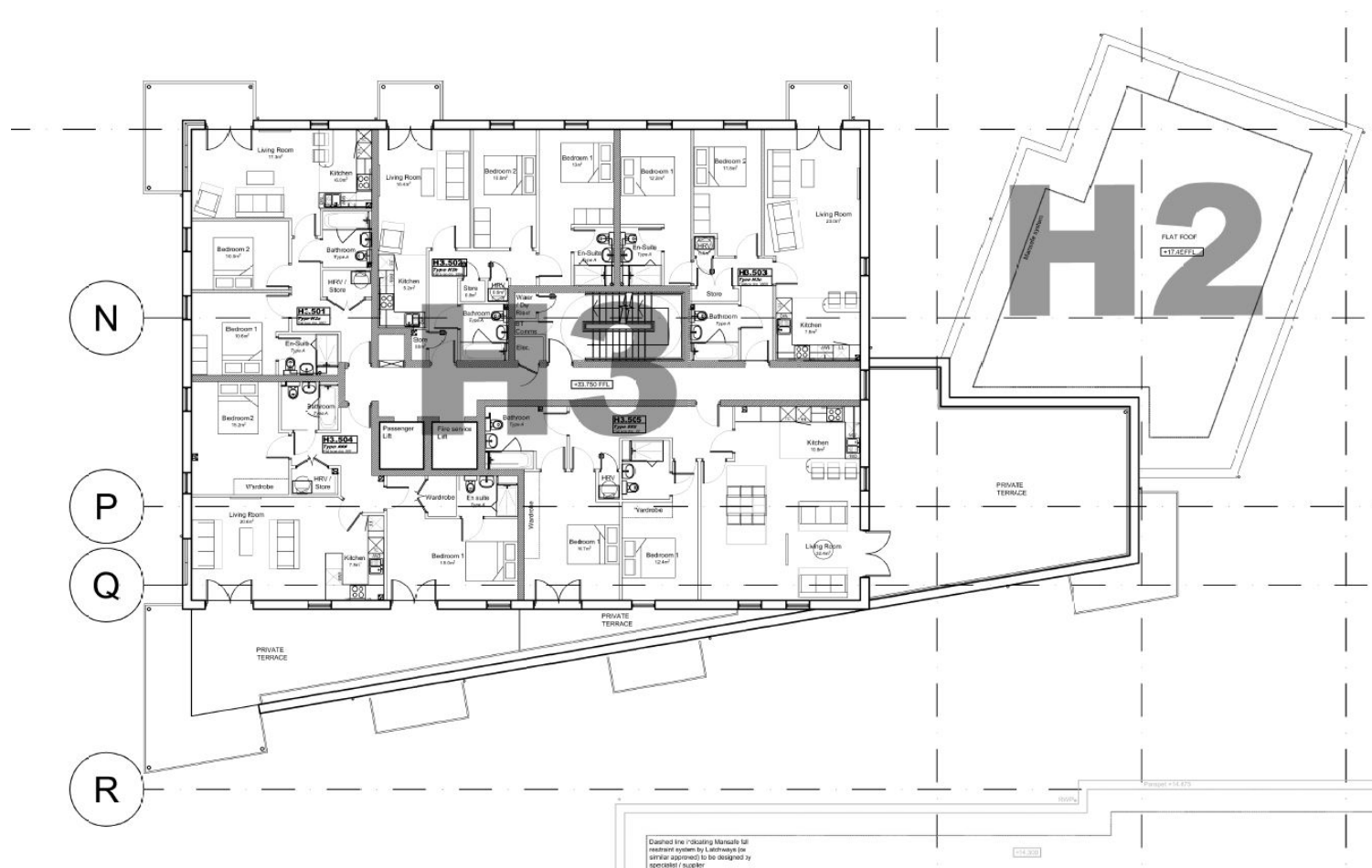


Figure 37 - Revised IW H3 Level 5 layout with 2 premium apartments facing east



**Figure 38 - Benoy approved block H3 Level 5 layout featuring 3 apartments facing east**



The elevation impact of these revised apartment has been discussed with NCC and has triggered a revised approach to the proportions of the south façade to H3 in particular. The revision of window design and extrusion of external balconies have countered the effect of the increased width.



Figure 39 - Benoy approved block H3 (east view)



Figure 40 - IW proposed block H3 (east view)



Figure 41 - IW proposed block H3 (wouth view)



Figure 42 - IW proposed block H3 (south view)

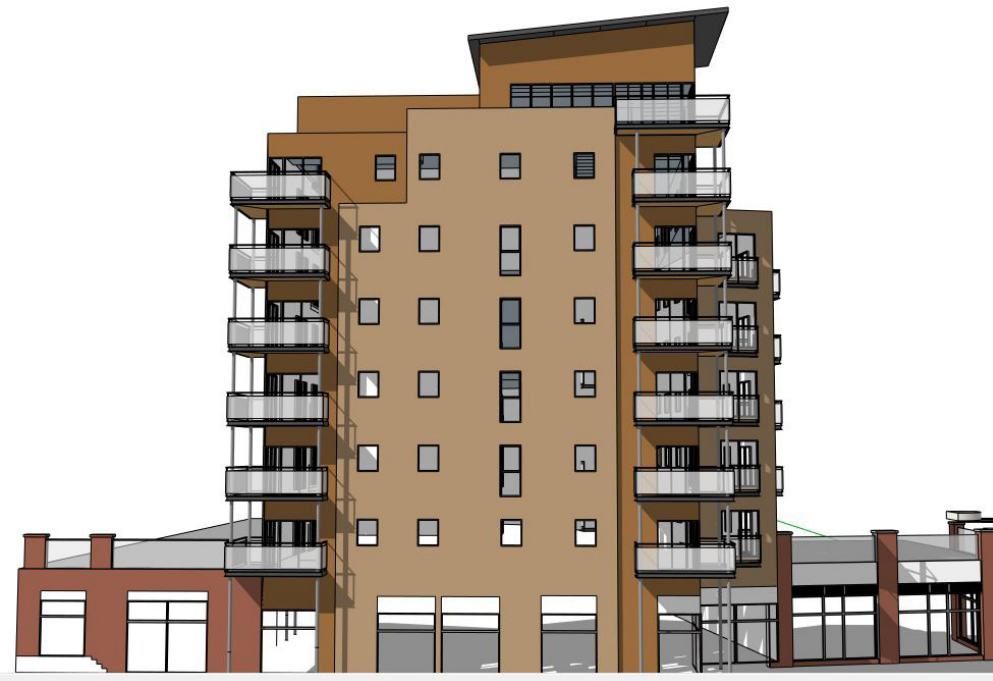


Figure 43 - Benoy approved H3 (south east view)



Figure 44 - IW approved H3 (south east view)





Figure 45 - Benoy approved Level 6 layout with heighened living/kitchen space

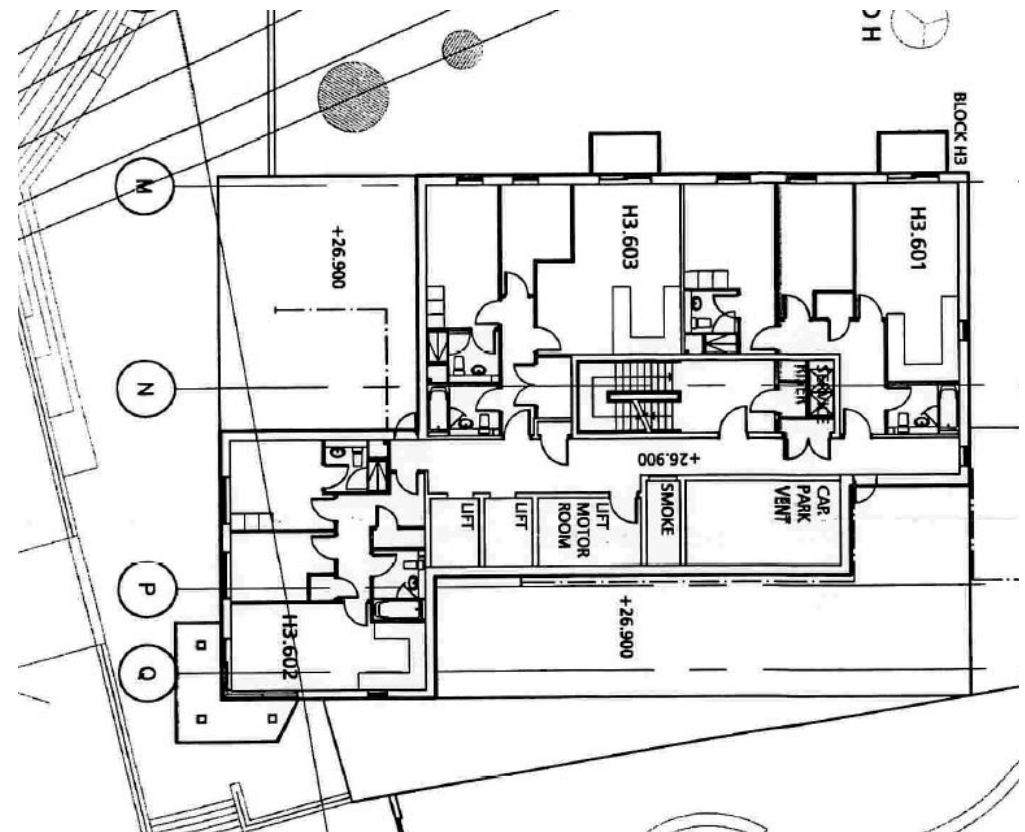


Figure 46 - Benoy approved layout Level 6 plan



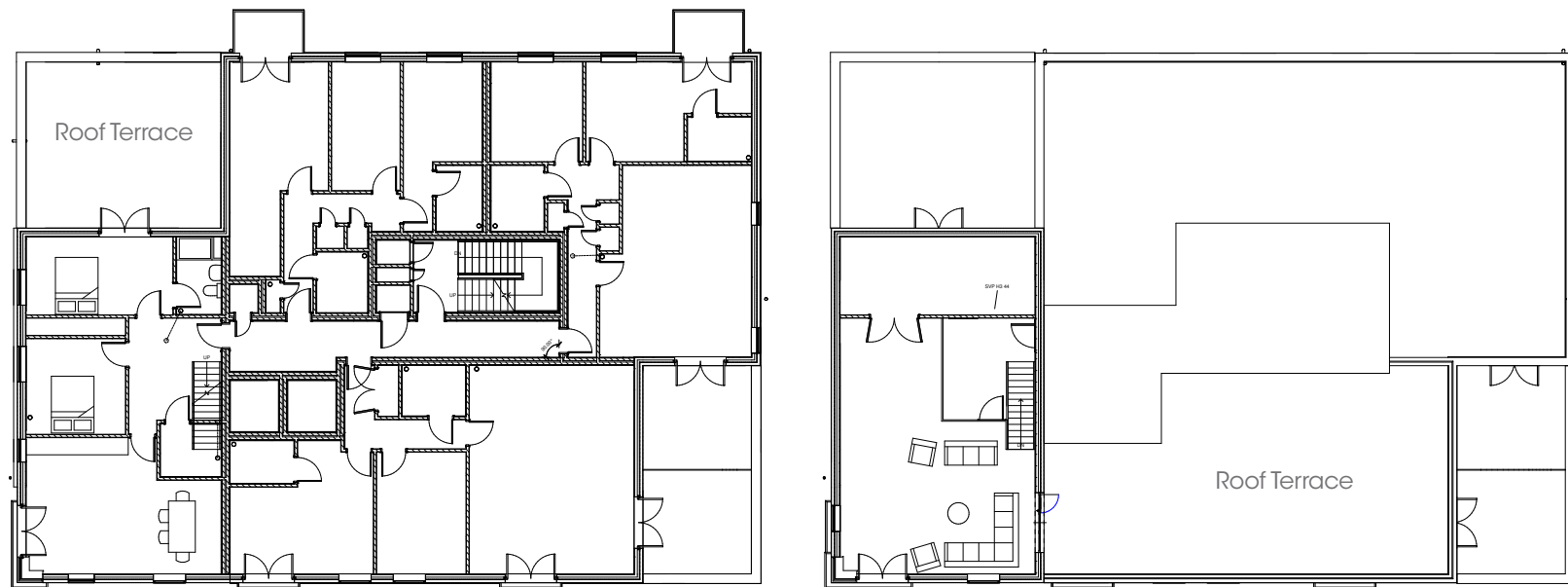


Figure 47 - IW proposed Levels 6 and 7 apartment layouts

4. There are a number of rooftop areas which could be used as external amenity, but are left identified as flat roof only which is regarded as a missed opportunity.

In regard to maximising the design and liveability potential of block H3, a review was undertaken on the provision of external space available to individual apartments. It was

felt that with the rationalisation and re-sculpting of H3, significant opportunities were available to better this situation. New enlarged terraces have been gained at levels 5-7 of the scheme, enhancing the appeal of the apartments whilst having negligible effect on the amenity of other residents of the site.



Figure 48 - Benoy approved roof level view (no terraces)

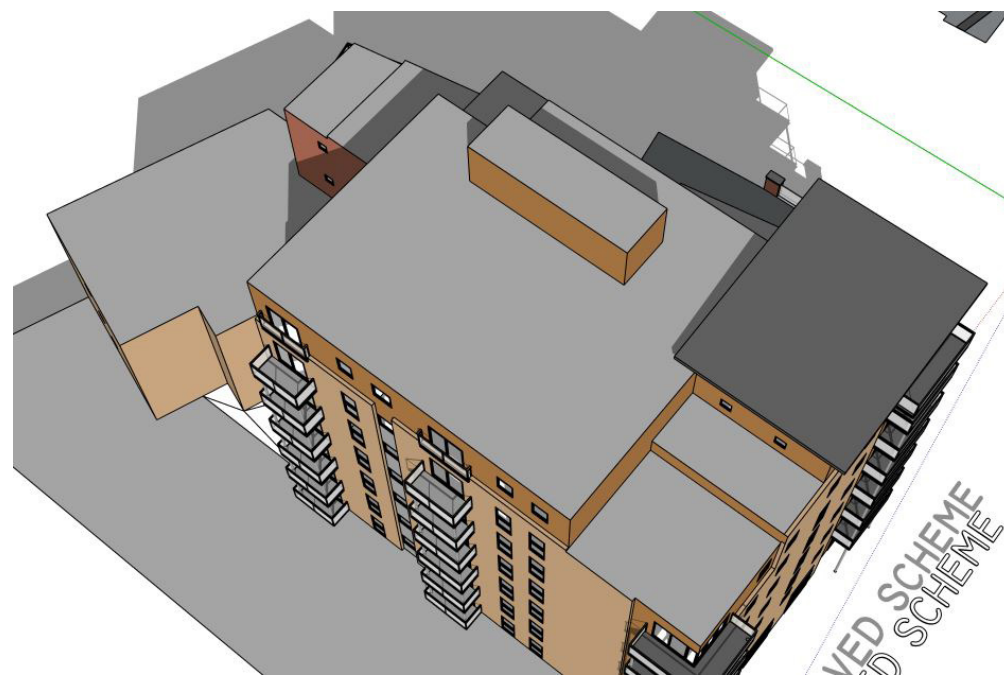


Figure 49 - Benoy approved roof level view (no terraces)

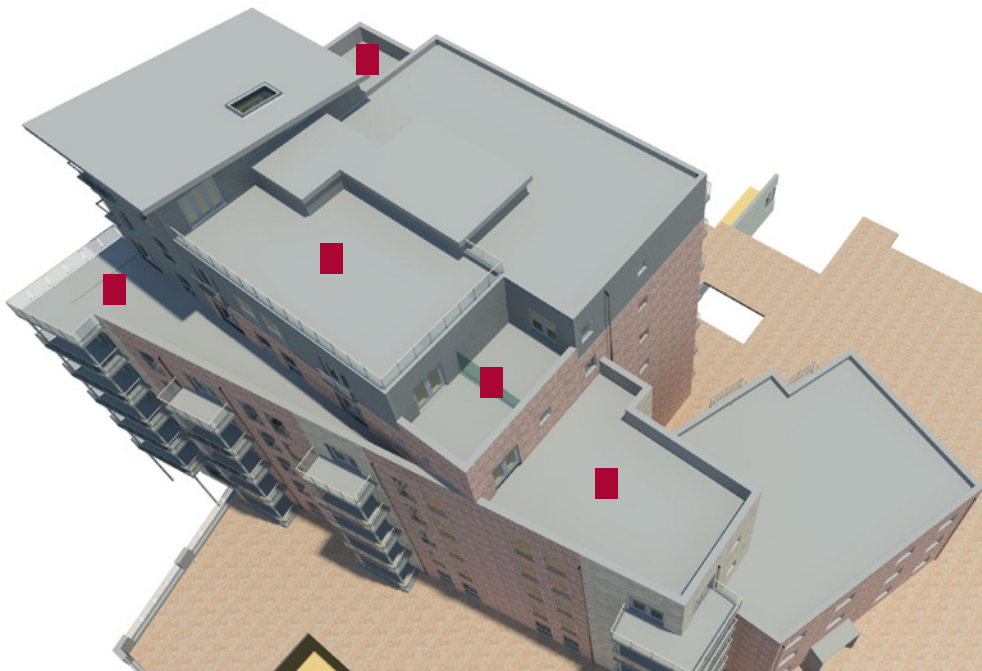


Figure 50 - IW proposed roof level view with new terraces = red rectangles denote terraces

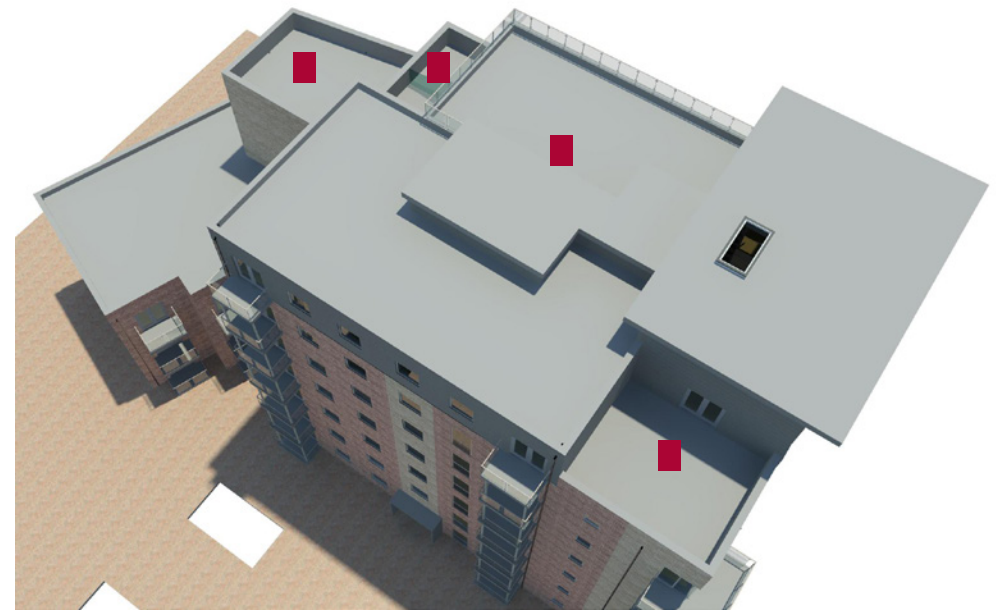


Figure 51 - IW proposed roof level view with new terraces = red rectangles denote terraces



Figure 52 - Coloured areas indicate external roof terraces to be harvested for private roof terraces via individual apartments

## 5.0 SCHEDULE OF DRAWINGS TO BE INCLUDED WITHIN S73 APPLICATION

The below is provided as a concise, block by block reference list of the changes proposed to the scheme under the extent of this application.

Drawing Title	Drawing Number	Revision
Lower Ground Plan East Street Strategy	31359 11003	C
East Street Balcony Comparison	31359 11004	B
GA Sectional Elevations - Parellel to East Street	31359 IW-XX-XX-M2-A 2598	D
GA Sectional Elevations - South Parallel to St Ann Lane	31359 IW-XX-XX-M2-A 2597	D
GA Sectional Elevations - North Parallel to Mountergate	31359 IW-XX-XX-M2-A 2596	D
GA Sectional Elevations - West Perpendicular to Old Barge Yard	31359 IW-XX-XX-M2-A 2595	D
Site Masterplan Seventh Floor	31359 IW-ALL-07-M2-A 1147	P2
Site Masterplan Sixth Floor	31359 IW-ALL-07-M2-A 1146	P2
Site Masterplan Fifth Floor	31359 IW-ALL-07-M2-A 1145	P2
Site Masterplan Fourth Floor	31359 IW-ALL-07-M2-A 1144	P2
Site Masterplan Third Floor	31359 IW-ALL-07-M2-A 1143	P2
Site Masterplan Second Floor	31359 IW-ALL-07-M2-A 1142	P2
Site Masterplan First Floor	31359 IW-ALL-07-M2-A 1141	P2
Site Masterplan Upper Ground	31359 IW-ALL-07-M2-A 1140	P4
Site Masterplan Lower Ground	31359 IW-ALL-07-M2-A 1139	P3



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