

Planning applications committee

Date: Thursday, 09 July 2015

Time: 09:30

Venue: Mancroft room, City Hall, St Peters Street, Norwich, NR2 1NH

Committee members:

Councillors:

Sands (M) (chair)
Herries (vice chair)
Blunt
Bradford
Brociek-Coulton
Button
Carlo
Jackson
Lubbock
Neale
Peek
Woollard

For further information please contact:

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Agenda

1 Apologies

To receive apologies for absence

2 Declaration of interest

(Please note that it is the responsibility of individual members to declare an interest prior to the item if they arrive late for the meeting)

3 Minutes

5 - 10

To approve the accuracy of the minutes of the meeting held on 11 June 2015

4 Planning applications

Please note that members of the public, who have responded to the planning consultations, and applicants and agents wishing to speak at the meeting for item 4 above are required to notify the committee officer by 10:00 on the day before the meeting.

Further information on planning applications can be obtained from the council's website:

<http://planning.norwich.gov.uk/online-applications/>

Please note:

- The formal business of the committee will commence at 9:30.
- The committee may have a comfort break after two hours of the meeting commencing.
- Please note that refreshments will not be provided. Water is available
- The committee will adjourn for lunch at a convenient point between 13:00 to 14:00 if there is any remaining business.

Summary of planning applications for consideration

11 - 12

Standing duties

13 - 14

- 4(A) Application no 14/01816/F - Land North West Side of 25 - 15 - 36
27 Surrey Street, Norwich**
- 4(B) Application no 15/00736N/F3 – Heathgate open space, 37 - 46
Norwich**
- 4(C) Application no 15/00694/F – 12 Mile End Road, Norwich, 47 - 58
NR4 7QY**
- 4(D) Application no 15/00696/F – 92 Mill Hill Road, Norwich, 59 - 68
NR2 3DS**

Date of publication: **Wednesday, 01 July 2015**



Planning applications committee

10:00 to 12:30

11 June 2015

Present: Councillors Herries (vice chair, following appointment) (in the chair), Ackroyd (substitute for Councillor Lubbock), Blunt, Bradford, Brociek-Coulton, Button, Carlo, Henderson (substitute for Councillor Neale), Jackson, Maxwell (substitute for Councillor Sands (M)), Peek and Woollard

Apologies: Councillors Sands (M) (chair), Lubbock and Neale

1. Appointment of vice chair

Two nominations were received for vice chair, Councillors Herries and Jackson and on being put to the vote it was:

RESOLVED to appoint Councillor Herries as vice chair for the ensuing civic year.

2. Declarations of interest

Councillor Blunt declared an other interest in item 4 (below), Application no 15/00159/F - 9 Normans Buildings, Norwich, NR1 1QZ as vice chair of the Norwich Historic Churches Trust and had a pre-determined view of the application. He would leave the meeting during the committee's debate and determination of the application.

Councillor Herries declared an other interest in item 4 (below) Application no 15/00159/F - 9 Normans Buildings, Norwich, NR1 1QZ as she represented the council as a member of the Norwich Historic Churches Trust.

3. Minutes

RESOLVED to approve the minutes of the meeting held on 14 May 2015, subject to noting that a formatting issue had resulted in duplication of the title of item 3, Application no 15/00121/F – The Blackdale Building, Bluebell Road, Norwich, NR4 7LN, and therefore to delete the duplicated text and note that subsequent items will be renumbered.

4. Application no 15/00159/F - 9 Normans Buildings, Norwich, NR1 1QZ

(Councillor Herries had declared an interest in this meeting. Councillor Blunt, having declared an other and predetermined view in this item, remained in the room during

the presentation and for the public speakers, and then left the room during the members' determination and did not take part in the voting.)

The planning development team leader (inner area) presented the report with the aid of plans and slides. He referred to the supplementary report of updates to reports, which was circulated at the meeting, and said that it contained summaries of further representations from Historic England, an additional letter of representation objecting to the loss of the business unit and additional information from the applicant, and the officer response. The Norwich Historic Churches Trust had also submitted a representation which was summarised in the updates report and raised issues which had been addressed in the main committee report.

A representative of the Norwich Historic Churches Trust addressed the committee and outlined the Trust's objections to the scheme, which was considered to be detrimental to the historic listed church and churchyard and concern that the construction of the development would puncture the churchyard wall.

The agent on behalf of the applicant responded and said that the building had been designed to be as unobtrusive as possible so as not to spoil the view from the churchyard. He pointed out that residential properties looking out to the churchyard enhanced the security of the public space.

(Councillor Blunt left the meeting at this point.)

Discussion ensued in which the planning development team leader (inner area) referred to the report and answered questions. He confirmed that the proposed building would be 1 metre higher than the existing building. Officers had discussed with the applicant the possibility of a single storey building of two residential units but there was a question of viability issues with the site, although no such evidence had been provided by the applicant. The provision of one cycle stand per residential unit complied with the council's policy. The applicant had provided an arboricultural assessment which showed that there would be no impact from the ground works on the trees. The trees were owned by the city council and were in need of maintenance and it was suggested that crown lifting would be appropriate. The applicant would need to discuss this with the city council's property services.

During discussion a member referred to the updates report and said that he considered that the viability of the site for small business use should be explored further. He pointed out that new technology had changed the use of small business premises and that there was potential for these to co-exist with residential use. Members also expressed concern that detrimental impact that the two storey building would have on the churchyard and neighbouring properties. Members also were concerned that there would be potential amenity issues for future residents because of the small windows allowing limited daylight and lack of outdoor space. There was also potential for conflict with future residents to object to the trees.

Councillor Jackson moved and Councillor Carlo seconded that the application be refused on the grounds that the proposed building was overbearing and would have a detrimental impact on a heritage asset, the Grade I St Peter Parmentergate Church and churchyard, that the proposal would provide poor amenity for future residents and was contrary to the council's development management policies, and

that insufficient information had been provided to justify the loss or alternative use of the site for business use.

RESOLVED, unanimously, to refuse Application no 15/00159/F - 9 Normans Buildings, Norwich, NR1 1QZ , on the grounds that it would cause less than substantial harm to the heritage asset which was not outweighed by public benefits of the scheme, will provide poor amenity to future residents and that insufficient information had been provided to justify the loss or alternative use of the site for business, and to ask the head of planning services to provide the reasons for refusal in planning policy terms.

(Reasons for refusal as subsequently provided by the head of planning services:

1. Insufficient information has been provided to demonstrate that there is no possibility of reusing or redeveloping the site or premises for similar or alternative business use. This is contrary to DM17 of the Norwich Development Management Policies Local Plan (adopted 2014) and the strategic aims of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk (adopted March 2011, amendments adopted January 2014) which aims to support the needs of small, medium and start-up businesses (policies 5 and 11).
2. The design of the north elevation fails to respect, enhance or respond to the character and distinctiveness of the churchyard setting. Exacerbated by the mass of the building and need to remove large sections of the boundary wall, this adversely detracts from the setting of the grade I listed church, churchyard and conservation area, causing less than substantial harm to the character of the heritage assets. Considerable weight and importance should be attached to this harm, which is not considered to be outweighed by the public benefits the scheme brings, principally through the additional supply of housing. The proposal is therefore contrary to paragraph 134 of the National Planning Policy Framework, policy 2 of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk (adopted March 2011, amendments adopted January 2014) and policies DM3, DM9 and DM12 of the Norwich Development Management Policies Local Plan (adopted 2014).
3. The majority of the habitable rooms proposed will be over-reliant on the north-facing windows facing the churchyard, which will be further compromised by the three mature trees in close proximity. The limitations this would have on the natural light levels reaching the habitable rooms would give rise to unacceptable living conditions, particularly when combined with the poor outlook when the trees are in-leaf. This is compounded by the lack of any private or semi-private outdoor amenity space. As such the development does not provide a sufficiently high standard of amenity for future occupiers, which would undermine the day to day living conditions for those residents. As mitigation of this harm is unachievable through condition, the development is contrary to policy DM2 of the Norwich Development Management Policies Local Plan (adopted 2014) and the objectives of the National Planning Policy Framework paragraphs 9 and 17.)

(The committee had a short adjournment at this point. The meeting reconvened and

Councillor Blunt was readmitted to the meeting.)

5. Application no 15/00317/F - Montpellier House, Judges Walk, Norwich, NR4 7QF

The planning development team leader (outer area) presented the report with the aid of plans and slides. He referred to the supplementary report of updates to reports, which was circulated at the meeting, and said that six further representations had been received and the officer response, and that there was an amendment to the text in paragraph 1 of the main committee report.

The resident of 1 Judges Walk addressed the committee and outlined his objections to the scheme which included concern about the size and mass of the proposed scheme, its design and the proximity to the boundary with his property and that it would have a detrimental effect on the outlook from his premises.

The applicant addressed the committee in support of the application and produced a crude scaled model of the proposed extensions to Montpellier House and its location in relation to the neighbouring properties. The bedrooms of the current bungalow were overlooked from the neighbours and the alterations sought to address this and introduce a private courtyard. He pointed out that there was a large garden and that the revised design would still have a much smaller footprint than the surrounding houses. Much of the extension was to the front of the building. The roof height had been reduced to minimise its impact on the neighbouring properties with an increase of only 2ft on the existing roof height. The applicants were willing to soften the appearance with appropriate landscaping.

The planning development team leader (outer area) referred to the report and answered members' questions. He confirmed that the applicant would need to provide details of materials for agreement with the planning officers. He explained that this was an extension to an existing building and that in order to relocate the building away from the boundary of 1 Judges Walk, it would have been necessary to demolish it and rebuild it more centrally on the site but this could have had an impact on Newmarket Road. Members were advised that it was conditioned that materials needed to be agreed with the applicant before construction.

During discussion a member commented that extension of the bungalow was constrained by its proximity to the boundary with the neighbouring property. A member pointed out that the current building had very little architectural merit but it was disappointing that the drawings of the proposed scheme did not provide more detail. A member suggested that the applicant provided bat boxes and that to increase the amenity of the neighbourhood the flat roof could be a green (sedum) roof. The planning development team leader (outer area) confirmed that an ecological report had been received and that proposed enhancements, such as a bat box, had been incorporated into the conditions for the planning permission. He suggested that the proposal for a green roof could be explored with the applicant but could not be a requirement.

RESOLVED, unanimously, to approve application no. 15/00317/F - Montpellier House, Judges Walk, Norwich NR4 7QF and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Removal of permitted development rights (alterations to the roof and insertion of windows at first floor level);
4. Details of materials;
5. Works in accordance with the approved arboricultural method statement (AMS);
6. Submission of supplementary AMS;
7. Details of retained and supplementary boundary treatment to the north and west.
8. Works to be undertaken in accordance with the recommendations of the ecology report
9. Details of bat roosts and supplementary tree planting.

Article 35(2) statement:

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined above.

6. Application no 15/00003/F - 145 Earlham Road, Norwich, NR2 3RG

The chair pointed out that the reasons for this application being considered at committee was due to objections and that the report author had not removed the other standard reasons for referral to committee.

The planner (development) presented the report with the aid of plans and slide. He referred to the supplementary report of updates to reports, which was circulated at the meeting, which contained a summary of an additional letter of representation objecting to the proposal and the officer response. Members were advised that works, under permitted development rights, had commenced on no 147 Earlham Road and that the front garden of both 145 and 147 had been cleared of vegetation. Therefore the planner was proposing condition 3 be amended to require the applicant to include soft landscaping at the front of the no 145 Earlham Road

Councillor Carlo, local member for Nelson Ward, said that she considered that a bed and breakfast establishment was acceptable in this location and that she welcomed the amendment to the conditions to require the replacement of the vegetation removed as part of the works as it was important to maintain the green corridor. The planner explained that the condition only applied to no 145 Earlham Road but it was hoped that the applicant could be encouraged to replace the vegetation in the front garden of no 147 as well.

RESOLVED, unanimously, to approve application no. 15/00003/F - 145 Earlham Road, Norwich, NR2 3RG and grant planning permission subject to the following conditions:

1. Standard time limit;

2. In accordance with plans;
3. Details including new windows and doors (to illustrate the coverage of obscure glazing where relevant), new boundary fence and the 'green fence' and soft landscaping to be submitted to the local planning authority for prior approval.
4. Submission of parking/ cycle/ bin storage details;
5. Restricted delivery hours.

Article 35(2)(cc) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.

7. Enforcement Case 13/00237/BPC/ENF – 9 Edward Jodrell Plain, Norwich, NR2 2TD

The planning development team leader (inner area) presented the report with the aid of plans and slides.

RESOLVED, unanimously, to authorise enforcement action Enforcement Case 13/00237/BPC/ENF – 9 Edward Jodrell Plain, Norwich, NR2 2TD to secure the cessation of the unauthorised house in multiple occupation (sui generis use) and return the property back to its authorised residential (Class C3/C4) use; including the taking of direct action that may result in referring the matter for prosecution if necessary.

8. Planning applications committee – 14 May 2015 (updates report)

RESOLVED to note that following the committee meeting held on 14 May 2015, the University of East Anglia had provided a written response to members' questions about the fuel type being used for the biomass which serves its campus and further information about accommodation, access and escape routes (which is set out in the supplementary report of updates to report).

CHAIR

Applications for submission to planning applications committee

ITEM 4

09 July 2015

Item No	Application no	Location	Case officer	Proposal	Reason for consideration at Committee	Recommendation
4(A)	14/01816/F	25-27 Surrey Street	Rob Parkinson	Four storey building providing B1 (office) and/or A1 (retail)/A2 (professional services) use at ground floor, 10 no. residential flats above, and 2no. public disabled toilets.	Objections	Approve
4(B)	15/00736/NF3	Heathgate open space	Steve Fraser-Lim	Cycle pathway from Gurney Road to Heathgate	Councils own application	Approve
4(C)	15/00694/F	12 Mile End Road	Steve Polley	Extension	Objections	Approve
4(D)	15/00696/F	92 Mill Hill Road	Steve Polley	Extension	Objections	Approve

STANDING DUTIES

In assessing the merits of the proposals and reaching the recommendation made for each application, due regard has been given to the following duties and in determining the applications the members of the committee will also have due regard to these duties.

Equality Act 2010

It is unlawful to discriminate against, harass or victimise a person when providing a service or when exercising a public function. Prohibited conduct includes direct discrimination, indirect discrimination, harassment and victimisation and discrimination arising from a disability (treating a person unfavourably as a result of their disability, not because of the disability itself).

Direct discrimination occurs where the reason for a person being treated less favourably than another is because of a protected characteristic.

The act notes the protected characteristics of: age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The introduction of the general equality duties under this Act in April 2011 requires that the council must in the exercise of its functions, have due regard to the need to:

- Eliminate unlawful discrimination, harassment and victimisation and other conduct prohibited by this Act.
- Advance equality of opportunity between people who share a relevant protected characteristic and those who do not.
- Foster good relations between people who share a relevant protected characteristic and those who do not.

The relevant protected characteristics are: age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation.

The council must in the exercise of its functions have due regard to the need to eliminate unlawful discrimination against someone due to their marriage or civil partnership status but the other aims of advancing equality and fostering good relations do not apply.

Crime and Disorder Act, 1998 (S17)

- (1) Without prejudice to any other obligation imposed on it, it shall be the duty of each authority to which this section applies to exercise its

various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area.

- (2) This section applies to a local authority, a joint authority, a police authority, a National Park authority and the Broads Authority.

Natural Environment & Rural Communities Act 2006 (S40)

- (1) Every public authority must, on exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity.

Planning Act 2008 (S183)

- (1) Every Planning Authority should have regard to the desirability of achieving good design

Human Rights Act 1998 – this incorporates the rights of the European Convention on Human Rights into UK Law

Article 8 – Right to Respect for Private and Family Life

- (1) Everyone has the right to respect for his private and family life, his home and his correspondence.
- (2) There shall be no interference by a public authority with the exercise of his right except such as in accordance with the law and is necessary in a democratic society in the interests of national security, public safety or the economic well-being of the country, for the prevention of disorder or crime, for the protection of health or morals, or for the rights and freedoms of others.
- (3) A local authority is prohibited from acting in a way which is incompatible with any of the human rights described by the European Convention on Human Rights unless legislation makes this unavoidable.
- (4) Article 8 is a qualified right and where interference of the right can be justified there will be no breach of Article 8.

Report to Planning applications committee

Item

09 July 2015

Report of Head of planning services

Subject

Application no 14/01816/F - Land North West Side of 25 -
27 Surrey Street, Norwich

4(A)

Reason

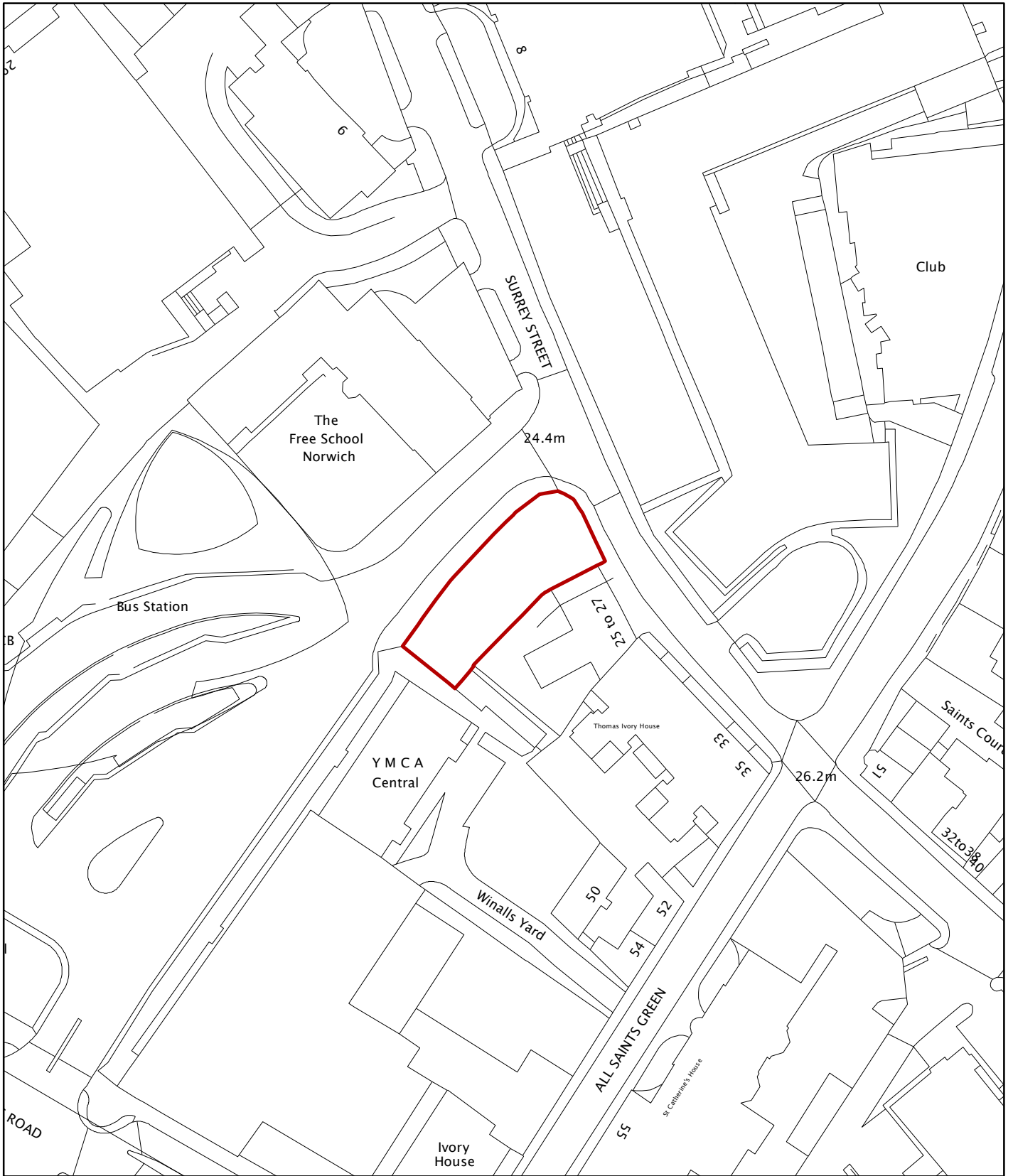
for referral

Objection to major development

Ward:	Mancroft
Case officer	Rob Parkinson - robparkinson@norwich.gov.uk
Applicant	Norfolk County Council
Agent	Mr Andy Scales, Norfolk Property Services

Development proposal		
Erection of four storey building providing B1 (office) and/or A1 (retail)/A2 (professional services) use at ground, 10 no. residential flats above, and 2no. public disabled toilets.		
Representations		
Object	Comment	Support
1	1	-

Main issues	Key considerations
1. Principle of development	Location for housing. Noise and ventilation for future residents. Mix of housing. Location for commercial uses.
2. Design and heritage	Curved frontage; Uniformity of fenestration; Access and safety of public disabled toilets.
3. Amenity	Space standards internally. Quantum and quality of external space for residents. Impact on local residential properties. Impact on adjoining businesses.
4. Parking and access	Lack of parking and restricted access.
Expiry date	16 July 2015
Recommendation	Approve with conditions.



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Planning Application No 14/01816/F

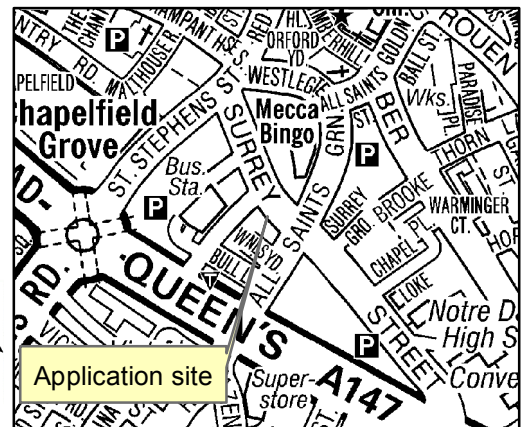
Site Address 25-27 Surrey Street

Scale 1:1,000



NORWICH
City Council

PLANNING SERVICES



The site and surroundings

1. This is the vacant site of the former single-storey ticket office at the bus station, on the north-east side of Surrey Street, on the left hand side of the entrance to the bus station. The site is currently enclosed by site hoardings and overgrown with buddleia and scrub.
2. The adjoining properties include, to the south-east, a recently re-occupied office at 25-27 Surrey Street, and beyond that the residential flats of 29-35 Surrey Street; to the north, the Norwich Free School for primary aged pupils on the other side of the bus station entrance; to the north-east (front) the 7-9 storey Aviva offices; and, to the west/south-west (rear) are the YMCA accommodation and ground floor cafe, the bus station interchange and a new complex of student flats under construction.

Constraints

3. The site is within the City Centre Conservation Area and Area of Main Archaeological Interest. Neighbouring properties 29-35 Surrey Street, the Free School and beyond that no. 9 (Bignold House) and 8 (Marble Hall) Surrey Street are all Listed Buildings. The site is flat but slopes from Surrey Street uphill towards the back of the bus station. Surrey Street is for bus and cycle use only.
4. The Local Plan does not include any specific development plan development allocations for this or neighbouring sites, but it does include these designations: City Centre Regeneration Area (policy DM5); Area for Increased Parking (DM29); Office Development Priority Area (DM19); and is within the St Stephens Street Masterplan Area Boundary (policy JCS2).

Relevant planning history

5. Since demolition of the former ticket office and previous bus station, and prior to the current proposal, there were two schemes approved for the site to be developed for a 3-storey office (B1a use class) building. Permission 11/00327/ET simply extended the timescale for implementing the first permission 07/01120/F until 15th February 2015, though both have expired without being implemented.

Ref	Proposal	Decision	Date
03/00216/C	Conservation Area Consent for demolition of bus station and former co-op buildings prior to constructing new bus station.	Approved	12.02.2004
03/00222/CFR3 ()	Demolition and redevelopment to provide new bus station. Conversion of ticket office into cycle storage, community and advice centre and reconfigured taxi rank.	Approved by County Council	05.12.2003.
05/00215/CF3	New bus operator accommodation and public toilets on the site of the former ticket office, within the bus station site.	Approved by County Council	

Ref	Proposal	Decision	Date
06/00291/CF3	New bus operator accommodation on site of former ticket office (County Council LPA application ref Y/4/2006/4006).	Approved by County Council	2006/4006 - 05.05.2006
07/01120/F	Erection of three-storey building for B1 office use including toilet facility linked to adjacent bus station.	Approved	27.03.2008
11/00327/ET	Extension of time period for commencement of development for previous planning permission 07/01120/F.	Approved	16.02.2012

The proposal

6. This commercial and residential mixed-use scheme originally proposed a development to the same dimensions and very similar design as the previous B1a office block permissions, comprising a 3-storey scheme with 8no. flats above. Following discussions it was revised to increase the development's scale and external appearance, to be a 4-storey building with commercial uses at ground floor and 10no. 1- and 2-bedroom flats above. The proposals include public toilets as consistently previously proposed as part of the bus station redevelopment plans; they have disabled access and are accessed separately from the offices.

Summary information

Proposal	Key facts
Scale	
Total no. of dwellings	10no. flats, comprising 4x 1-bed and 6x 2-bedroom units.
Affordable dwellings	None required.
Total commercial floorspace	277 sq.m.
No. of storeys	4
Max. dimensions	Approx. 38m long (north-south) x 11m wide (east-west) x 14m high (+ plant and machinery enclosure).
Density	167 dwellings / hectare [0.06ha site]
Appearance	
Materials	Mix of yellow / buff facing brick and pale render, with silver grey metal windows, soffits and gutters.

Proposal	Key facts
Construction	Blockwork and/or brick and cavity external wall at first and second-floors, but steel cladding panels at third floor, and a steel roof.
Energy generation / efficiency measures	24no. PV panels are proposed on the roof, to generate 6,720 kWh/yr, or 11.1% of the proposed energy demand.
Operation	
Opening hours	No specified hours proposed for the commercial units.
Ancillary plant and equipment	Some plant and machinery will be required; an enclosure is proposed behind louver screening on the roof.
Transport matters	
Vehicular access	No vehicle access or parking is available.
Car parking spaces	None.
No of cycle parking spaces	14 spaces for residents in a secure enclosure, and 8 individual stores for office staff, all located in the curtilage space to the south.
Servicing arrangements	On-street servicing is possible from Surrey Street at off-peak hours.

Representations

7. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 1 letter of representation has been received from the Norwich Society, citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Norwich Society February 2015 (initial proposals): This is a prominent and important site but the proposal is inappropriate; the flat roof is ugly and the services are starkly exposed; the curved frontage is out of scale and does not relate to the rest of the building; fenestrations clash, materials are boring and the scheme does not add to the street scene.	See: Main Issue 2 'Design'.
Norwich Society May 2015 (initial proposals): The site is not suitable for residential accommodation and could be more usefully incorporated into the	See Main Issue 1 'Principle of development'.

Issues raised	Response
over-crowded bus station complex.	
Bus station management: Originally, access to the toilets looked difficult, and boundaries between private and public domains, and access to flats, was unclear. Such concerns have since been addressed.	See paragraphs 54 and 56.

Consultation responses

8. Consultation responses are summarised below. The full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

9. The curved glazed street-front elevation stands out as a stark and undefined element of the overall design: framing design details and colour will be crucial to add depth and shadow. The main bus station façade now has a classical feel which could be further enhanced by careful materials choice; a buff, pale yellow brick in combination with a painted render would be reminiscent of the classical creamy Clipsham stone of the nearby Grade I listed Marble Hall.

Historic England

10. The scheme has potential to affect the conservation area and setting of listed buildings. Although a contemporary design is not necessarily out of character, the projecting front curved façade to Surrey Street is detrimental because it counteracts the strong building line of the west side of Surrey Street, which helps provide the consistent form and architectural rigour of the area. Realignment and simplification of the Surrey Street end of the building would help the building better conserve the surroundings and potentially enhance the area as required by the NPPF (para 137). The plans should be amended; ideally (even if the curve is still retained) the front of the building should be pulled back in line, and different materials used to the front.

Local Lead Flood Authority (Norfolk County Council)

11. No bespoke comments received. Current standing advice states drainage schemes should ensure development proposes a scheme that meets the drainage hierarchy.

Environmental protection

12. An acoustic survey was needed, and conditions should secure acoustic protection to windows and mechanical ventilation with inlets on the east elevation. Objection to the revised design including balconies, external areas and Juliet balconies because the acoustic consultant confirms the need for non-opening windows. No details are provided regarding where the ventilation inlets would draw air from. The WHO Guideline of 50dB LAeq for daytime steady continuous noise in external space balconies and roof terraces during the day would be exceeded by this proposal.

Bus station operations are late into the night and frequent, and this is unlikely to be a site whereby residential use is acceptable, given the prevailing conditions.

Highways (local)

13. Off-peak servicing is possible from Surrey Street. Car-free flats are acceptable.

Norfolk historic environment service

14. A condition should be used to require an archaeological scheme of investigation, assessment, evaluation and publication of results, prior to commencement.

Assessment of planning considerations

Relevant development plan policies

15. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS3 Energy and water
 - JCS4 Housing delivery
 - JCS5 The economy
 - JCS6 Access and transportation
 - JCS9 Strategy for growth in the Norwich policy area
 - JCS11 Norwich city centre
 - JCS20 Implementation

16. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM4 Providing for renewable and low carbon energy
 - DM5 Planning effectively for flood resilience
 - DM6 Protecting and enhancing the natural environment
 - DM7 Trees and development
 - DM9 Safeguarding Norwich's heritage
 - DM11 Protecting against environmental hazards
 - DM12 Ensuring well-planned housing development
 - DM13 Communal development and multiple occupation
 - DM16 Supporting the needs of business
 - DM17 Supporting small business
 - DM18 Promoting and supporting centres
 - DM19 Encouraging and promoting major office growth
 - DM20 Protecting and supporting city centre shopping
 - DM28 Encouraging sustainable travel
 - DM29 Managing car parking demand in the city centre
 - DM30 Access and highway safety
 - DM31 Car parking and servicing
 - DM32 Encouraging car free and low car housing

- DM33 Planning obligations and development viability

Other material considerations

17. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF1 Building a strong, competitive economy
- NPPF2 Ensuring the vitality of town centres
- NPPF4 Promoting sustainable transport
- NPPF6 Delivering a wide choice of high quality homes
- NPPF7 Requiring good design
- NPPF10 Meeting the challenge of climate change, flooding and coastal change
- NPPF11 Conserving and enhancing the natural environment
- NPPF12 Conserving and enhancing the historic environment

18. Written Ministerial Statement on Small Scale Developers (November 2014).

19. Relevant sections of the National Planning Policy Guidance online (NPPG):

- 'Planning Obligations' para 012 – affordable housing should not be sought from developments of 10-units or less, and which have a maximum combined gross floorspace of no more than 1000sqm (gross internal).
- 'Flooding' para. 079 – for schemes of 10+ dwellings, sustainable drainage systems should be provided unless demonstrated to be inappropriate.

20. Supplementary Planning Documents (SPD) and other guidance

- Affordable housing SPD adopted March 2015.
- St Stephens Street Area Masterplan (October 2009)(non-adopted guidance).

Case Assessment

21. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs discuss the main planning issues in this case, assessed against relevant policies and material considerations.

Main issue 1: Principle of development

22. Key policies and NPPF paragraphs – DM1, DM12, DM16, DM17, DM18, DM19, NPPF paragraphs 49 and 14.

23. A mixed use scheme is supported in this unallocated location, to make the most efficient use of the brownfield site and provide ground floor activity and upper floor housing. Residential is supported in principle because the site is not reserved for other uses, is not within the late night activity area, and would not compromise regeneration. However, the design will need to secure an acceptable level of

amenity for future residents, must not compromise neighbouring uses and will need to enhance the conservation area and setting of listed buildings.

24. Although policy DM12 would expect a mix of housing types and sizes unless size and configuration of the site makes this impracticable, the location is not considered appropriate for conventional family housing or units large enough to need bigger areas of amenity space, whilst constraints on amenity and site size lends the site towards flats. The NPPG expects developments of 10 dwellings or less to be exempt from providing affordable housing, so no affordable housing is required.
25. Commercial uses are also supported for job creation and investment (DM1, DM16, DM17), particularly in the regeneration area / St Stephens Street Masterplan Area (JCS5, JCS11) and for small units as proposed. In the period between December 2009 and October 2012 the site was actively marketed (as a separate lot to the site that has been sold for the student flats being built) but there was no interest, and since then the site has remained available.
26. The St Stephens Street Area Masterplan 2009 guidance suggests that a 4-storey development solely in commercial use would be the most beneficial / appropriate scheme for this site (which would include the adjoining offices in a combined corner-plot redevelopment of 2,400sq.m. gross floorspace). However in current economic conditions it is thought a mixed use scheme will be more attractive to the market. The mix of commercial uses proposed will allow flexible occupancy and marketing to attract a tenant, and provide activity and interest to the street scene. Subject to conditions which will prevent any implemented A1, A2 or B1 use from moving to other less compatible uses, these should not affect the amenity of residents in the flats above.
27. **Noise Impacts and Air Quality:** A noise assessment was undertaken on a standard Tuesday and Wednesday in January to look at the impacts from the bus station, although noise from air conditioning units became apparent during surveys. Daytime activity was so noisy that results would fall into the pre-NPPF previous Planning Policy Guidance Note 24 rating of Noise Exposure Category C, whereby “planning permission should not normally be granted...but [if it is necessary to approve an application then] conditions should be used”. Night time noise levels fell into Noise Exposure Category B, whereby “noise should be taken into account...and conditions imposed”. Bus station noise would affect living rooms and bedrooms equally. During lulls in noise from the bus station there was noise from the plant at the offices to the east, throughout the night, at a constant level, although this should have minimal affect due to interior layouts.
28. Construction proposals expect a blockwork and cavity external wall at first and second-floors, but steel cladding panels at third floor, and a steel roof. The roof will also be susceptible to noise from rain, which should also be agreed by condition.
29. In terms of noise, it is necessary to ask whether environmental conditions around the site should preclude granting permission for residential development. The site has had the benefit of a planning permission for unrestricted B1 office commercial use for more than 7 years, and apparently has not attracted sufficient interest to warrant being implemented. There might also be doubts about the feasibility of other use types being appropriate in this location, in broad compliance with policy, but they have not been proposed and this is a troublesome eyesore site in a prominent location in the city centre. As the proposal is considered to provide

sustainable development and beneficial use of the land, residential use should therefore be considered favourably in principle if the design can provide a basic level of amenity which can be further maintained or improved through using appropriate and reasonable conditions; in this case this is considered possible.

30. WHO criteria were used in the assessment which ordinarily hope to ensure bedroom windows could be left open, but the Environmental Health Officer has requested the window designs should be non-opening, with ventilation supplied by mechanical or forced air ventilation with the inlet set well away from the bus station side of the scheme (to avoid receiving fumes).
31. Conditions can ensure that windows and ventilation should be designed such that the internal noise levels of the dwellings meet the A-weighted levels set out in Section 2 of the acoustic report, and ventilation systems are available to achieve this. Although the Environmental Protection Officer has concerns that all windows and openings towards the bus station should be fixed shut, it is considered necessary to keep loggia balconies and Juliet balcony doors to allow residents the opportunity to have external space / connections to the outside, but an Informative Note will ensure the residents are made aware of the need to keep them closed and use the mechanical ventilation at all times as the primary source of fresh air.
32. The acoustic assessment finds internal levels can be achieved, but external balconies would not meet the WHO criteria, although a condition can try to secure the lowest practicable levels. Therefore, any balconies would need to be used in the knowledge that the Council considers this an acceptable design where impact on amenity may be affected by the bus station activities. See Informative Notes 1 and 2.
33. The Norwich Society's concerns are noted but with appropriate mitigation the site can be made to work for residential use (as at the YMCA and student building). It is assumed the Society believe some of the current bus station's activities could be moved into the site but this scheme would not prejudice that, should the need arise.

Main issue 2: Design and heritage impacts

34. Key policies and NPPF paragraphs – JCS2, DM3, DM9, NPPF paragraphs 9, 17, 56, 60-66 and 128-141.
35. The building is now proposed to be 4-storeys, with the topmost set-back from the rest, with a glazed curved street-facing elevation to mirror that of the floors below. In terms of scale, the 4-storey approach can be accommodated here, as is acknowledged by the St Stephens Street Area Masterplan guidance document, and the plot proportions maintain a degree of consistency with the surrounding traditional built form. The curved frontage to Surrey Street is referenced by an inward curve in the middle. Initially the 3-storey proposals simply retained the rather plain and utilitarian design of the previously-approved office, which was inappropriate. The design has been much improved by introducing fenestration, mixed materials, 'shopfront' and access glazing, verticality and balconies.
36. The 4th-storey enhances the scheme by improving the relationship to the scale of surrounding buildings, and the link to the taller YMCA on higher grounds. The use of parapet will help increase the sense of verticality, clean lines and solidity to the

form (and help hide the balustrades and the plant screen enclosure, and any PVs or air handling units required), though details would be agreed to confirm its final form.

37. The 8.2m gap between upper-levels of the south elevation wall and the YMCA north wall maintains appropriate separation between uses, whilst the 4.5m separation at ground level maintains a safe pedestrian through-route to Winalls Yard, allowing for access to the new toilets and receiving surveillance from residential balconies and kitchen windows. The rear / south elevation provides adequate surveillance and separation to support the safe use of the link to Winalls Yard, although the execution of the corner treatment around the new toilets is poor
38. The earliest designs positioned the roof-top plant enclosure towards the front; this has since been revised and positioned towards the back and is acceptable subject to the finishing materials being agreed. The building line and boundary appearance to Surrey Street uses a brick wall and timber gates to the refuse store, so keeps in with character of scheme and neighbours and helps define building line.
39. The proposal includes the curved front which follows the line of the existing hoardings. This feature would not amount to 'harm' to designated heritage assets in NPPF terms, but neither does it particularly fulfil its potential to better reveal heritage assets. The St Stephens Street Area Masterplan guide takes the view that new development on the corner should position its building line as a continuation of the adjacent terraces', but at the same time it proposes a curved building adjacent to the listed building Free School, so it is considered more appropriate for both sides of the access to the bus station to provide an inviting and natural curved entrance. In any case, the curved and projecting building line has been considered acceptable twice previously and it may be unreasonable to object to its use now.
40. The curved design is considered beneficial for the most part, albeit debate remains as to whether it should project forward. In urban design terms the side of the listed Free School is too blank and uniform, and creates a negative frontage to the inactive area around the bus station entrance; the curved frontage may be helpful in giving window space to commercial users and attracting pedestrians into the bus station area, and be a 'visual stop' to the historic row of terraces, provide presence to the space, and in doing all this still provide a narrower plot façade actually in keeping with the historic grain of the area. It may also one day relate to any revamp of the Surrey St / All Saints Green junction suggested by the Masterplan.
41. The mix of materials proposed reflect the mixed character of the area and although they initially tried to relate with the YMCA building, it is more appropriate to try and reference the materials of the historic street and allow the design form of the building to provide a link to the contemporary styles to the rear; conditions will secure this. Overall the scheme will enhance the entrance to the bus station.
42. It is not appropriate to assess this scheme against Building for Life criteria (JCS2), or to require Lifetime Homes provision (DM12) given the single block mixed use design. The toilets have historically been proposed to be in this part of the bus station area to ensure they are covered by CCTV operations of the bus station, and by having doors fronting onto the bus station, this ensures they are covered by CCTV and general passing surveillance. The toilets may appear detached from the main bus station and waiting area, but it's understood the current bus station layout does not lend itself to being remodelled to accommodate toilets in the existing

building, so whilst perhaps not ideal there are no reasons to suggest the toilet provision is unacceptable.

Main issue 3: Amenity, external space and internal space standards

43. Key policies and NPPF paragraphs – DM2, DM11, DM12, DM13, NPPF paragraphs 9 and 17.
44. **Internal layouts:** The three storeys of flats above commercial uses makes the scheme rather intense. Internal layouts are somewhat convoluted and unconventional, but not unacceptable. All units just satisfy the Local Plan internal space standards set out in policy DM2 and the layout has for the most part directed less active rooms and corridors onto the southeast elevation facing the offices to the northwest, where flues to bathrooms will be concealed, whilst circulation cores, corridors and bathroom windows would minimise the intrusion that might impact on the offices. The applicant has considered whether a four-storey predominantly-residential building can only be served by a spiral staircase, and confirmed Building Regulations will allow this with no requirement for a lift.
45. **External space:** Access to external space is limited and the quality of the space is less than ideal, as light and outlook are fairly limited; in order to avoid overlooking to the offices to the east, the scheme has proposed 5no. units with loggia / 'internal' balconies facing the bus station to the south-west, which although noisy during certain periods of the day will receive daylight. There is a first- and second-floor projecting balcony for each of the two flats forming the south elevation, and this gives some enclosed private area for the two-bed flats even though daylight received may be restricted by the tall YMCA building adjacent. The third-floor larger 2-bed flats also have roof-top gardens, albeit one is north-facing and rather narrow so could be quite shaded.
46. **Landscaping / environs:** The external environment has not provided any margin for planting within the site to reduce the hard landscaping or relatively solid environment in the area. There should be little visible separation between the building line and the rest of the bus station, so in effect the 'pavement' outside the west elevation should be around 5.5m wide at the closest point. This means there should be adequate space to include some tree planting within the 'public realm' outside the development (but within the applicant's ownership control) to mirror the trees established on the opposite side of the bus station access. This would help blend the site and the bus station into the green tree-lined environment of Surrey Street where significant trees grow opposite this development, as well as help define the intended link between Surrey Street to All Saints Green via Winalls Yard (which itself will soon be tree-lined). This has been shown to be possible, using trees and visitor cycle hoops to define the pavement edge and give a sense of curtilage; conditions will secure this in order to improve outlook and provide a sense of relief to future residents, and satisfy the expectation for biodiversity enhancement and 'street tree' planting of policies DM6 and DM7.
47. The YMCA building is only 7.3m from the flank of the south-east / rear elevation, and 5.5m from the edge of the balconies, but the facing window serves only a communal corridor so overlooking / loss of privacy should not be prevalent. The ground floor café can operate to serve the public and become intensively used by

virtue of permission 14/00293/VC, but its impacts should be compatible with this development because opening hours are restricted by planning condition to be only between 07:30 – 19:00 Mon-Sat and 08:00 – 16:00 on Sundays, and extraction flues don't appear to purge into the space next to this building, so harm to resident's amenity should be avoided.

48. **Impact on neighbouring residents and businesses:** The site layout follows that previously approved, albeit being a storey taller, and proximity to neighbouring uses is not considered to be any more unacceptable than the designs previously approved. The building's height and siting will affect some of the existing limited outlook from three flats at 29-35 Surrey Street, but the set-back nature of the top floor and the 23m distance between the two buildings is sufficient to avoid loss of light, whilst views towards the bus station remain.
49. There will be no direct window-to-window loss of residential privacy from this development. Overlooking from the new flats will be minimal, being directed towards the car park at Winalls Yard and the parking forecourt at the back of 29-35 Surrey Street. The balconies are 17-20m away from the Free School car park and play area, and its play area is behind the car park with a fence in between. Some of the adjacent office at 25-27 Surrey Street will be affected by loss of privacy and light, but the internal layouts have been sensitive towards this issue and so have minimised the impact.
50. In summary, the external space offered, and the internal layouts and features proposed are unlikely to attract a £million price tag, but the scheme does respond to the constraints of the site and its environment and meets the necessary minimum levels of amenity and quality of design for future residents.

Main issue 4: Transport, parking and servicing

51. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, NPPF paragraphs 17 and 39.
52. The site does not have room to accommodate parking without expensive and detrimental ground floor parking being provided at the expense of design quality. However it is highly accessible and does not propose larger housing which may otherwise necessitate car ownership.
53. Despite double-yellow lining, servicing and loading can take place from Surrey Street on-street and outside peak hours Mon-Sat or all day Sundays. Although Environmental Protection Officers were concerned that deliveries and commercial servicing should be avoided between 7pm and 7am, in the interests of amenity, it would not be reasonable to do so given that loading can take place in the vicinity anyway; had the servicing been possible off-street this would be different.
54. Appropriate secure and covered cycle storage is provided for residents and their visitors (14no. cycles are proposed in a two-tier racking system outside the resident entrance on the south elevation). Cycle stores are provided for commercial staff and an adjacent secondary access door and links to staff showers are included on the ground floor. Separate residential and commercial refuse stores are proposed, accessed safely from Surrey Street. Visitor cycle hoops are required by condition.

Compliance with other relevant development plan policies

55. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Refuse storage	DM31	Yes - subject to provision by condition.
Energy efficiency, generation and water efficiency	JCS 1 & 3 DM3	Yes - subject to provision by condition.
Sustainable urban drainage	DM3 and 5	Yes - subject to provision by condition. Although the geology and restricted site area precludes use of soakaways, there is room in the external area to the east for installing an attenuation tank for containing a 1 in 100 year + 30% for climate change event flow rate. This can slow run-off rates to the sewers to the existing site run-off rate, so will future proof the scheme against climate change.
Biomass increase	DM6 and 7	Yes - subject to provision by condition.

Other matters

56. The public toilets are designed for disabled persons' use and, although this would improve facilities at the bus station, it is surprising that the County Council is choosing to develop these facilities in a site remote from the existing public toilets in the travel centre. It would be unreasonable to require their management and availability outside the bus station's operations. Condition 19 will ensure the precise hours and management responsibilities are agreed.

57. The following matters have been assessed and are satisfactory and in accordance with relevant development plan policies, subject to appropriate conditions and mitigation: biodiversity; contamination, affordable housing; energy and water; archaeology; acoustic protection; access to cycle provision; and toilet availability.

Equalities and diversity issues

58. There are some equality and diversity issues in that none of the flats can be accessed by wheelchair / level access because all are served only by a spiral staircase. Although this is far from ideal, apparently this is still compliant with Building Regulations and as the site is constrained it could be difficult to achieve the desired internal space standards if a lift is provided. On balance, providing the offices and a mixed use scheme is acceptable in order to regenerate this site.

Local finance considerations

59. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
60. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
61. In this case local finance considerations are not considered material to the case.

Conclusion

62. Subject to conditions to control final design and appearance, the proposal represents a high quality of design, will positively enhance the Conservation Area, make use of an unsightly brownfield site in the City Centre and will deliver economic, social and environmental benefits, including job and housing. The provision of public toilets will be of direct benefit to the users of the bus station. As such the development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 14/01816/F - Land North West Side Of 25 - 27 Surrey Street Norwich and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Once implemented – no change of use from A1, A2 or B1 into A3, A4, A5, betting shops etc. Or – notwithstanding PD rights, commercial units shall only be used for A1, A2 or B1.

Prior to commencement:

4. Archaeological scheme of investigation and evaluation.
5. Contamination assessment to be undertaken.
6. Design of balustrades and parapet to be agreed, to find a blend between side and front elevations.
7. Materials for building and toilet extension to be agreed - Notwithstanding the details shown to date:
 - a. External brick, types, colour, bond and mortar, with samples (LPA suggest a buff, pale yellow brick);
 - b. Render (LPA suggest a painted render of colour such as RAL 1014, a sandy/ivory tone);
 - c. Third floor external wall cladding panels;
 - d. Stone banding;
 - e. Roofing, parapets and balustrades;
 - f. Soffits, gutters, fascias and rainwater goods;
 - g. Rooftop plant enclosure design and materials;

- h. Windows and doors – materials colours details and profiles;
 - i. Balconies.
8. Details of acoustic protection to windows to be agreed and provided thereafter, with noise to be limited to the maximum limits set out in para 4.1 of the acoustic report (specified). See informative note 1.
 9. Details of mechanical ventilation to be agreed, demonstrating that air will be taken via inlets installed from the south east elevation only, and to include dust and pollen filters, and ideally ventilation to avoid terminating on the bus station facade. Details to show system, design, capacity, specifications and manufacturers maintenance proposals, and to be installed and maintained in accordance with those details as agreed. See informative note 2.
 10. Details of acoustic protection through roof design and balcony designs, and their construction to be agreed, to ensure the lowest practicable noise exposure levels.
 11. All windows other than loggia balconies and Juliet balcony doors to be non-opening and fixed shut at all times, unless designs of windows preclude this need.
 12. Details of ground-floor / first floor ceiling sound insulation to be agreed and used.
 13. Details of energy generation and screening designs to be provided – i.e. solar PV panels with balustrade, sufficient to meet at least 10% of the energy requirements of the residential development unless unfeasible or unviable to do so. Proposals to be installed and available for use before occupation.
 14. Details of drainage scheme – using attenuation tank & hydro-brake system.

Prior to any residential or commercial occupation:

15. The residential refuse and cycle stores to be provided as per plan 06A, in accordance with precise details of materials and capacity to be agreed.
16. The commercial units staff cycle stores to be provided as per plan 03A and details to be agreed.
17. Cycle stands to be provided for visitors to the commercial units.
18. Details of boundary treatments to be agreed – to include:
 - a. Surrey Street boundary wall, including bricks and mortar (and samples);
 - b. Surrey Street refuse store doors;
 - c. Access gates / walls;
 - d. Steps and railings on south-east and north-west sides of building;
19. The unisex disabled toilets shall be completed and made available for use by the public, and details of management, security arrangements and opening times to be provided and approved. The toilets shall be retained in perpetuity thereafter.
20. Cycle storage to be provided and made available for use.
21. Hard landscaping to be provided for the curtilage as per details to be agreed for materials, paving, external lighting, roof-top garden construction.
22. Soft landscape tree planting to be provided in the public realm area of the curtilage of the bus station within the applicants ownership and control, in accordance with considerate tree species selection and siting, and details of planting specifications to be first agreed with the LPA. See informative note 2.
23. Details of water conservation measures for (a) residential and (b) commercials.
24. Energy generation measures to be installed and made available for use, as per the energy generation strategy.

Informative Notes:

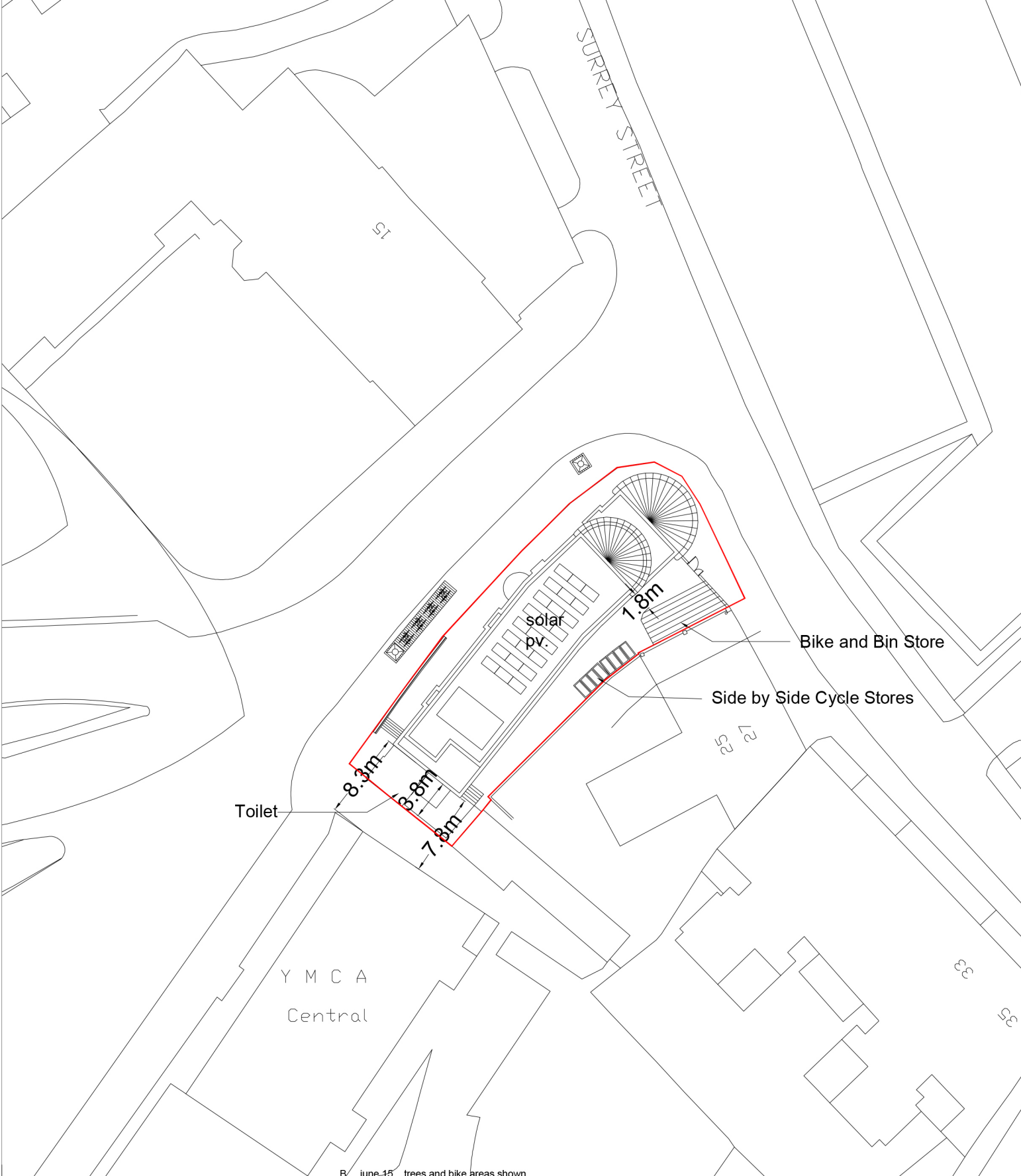
1. Acoustic considerations, re windows and balconies; any noise complaint will be investigated only on the basis that measurements are taken with doors and

windows closed, and proprietary ventilation system provided with the dwelling being in use at the time.

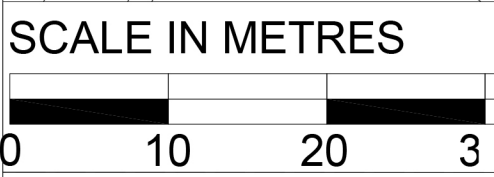
2. Ventilation advice – this is an area of notable air quality concern, and residents are advised to use mechanical ventilation as well as using any windows.
3. Advice for tree planting in the bus station public realm and blue line area, which could be combined with an integrated plan for cycle storage for staff and visitors to the commercial units (as required by Condition).
4. It is highly desirable the mechanical ventilation system required by Condition has adequate dust and pollen filtration, and that these are replaced regularly in line with the manufacturer's instructions. Similarly, the mechanical ventilation system should be regularly serviced and maintained by a competent service engineer in accordance with the manufacturer's instructions. As this will be the principal means of ventilation for the flats it is essential that it be properly maintained.
5. The materials palette should relate and enhance the street scene referencing the historic buildings in the area. It is strongly suggested that a buff, pale yellow brick is used in combination with a painted render (colour such as RAL 1014). This would be reminiscent of the classical creamy Clipsham stone of the nearby Grade I listed *Marble Hall*. Such materials would better enhance the conservation area whilst still allowing the building's design form to then blend into the contemporary designs of the buildings to the south.
6. New properties are not eligible for residential parking permits.
7. Access advice for commercial tenants – Surrey Street is 'access only' for setting down or picking up from certain areas at certain times only.

Article 35(2) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations. Following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.



B june 15 trees and bike areas shown



REV	DATE	DESCRIPTION
A	jan 15	walls and gates + red line added
Address: Former Ticket Office Site Surrey Street Norwich Norfolk		
Title: Proposed Block Plan		
Plan No. 01-01-15-2-1212 (03B)		
Scale 1:500 @ A4 Page 32 of 68		
Date: MAR 15	DRAWN BY RG	CHECKED BY AS

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- LONG STRATTON TEL: 01508 536400 FAX: 01508 535110
- AYLSHAM TEL: 01263 738200 FAX: 01263 731732
- KING'S LYNN TEL: 01553 778240 FAX: 01553 778241

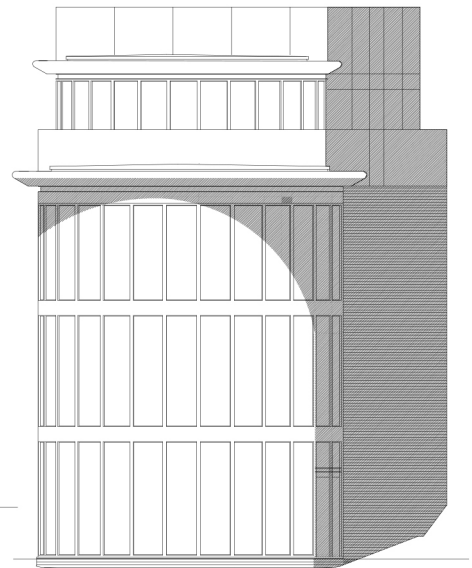
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South West Elevation



North East Elevation



South East Elevation

**ALDRIDGE
LANDSDELL**



North West Elevation

B June 15 Toilets, Top Storey, Parapets, Finishes.

A Jan 15 shower room, rear access, balconies

REV	DATE	DESCRIPTION

Plan No. 01-01-15-2-1212 (05B)

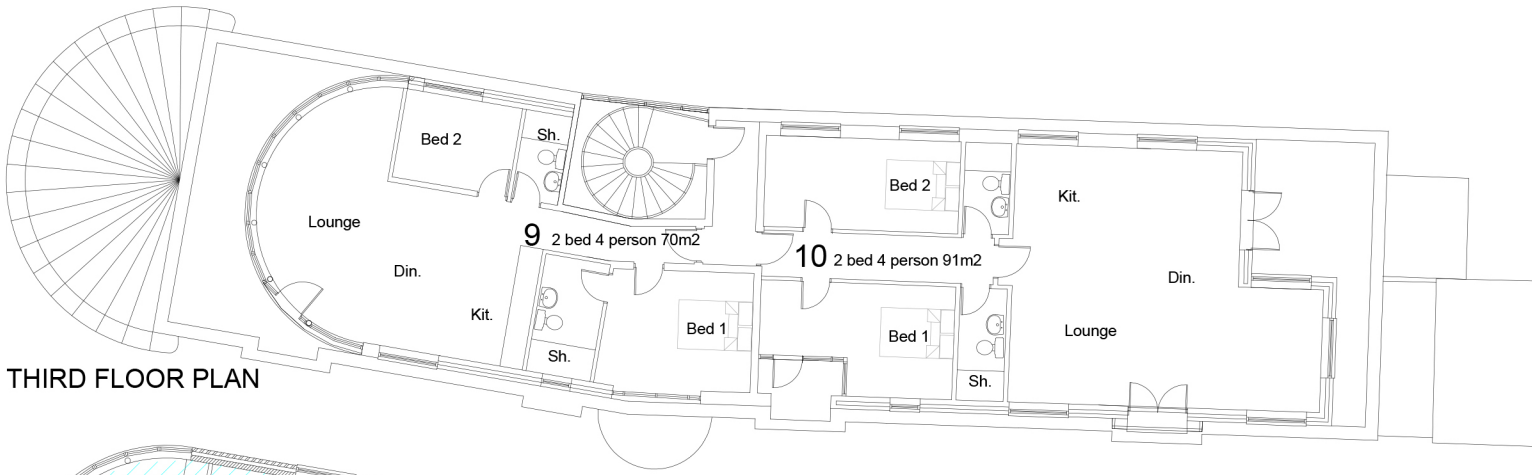
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Date: MAR 2015

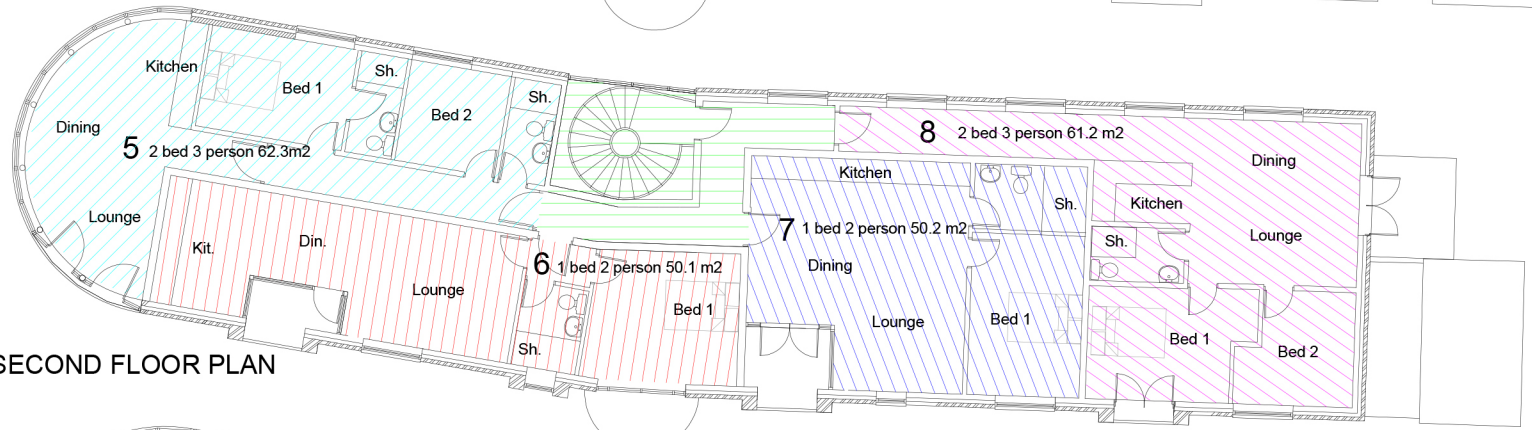
DRAWN BY: RG

Title: Proposed Elevations

Address: Former Ticket Office Site Surrey Street Norwich



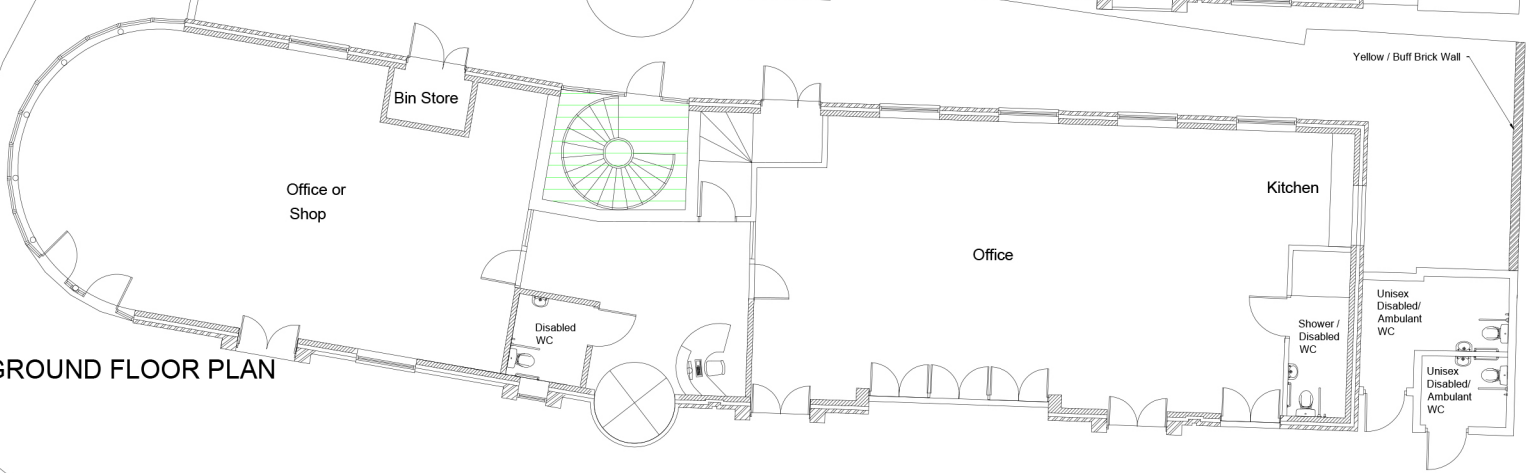
THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



GROUND FLOOR PLAN

- C June 15 Toilets, Top Storey revised.
- B Apr 15 external areas removed from flat sizes
- A Jan 15 shower room, rear access, balconies

REV	DATE	DESCRIPTION
Plan No. 01-01-15-2-1212 (04C)		
Scale	1:100 @ A2	
Date	MAR 2015	
DRAWN BY	RG	
CHECKED BY		

Title: Proposed Floor Plans

Address: Former Ticket Office Site Surrey Street Norwich

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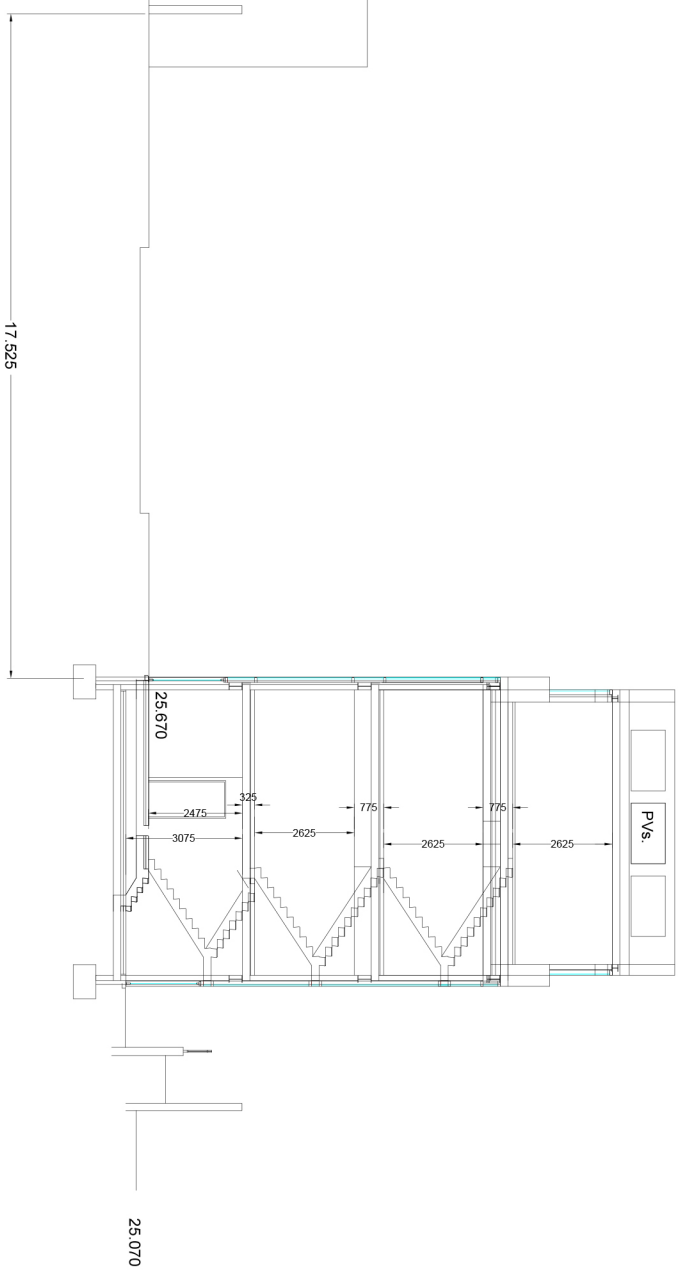


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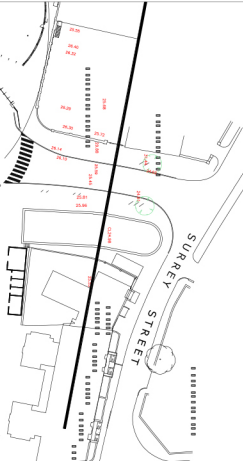
FREE SCHOOL

SITE SECTION

ALDRIDGE LANDSDELL

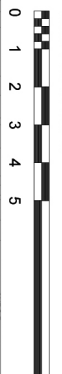


20.0



KEY

SCALE IN METRES



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A		B	
REV	DATE	REV	DATE
		1	Mar '15
		2	upper floor plans
		3	Roof and parapet details
		4	
		5	
		6	
		7	
		8	
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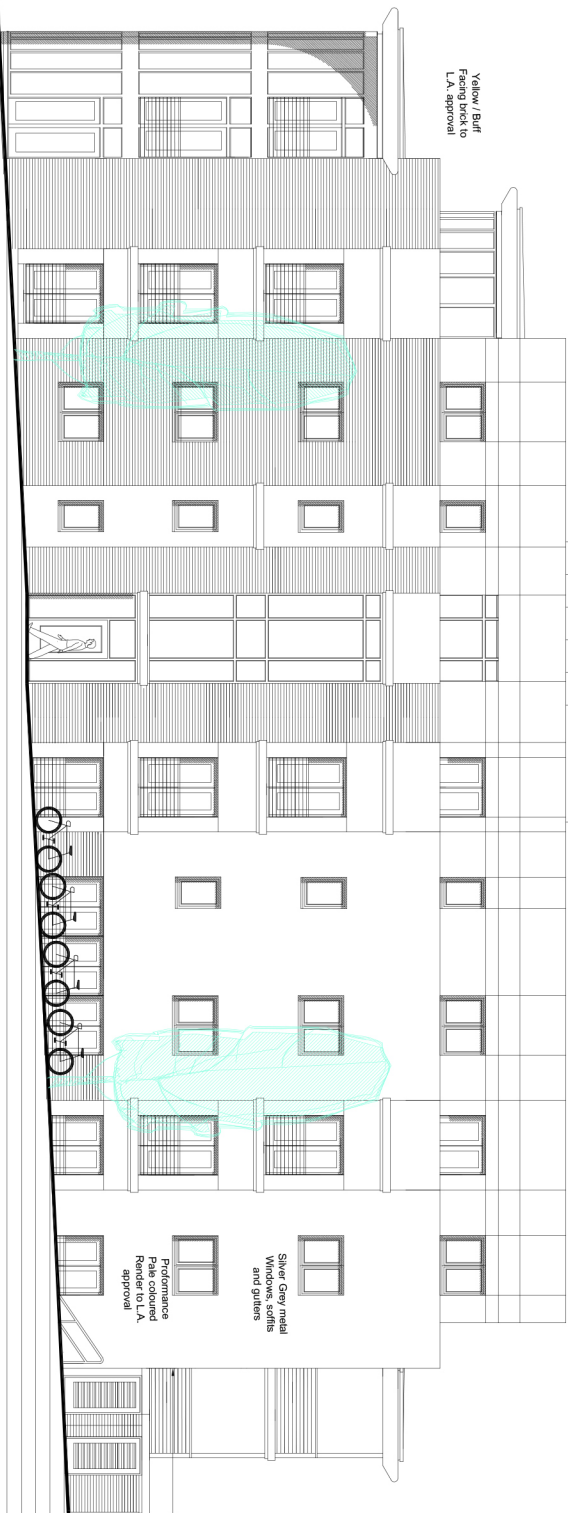
Scale	Date	Drawn By	Checked By
1:100 @ A2	MAR 2015	RG	AS

NPS Property Consultants LTD

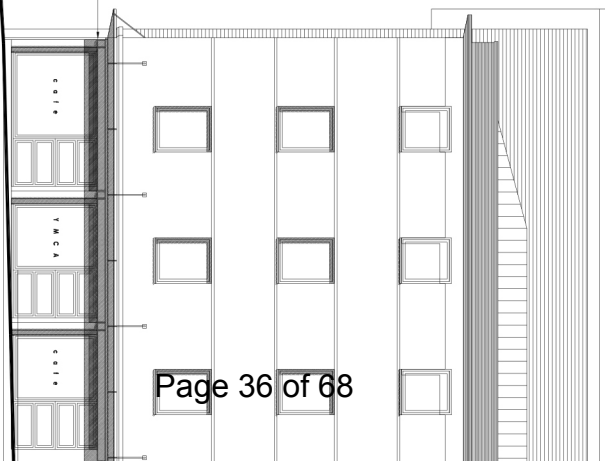
- NORWICH LANCASTER HOUSE TEL: 01603 709001 FAX: 01603 709001
- NORWICH COUNTY HALL TEL: 01603 222613 FAX: 01603 222719
- LONG STATION TEL: 01508 536400 FAX: 01508 535110
- AVISHAM TEL: 01263 738200 FAX: 01263 737352
- KINGS LYNN TEL: 01553 782400 FAX: 01553 778241

Address: Former Ticket Office Site Surrey Street Norwich

ALDRIDGE LANDSDELL



PEDESTRIAN ROUTE



Yellow / Buff
Facing block to
L.A. approval

Performance
Profile
Render to L.A.
approval

Silver Grey metal
Windows, soffits
and gutters

8273

KEY

SCALE IN METRES



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REV	DATE	DESCRIPTION	SCALE	DRAWN BY	CHECKED BY
B	June 15	Toilet, top story, trees	1:100 @ A2	RG	AS
			01:01:15:2:1212 (899)		
			MAR 2015		

NPS Property Consultants LTD
 NORWICH LANCASTER HOUSE TEL: 01603 709900 FAX: 01603 709001
 NORWICH COUNTY HALL TEL: 01603 222413 FAX: 01603 222719
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 AYSHAM TEL: 01263 738200 FAX: 01263 731732
 KINGS LYNN TEL: 01553 776240 FAX: 01553 776241

Address
Former Ticket Office Site Surrey Street Norwich

Report to Planning applications committee

Item

09 July 2015

Report of Head of planning services

Subject Application no 15/00736/NF3 – Heathgate open space,
Norwich

4(B)

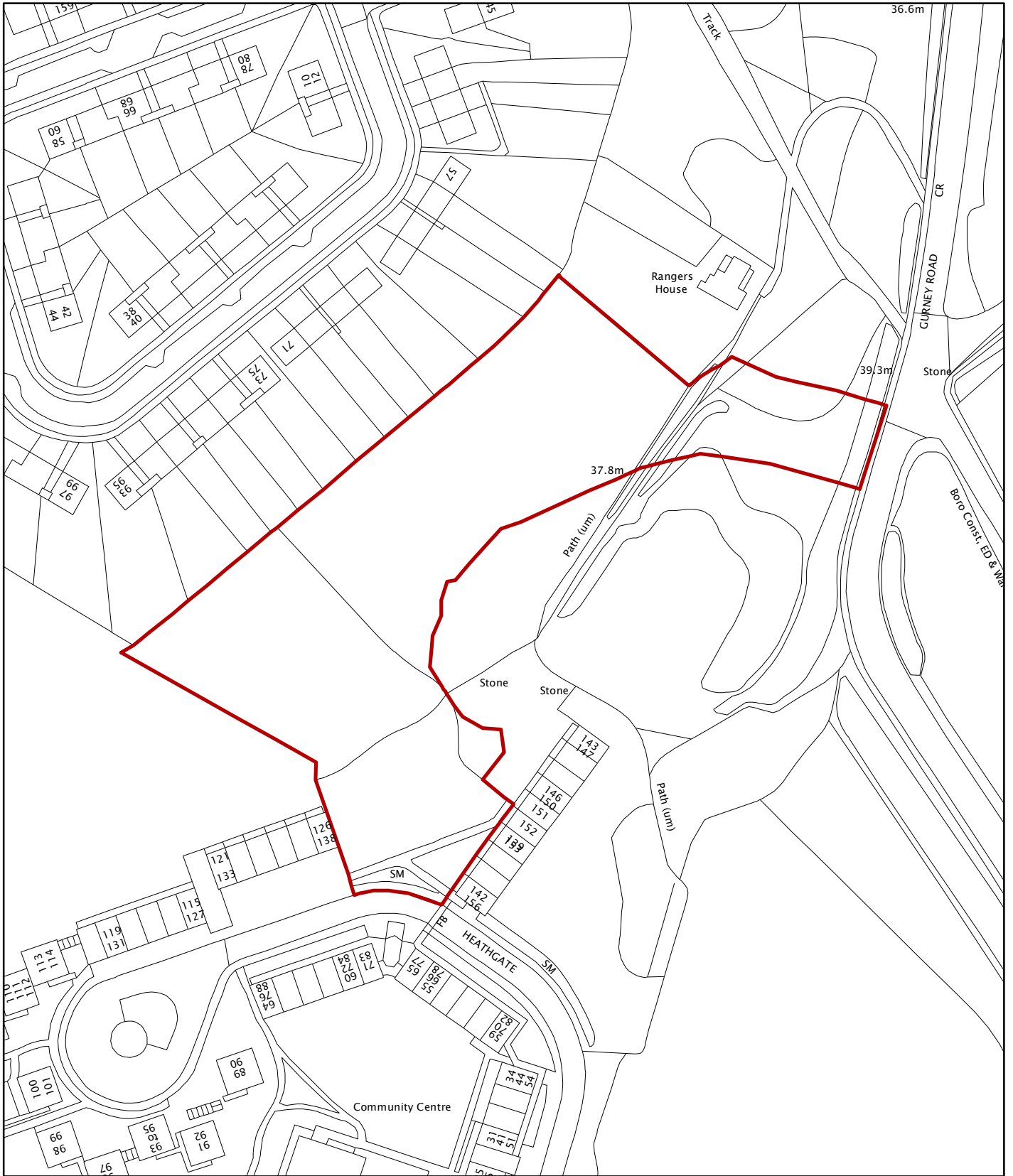
**Reason
for referral** City council application and site

Applicant Norwich City Council

Ward:	Thorpe Hamlet
Case officer	Mr Steve Fraser-Lim - stevefraser-lim@norwich.gov.uk

Development proposal		
Cycle pathway from Gurney Road to Heathgate including associated landscaping and lighting.		
Representations		
Object	Comment	Support
0	0	0

Main issues	Key considerations
1	Principle of development, and impact upon designated open space.
2	Layout, scale, external appearance and landscape
3	Impact upon trees and biodiversity
Expiry date	7 July 2015
Recommendation	Approve subject to conditions



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Planning Application No 15/00736/NF3

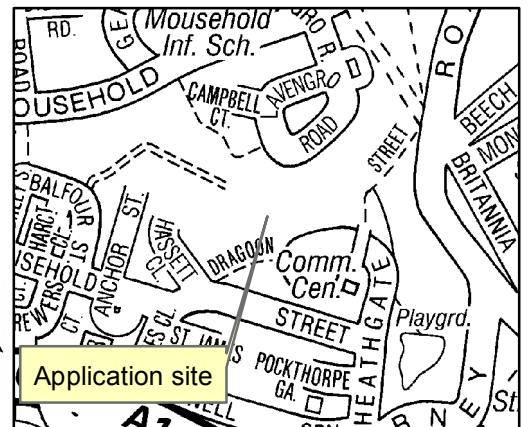
Site Address Heathgate Open space

Scale 1:1,250



NORWICH
City Council

PLANNING SERVICES



The site and surroundings

1. The application site comprises of a 0.8 hectare strip of land linking from Gurney Road to Heathgate. The site includes grassed amenity space at the rear of Heathgate flats to the south, as well as scrub and heathland on north east side of the site adjacent to Gurney Road, forming part of Mousehold Heath. The site includes groups of mature trees within both grassed and scrub areas, as well as some existing concrete footpaths, and bin storage area adjacent to Heathgate flats.
2. The surrounding area is characterised by residential development of varying styles, interspersed with significant areas of landscaping and open space. Residential development adjoins to the south, and the north west, with open space to the west and Mousehold Heath to the east.

Constraints

3. Parts of the site are identified as forming publicly accessible open space and woodland within the Development Management Policies Plan 2014, where policy DM6 is of particular relevance.
4. The St James Pit Site of Special Scientific Interest (SSSI), designated due to its geological interest is located immediately to the west of the site, and Mousehold Heath on the opposite side of Gurney Road to the east is designated as a Local Nature Reserve and County Wildlife Site.

Relevant planning history

5.

Ref	Proposal	Decision	Date
14/01070/NF3	Erection of a cycle route from Hassett Close to Gurney Road with associated landscaping including a viewing 'mound' and tree planting.	Approve	01/10/2014

The proposal

6. The proposals are for construction of a cycle route, comprising a 3m wide asphalt hard surface from Gurney Road to Heathgate. In order to overcome the significant level changes over the route, a switch back ramp is proposed on the southern part of the site rising from Heathgate, to the higher ground at the rear of the Heathgate flats. 1.4m high metal railings are proposed adjacent to the ramps. The cycle route would cut across grassed amenity areas at the rear of the Heathgate flats before passing in a cutting through scrub heathland to join with Gurney Road.
7. Motion sensitive lighting is proposed along the route. Up to two trees would be lost during construction of the cutting adjacent to Gurney Road. 2 trees are proposed to

be removed to facilitate the proposals although 40 replacement trees are proposed to be planted to mitigate this loss.

8. The proposals are part of a wider programme to develop a high quality cycle network linking the Norfolk and Norwich University Hospital, UEA, city centre, Heartsease and Broadland. The programme, referred to as ‘push the pedalways’ will see a series of programmes for improvements to the pink pedalway and connections leading to it.
9. The proposals would serve a similar function to the previously approved scheme (see history section, in providing a key linkage between Heartsease, Barack Street and the City Centre. Unfortunately following further feasibility studies it was found that the previously approved scheme would be too costly and complex to construct. Therefore this current proposal has been submitted as a more feasible alternative. The proposed cycle route will still link with Barack Street and the city centre, but in a less direct manner using Heathgate and Cannell Green, rather than a dedicated path across a larger area of open space.

Summary information

Proposal	Key facts
Appearance	
Materials	3m wide asphalt cycleway, concrete retaining slabs adjacent to switch back, timber clad retaining fence within cutting adjacent to Gurney Road. 1.4m high metal ‘kee clamp’ railings, lighting columns and timber bollards in places.
Energy and resource efficiency measures	Motion sensitive lighting, designed to switch off when the path in not in use.

Representations

10. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. No letters of representation have been received. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Consultation responses

11. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Highways England

12. No objection. The path is remote from the highway network and therefore of no interest to the Highways England.

Tree Officer

13. No objection. The proposed access through Heathgate open space will require minimal loss of trees with only 2 Sliver Birch being removed to facilitate the works and it is proposed that approximately 40 trees are to be planted to mitigate this loss. However the proposal will require considerable changes in levels throughout its route, with some minor severance within the root protection areas of trees to be retained (>6.5%). This is acceptable.
14. It is proposed that a no-dig construction is to be used within the root protection area of oak tree T847, again which is acceptable. This particular element of the works should be monitored closely by the project arboriculturalist. Given the nature of the works and its close proximity to adjacent trees it is necessary to ensure a proactive schedule of arboricultural monitoring throughout any permitted works to ensure the well being of those trees to be retained immediately adjacent to the proposed access.
15. Conditions should be placed on any permission requiring compliance with the submitted Arboricultural Report, and submission of a detailed schedule of the Arboricultural monitoring/supervision for our approval, prior to commencement of development. This should include a pre -commencement meeting with the Project Arboriculturalist, Project and Site Manager and Ground works team.

Landscape

16. The proposals are generally acceptable. However the height of the railings seems unduly high, and the Kee-Klump railings are utilitarian in appearance. Timber posts with tubular railings at a lower height would be more suitable. The proposed retaining structure comprising concrete slabs could be hard in appearance. Details of its appearance should be provided. In addition the suggested relocation of the football pitch is shown on a considerable slope. Consideration should be given for alternative locations with less of a level difference.

Assessment of planning considerations

Relevant development plan policies

17. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS3 Energy and water
 - JCS6 Access and transportation
 - JCS9 Strategy for growth in the Norwich policy area
18. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM3 Delivering high quality design
 - DM6 Protecting and enhancing the natural environment
 - DM7 Trees and development
 - DM8 Planning effectively for open space and recreation
 - DM28 Encouraging sustainable travel

Other material considerations

19. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF4 Promoting sustainable transport
- NPPF7 Requiring good design
- NPPF8 Promoting healthy communities
- NPPF10 Meeting the challenge of climate change, flooding and coastal change
- NPPF11 Conserving and enhancing the natural environment

Case Assessment

20. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development, and impact of the proposals upon designated open space

21. Key policies and NPPF paragraphs – DM12, NPPF paragraphs 49 and 14.
22. The push the pedalways programme is aimed at developing a high quality cycle network between the city centre other major employment sites and institutions in the city. The programme aims to encourage more people to travel by bicycle in a safe environment. The proposals are identified within the Norwich Area Transport Strategy (NATS), part of which seeks to provide new links to help to improve pedestrian and cycle environment.
23. The proposed cycle route will support the development of a network safe and convenient cycle routes throughout the city. This will encourage travel by sustainable modes of transport into and out of the city centre, promote healthier patterns of living and reduce carbon dioxide emissions. As such the proposals are strongly encouraged by JCS policies 1, 6, 7 and 11, and Local Plan policy DM28. The proposed route would provide a less direct cycle route for cyclists in comparison to the previously approved scheme. However it would still result in a significant improvement in cycle provision in comparison to the existing situation. As such the principle of the proposed cycle route is supported.
24. Policy DM8 sets out a similar presumption against development upon open space unless this is for sport / recreation, would improve recreational facilities and would not result in significant biodiversity impacts.
25. The proposed cycle route would be sited within this designated open space comprising a 3m wide cycleway and lighting which would occupy an area of available open space, and would cut across an unconventionally sized football pitch

with goals. As such proposals could have the potential to impact upon the overall recreational value of this space.

26. However the designated area of open space comprises predominantly mown grass of limited biodiversity value (with the exception of some trees which are considered in a separate section below). A replacement football pitch with existing goals is proposed to be re-provided to the west of the proposed cycleway. The cycleway would also facilitate access through and to the open space and Mousehold Heath to the east, which would be of benefit to the local community, as well as the wider public interest. As such the proposals are considered to accord with Policy DM8.

Main issue 2: Layout, scale, external appearance and landscape

27. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 9, 17, 56 and 60-66.
28. The proposed cycle way would be simply designed with asphalt surface and associated lighting, and simple metal railings surrounding the switchback ramp, with concrete retaining slabs. Timber cladding to retaining walls within the proposed cutting to soften this area of the route.
29. Concerns raised by statutory consultees with regard to the utilitarian design of the proposed Kee Klamp railings concrete clad retaining wall adjacent to the Heathgate flats are noted. However they are similar to other paths and railings in the surrounding area and as such would not detract significantly from the appearance of the site or its surroundings. In addition it is accepted that the height of railings would make them more prominent, but that this height is required to ensure adequate safety for cyclists. The use of timber cladding to the retaining walls of the cutting is welcomed as it will be likely to be colonised by heathland plant species and will help to soften the appearance of the proposals in this more sensitive location adjacent to the heathland. As such the proposed cycle path design would not detract unduly from the appearance of the surrounding area, in accordance with the above policies.

Main issue 3: Impact upon trees and biodiversity

30. Key policies and NPPF paragraphs – DM6, DM7. NPPF paragraphs 9 and 17.
31. The north eastern area of the site comprises heathland which adjoins a designated Local Nature Reserve and County Wildlife Site (Mousehold Heath). Policy DM6 requires development to take reasonable opportunities to avoid harm to and protect and enhance the natural environment of Norwich.
32. The proposals would result in the loss of areas of overgrown scrub and two Silver Birch trees close to the Heathgate flats, as well as excavation of a cutting for the cycle path. However this area of the site forms part of Mousehold Heath, an area traditionally comprising acidic grassland and heath, which provide favourable habitat for reptiles and invertebrates. More recently the area has been colonised by invasive tree species such as Sycamore and Silver Birch, which introduced a secondary woodland habitat. The removal of existing scrub vegetation and some invasive trees will help to restore heathland habitat in this location, which is considered to be of greater biodiversity value and more appropriate in this location than the existing secondary woodland. Replacement tree planting is proposed

within the open space in a location which is more appropriate for tree planting than land adjacent to Mousehold Heath.

33. In addition further mitigation measures in the form of motion sensitive lighting to reduce lighting levels when not required are proposed, and minimise impact on bat foraging routes. Conditions are recommended requiring arboricultural supervision during works in proximity of root protection areas, to ensure that trees identified for retention, are retained. Subject to these conditions the proposals are not considered to detract unduly upon trees, biodiversity, protected species and the ecological value of the surrounding area in accordance with policies DM6 and DM7.
34. In addition as the proposals would bypass the nearby Site of Special Scientific Interest and they are not considered to detract from the geological interest of this site.

Compliance with other relevant development plan policies

35. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Energy efficiency	JCS 1 & 3 DM3	The proposed motion sensitive lighting will help to conserve energy, and demonstrate a response to climate change.
Amenity	DM2	The proposals would bring an increased number of cyclists and pedestrians in closer proximity to residential properties at Heathgate. However there are already a number of footpaths in this location and as such the proposals would not result in a significant loss of amenity to these adjacent occupiers in terms of noise, disturbance or light pollution.

Equalities and diversity issues

36. There are no significant equality or diversity issues.

Local finance considerations

37. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
38. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.

39. In this case local finance considerations are not considered to be material to the case.

Conclusion

40. The proposals would improve pedestrian and cycling facilities, support sustainable modes of transport and healthier patterns of living as supported by JCS and Local Plan policies. They would not harm the quality of existing open space on the site. Whilst the proposals would result in the loss of two trees their removal would have some biodiversity benefits in terms of restoring heathland habitat. Loss of trees on site is mitigated by replacement tree planting and landscaping.

41. The proposals would also not result in harm to residential amenity or the appearance of the surrounding area. As such the proposals would be in accordance with the aforementioned policies.

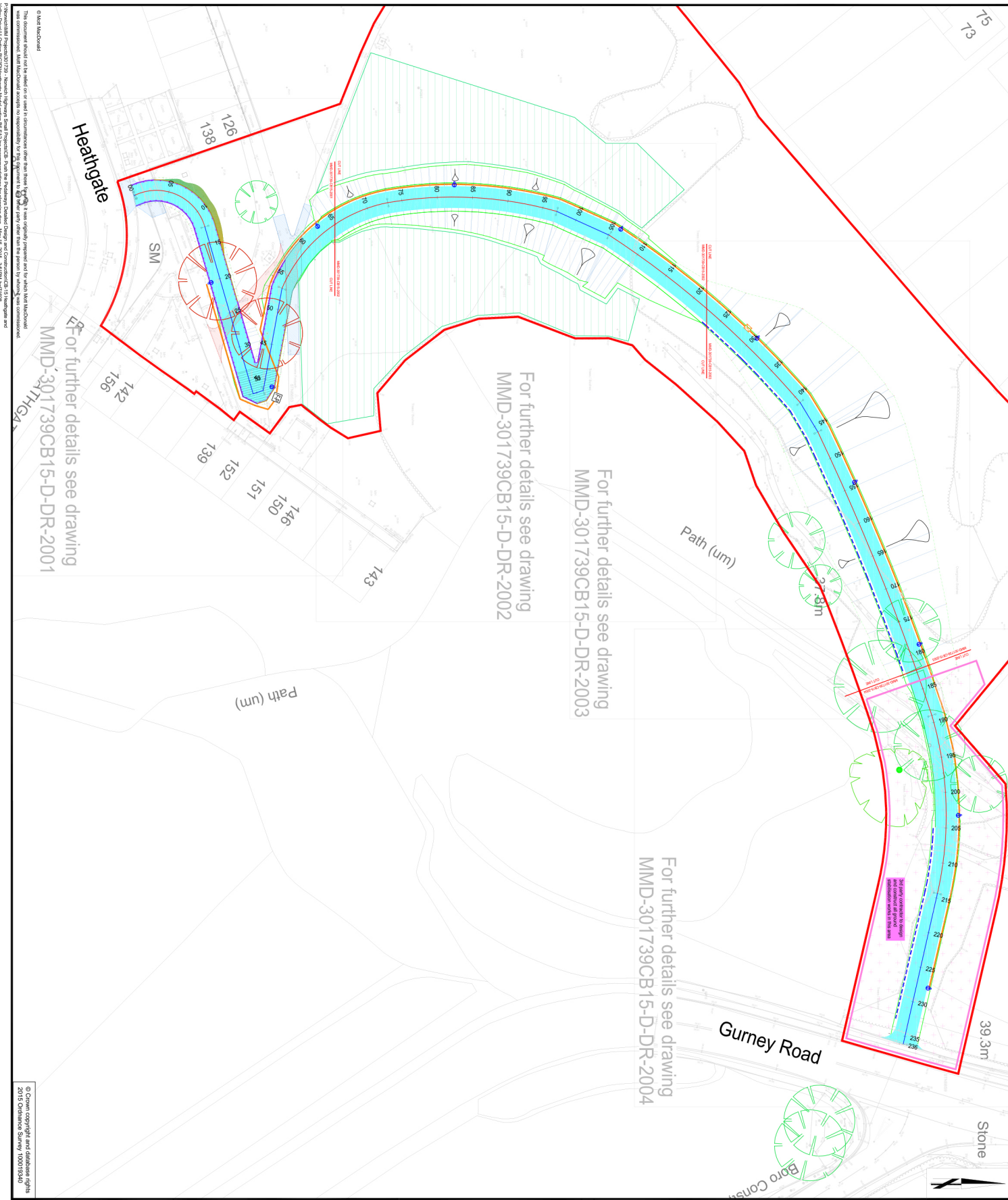
Recommendation

Grant planning Permission subject to the following conditions:

1. Standard time limit;
2. Development in accordance with approved plans;
3. Landscaping (to include details of paving materials, replacement tree planting);
4. Development in accordance with the Arboricultural report;
5. Submission of a detailed schedule of the Arboricultural monitoring/supervision;
6. No removal of trees and vegetation to be carried out outside of the main bird nesting season (March-September)

Article 35(2) statement

...



<p>Notes</p> <ol style="list-style-type: none"> 1. Do not scale from this drawing. 2. All levels in m AOD unless otherwise noted. 3. All dimensions given in metres unless otherwise noted. 4. To be read in conjunction with other drawing parts. 5. All drawings are the property of Mott MacDonald. 6. Any drawing errors or discrepancies should be brought to the attention of Mott MacDonald at the address shown in the title block. 7. Setting out coordinates to National Grid Eastings and Northings unless otherwise stated. 8. Elevation levels based on topographic survey. 		<p>PUSH THE PEDALWAYS</p>																							
<p>Key to symbols</p> <p>Refer to sheet 2 to 5 for details</p>																									
<p>Reference drawings</p>		<p>1/4 Floor East Wing, 69-73 Troop Road London, NW10 6TU, UK T +44 (0)20 2282800 F +44 (0)20 2282800 www.mottmacdonald.com</p>																							
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<p>Client</p> <p>NORWICH City Council</p> <p>John Manton Deputy Chief Executive City Hall, 60-62 College Street Norwich, Norfolk NR1 1JY Tel: 01603 400 2333 pedalway@norwich.gov.uk</p>		<p>Mott MacDonald</p>																							
<p>Title</p> <p>Push the Pedalways Heathgate General Arrangement Sheet 1 of 5</p>		<table border="1"> <thead> <tr> <th>Designed</th> <th>RI Hill</th> <th>Eng check</th> <th>S. Cliff</th> </tr> </thead> <tbody> <tr> <td>Drawn</td> <td>RI Hill</td> <td>Coordination</td> <td>RI Hill</td> </tr> <tr> <td>Dwg check</td> <td>S. Cliff</td> <td>Approved</td> <td>M. Firth</td> </tr> <tr> <td>Scale at A1</td> <td></td> <td>Status</td> <td>Rev</td> </tr> <tr> <td>1:250</td> <td></td> <td>TEN</td> <td>0</td> </tr> </tbody> </table>	Designed	RI Hill	Eng check	S. Cliff	Drawn	RI Hill	Coordination	RI Hill	Dwg check	S. Cliff	Approved	M. Firth	Scale at A1		Status	Rev	1:250		TEN	0			
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Report to Planning applications committee

Item

09 July 2015

Report of Head of planning services

Subject Application no 15/00694/F – 12 Mile End Road,
Norwich, NR4 7QY

4(C)

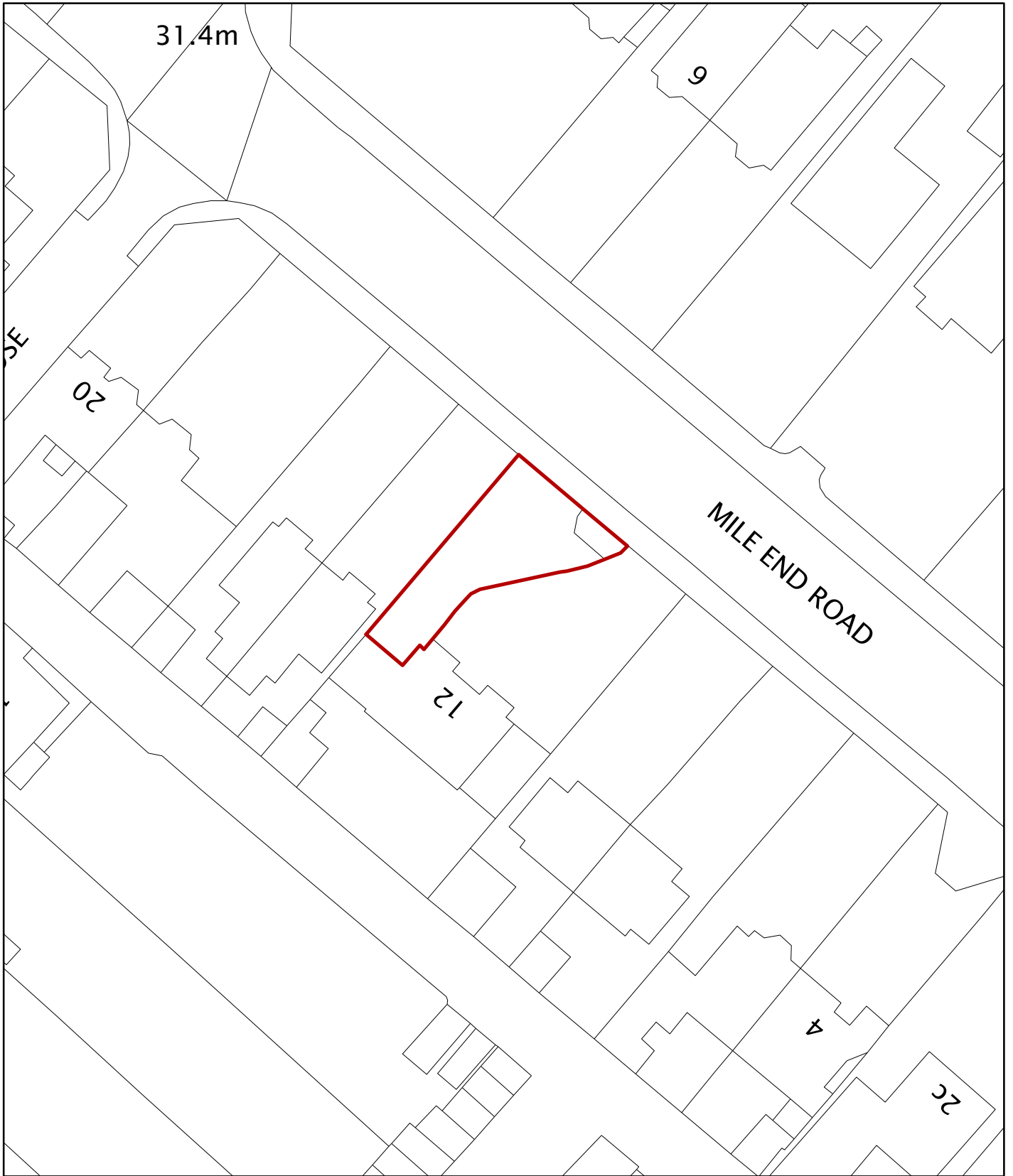
**Reason
for referral** Objection

Applicant Mr Robert Leverett

Ward:	Eaton
Case officer	Stephen Polley - stephenpolley@norwich.gov.uk

Development proposal		
External changes to front elevation.		
Representations		
Object	Comment	Support
2	0	0

Main issues	Key considerations
1 Design and heritage.	Impact of the proposals upon the appearance of parent building and the character and appearance of the conservation area.
Expiry date	23 July 2015
Recommendation	Approve



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Planning Application No 15/00694/F

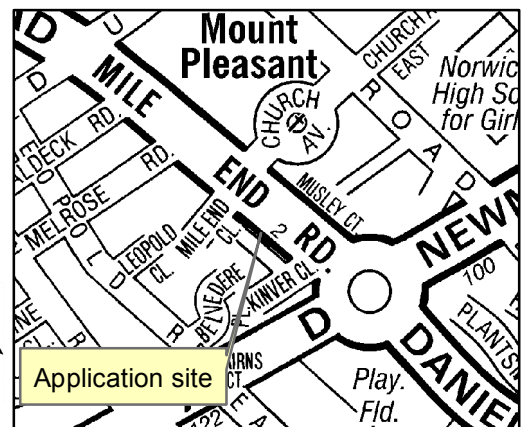
Site Address 12 Mile End Road

Scale 1:500



NORWICH
City Council

PLANNING SERVICES



The site and surroundings

1. The site is located on the southern side of Mile End Road to the south-west of the city. Mile End Road forms part of the outer ring road, with the site located in between the busy intersections with Unthank Road and Newmarket Road. The predominant character of the area is residential, comprising large 2-storey detached and semi-detached dwellings built in a variety of Victorian and early twentieth century styles. Many of the properties in the area set far back from the road and as a result feature large, mature front gardens.
2. The subject property is a large 2-storey detached dwelling formerly known as Albion Villa, constructed using buff bricks during the middle of the eighteenth century. The property was built as a 'Villa' style dwelling and contains many features typical of the period including a double bay frontage, large sash windows and a grand front entrance porch with classical detailing including prominent Doric columns.
3. The subject property is set well back from Mile End Road and benefits from a large gravel driveway. The whole of the property is well screened by large mature trees, with complete views only possible when viewed from the entrance gate at the front of the site.
4. A 2 storey extension has been added to the west side of the original dwelling at a later date to predominantly serve as a garage. The ground floor is built close to the front elevation of the main house and contains a timber garage door. A sloping tiled roof then leads to the second floor which is set 1.5m further back from the front elevation of the main house and features 2 small windows. The extension has been finished in a light cream coloured render.
5. The site is bordered by the adjoining property no.10 to the east, a more modern detached dwelling and no.14 to the west a large semi-detached dwelling. Both east and west boundaries are marked by large mature planting acting as screening between properties. The north boundary to the front is also marked by large mature planting which screens the majority of the site from the road and pavement.

Constraints

6.
 - Conservation Area: Unthank & Christchurch
 - Locally Listed Building

Relevant planning history

7. None.

The proposal

8. The proposal is for the conversion of the existing garage extension to be converted into a home office space at ground floor level. To facilitate the conversion the timber garage door is to be replaced by an aluminium framed window, the tiled sloping roof is to be replaced with aluminium framed glazing and the 2 first floor window openings are to be enlarged creating 1 larger aluminium framed window opening.

9. It should be noted that the proposed conversion of the garage is not considered to constitute a change of use as the office would remain ancillary to the main dwelling.

Summary information

Proposal	Key facts
Scale	
No. of storeys	Ground floor conversion and associated fenestration alterations.
Max. dimensions	See attached composite plans
Appearance	
Materials	Powder coated aluminium framing Glazing

Representations

10. Adjacent and neighbouring properties have been notified in writing. 2 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Design not sympathetic to Victorian frontage Window style should be in keeping with main house	See main issue 1.
Design should be in keeping with surrounding conservation area	See main issue 1.

Consultation responses

11. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Assessment of planning considerations

Relevant development plan policies

12. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
13. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM9 Safeguarding Norwich's heritage
 - DM31 Car parking and servicing

Other material considerations

14. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
 - NPPF0 Achieving sustainable development
 - NPPF6 Delivering a wide choice of high quality homes
 - NPPF7 Requiring good design
 - NPPF10 Meeting the challenge of climate change, flooding and coastal change
 - NPPF11 Conserving and enhancing the natural environment
 - NPPF12 Conserving and enhancing the historic environment

Case Assessment

15. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Design and heritage

16. Key policies and NPPF paragraphs – JCS2, DM3, DM9 NPPF paragraphs 9, 17, 56 and 60-66 and 128-141
17. The existing timber garage door opening is to be reduced in scale and replaced with an aluminium framed window. The current garage door measures 1.8m in width and 1.6m in height. The proposed window is to measure only 1.5m in width giving the appearance that it is now centrally located within the front elevation, whilst retaining the original height.

18. The new dimensions of the ground floor opening are to match the positioning within the front elevation of the enlarged first floor window opening, creating a near symmetrical appearance. The current scale of the sash style window openings which measure 0.65m in height are to be retained with the space in-between being opened up and replaced with glazing, creating a new opening with a width of 1.5m. Side opening aluminium window casements are to replace to sash style windows and a single horizontal pane of glass is to be installed within the new central section.
19. The existing slate lean-to roof located between the ground and first floors is to be removed and replaced with a new aluminium frame and filled with translucent glazed panels. The panels are to closely match the dimensions of the original first floor windows above.
20. Concern was raised that the design of the proposal is not sympathetic to original Victorian frontage of the main house and that the window style should be in keeping with main house. It is accepted that the windows currently in place on the front elevation of the side extension are of a vertical style, similar to the much larger original sash windows located on the main house, it is not considered that the enlarged first floor opening will cause significant harm to the appearance of the original dwelling. The side extension was built as to be quite separate from the original dwelling and did not attempt to match the prevailing character. As such, the proposal will have no real impact on the overall of the appearance of the property. The 'squaring off' of the ground floor window opening located within the side extension will in fact assist in creating a more symmetrical appearance, enhancing its appearance.
21. The proposals will have very little impact on the character and appearance of the surrounding conservation area as a result of the location of the side extension within the site and its distance from the highway. The side extension is largely very well screened from Mile End Road to the north where views of the proposal are only possible when looking directly down the front drive. Large mature trees and a distance of 12m from the footpath outside help to ensure that the proposal will have little impact on the overall character of the conservation area.
22. The side extension was originally designed to appear subservient to the original dwelling and was set back from the front elevation. The first floor front elevation where the enlarged window opening is located has been set back from the projecting bays by a minimum of 2m. The original dwelling which is the primary contributor to the surrounding character is unaffected by the proposal.

Compliance with other relevant development plan policies

35. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Amenity	DM2	The proposal will have no impact on the residential amenities of surrounding properties as a result of the scale of the works proposed and the location of the side extension within the site. The enlarged window and new glazing will face directly onto the front driveway where mature planting provides ample screening to ensure no views into neighbouring properties are possible.
Car Parking	DM31	The loss of a car parking space within the garage as a result of the conversion will cause no harm as there is ample parking space located within the front driveway.

Equalities and diversity issues

23. There are no significant equality or diversity issues.

Local finance considerations

24. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.

25. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.

26. In this case local finance considerations are not considered to be material to the case.

Conclusion

27. The altered and enlarged window openings will not detract from the original appearance of the main dwelling as a result of the location of the works within the site. Similarly, the proposal will have no significant impact on the character of the surrounding conservation area as a result of the scale and location of the works within the site.

28. The proposal will have no impact on neighbouring amenities, nor will it impact upon the amenities of the occupiers of the subject property.

Recommendation

To approve application no. 15/00694/F – 12 Mile End Road NR4 7QY and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;

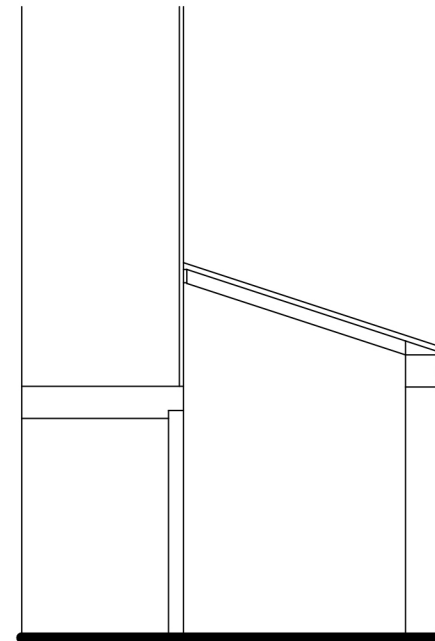
Article 35(2) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined above.

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Elevation to Road



Section

Painted timber framed and glazed side hung garage doors

REV.	DATE	DESCRIPTION	AMD BY	CHKD BY
DRAWING ISSUE STATUS:				



 The Studio
 82 St Leonards Road
 Norwich, Norfolk
 NR1 4JF
 T: 01603 610200
 E: enquiries@readspicer.com

CLIENT
 Mr. & Mrs. R. Leverett

PROJECT
 12 Mile End Road Norwich
 Garage to Office

DRAWING TITLE
 Elevation (existing)



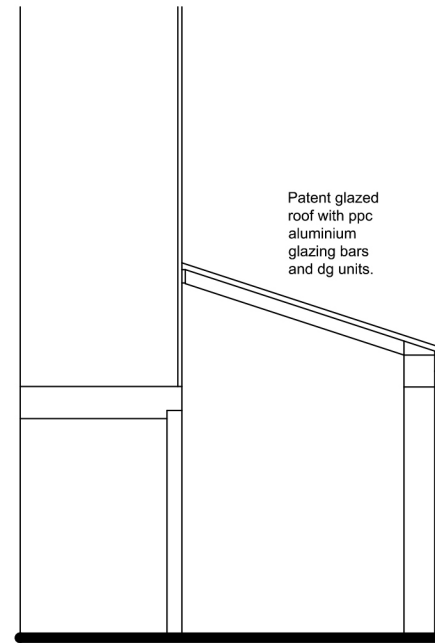
SCALE 1:50	DATE Apr 2015	DRAWN BY mps	CHECKED BY mps
PROJECT NO. 00864	DRAWING NO. PRE 03	REV	

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Elevation to Road

Ground floor opening altered in width and garage doors replaced with high performance dg window in ppc aluminium frame



Section

Patent glazed roof with ppc aluminium glazing bars and dg units.

REV.	DATE	DESCRIPTION	AMD BY	CHKD BY
DRAWING ISSUE STATUS:				

readspicer ARCHITECTURE
 www.readspicer.com

RIBA Chartered Practice
 The Studio
 82 St Leonards Road
 Norwich, Norfolk
 NR1 4JF
 T: 01603 610200
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CLIENT
 Mr. & Mrs. R. Leverett

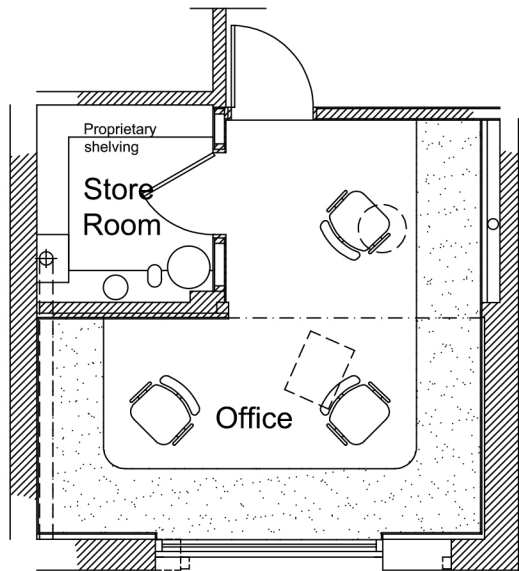
PROJECT
 12 Mile End Road Norwich
 Garage to Office

DRAWING TITLE
 Elevation (proposed)



SCALE 1:50	DATE Apr 2015	DRAWN BY mps	CHECKED BY mps
PROJECT NO. 00864	DRAWING NO. PRE 04	REV A	

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Wall panelled & drylined to conceal existing pipework

Opening reduced in width and wall drylined with plasterboard and insulation

Floor Plan

REV.	DATE	DESCRIPTION	AMD BY	CHKD BY
DRAWING ISSUE STATUS:				





The Studio
 82 St Leonards Road
 Norwich, Norfolk
 NR1 4JF
 T: 01603 610200
 E: enquiries@readspicer.com

CLIENT
 Mr. & Mrs. R. Leverett

PROJECT
 12 Mile End Road Norwich
 Garage to Office

DRAWING TITLE
 Floor Plan (proposed)



SCALE	DATE	DRAWN BY	CHECKED BY
1:50	Apr 2015	mps	mps
PROJECT NO.	DRAWING NO.	REV	
00864	PRE 02	A	

Report to Planning applications committee

Item

09 July 2015

Report of Head of planning services

Subject Application no 15/00696/F – 92 Mill Hill Road,
Norwich, NR2 3DS

4(D)

**Reason
for referral** Objection

Applicant Mr Richard Evans

Ward:	University
Case officer	Stephen Polley - stephenpolley@norwich.gov.uk

Development proposal		
Demolition of garage and erection of two storey side and rear extension.		
Representations		
Object	Comment	Support
3	0	0

Main issues	Key considerations
1 Residential amenity	The impact of the development on adjoining properties to the west (no.94) overlooking / privacy and east (nos. 88 & 86) –, overlooking / privacy, daylight.
2 Scale, design and heritage	The impact of the development within the context of the row of terrace houses, and character and appearance of the conservation area.
Expiry date	16 July 2015
Recommendation	Approve



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Planning Application No 15/00969/F

Site Address 92 Mill Hill Road

Scale 1:500



NORWICH
City Council

PLANNING SERVICES



The site and surroundings

1. The site is located on the southern side of Mill Hill Road to the west of the city. The predominant character of the area is residential, comprising 2-storey semi-detached and detached dwellings built in styles typical of the late Victorian period. Properties in the area have been built in groups on narrow plots featuring small gardens or driveways to the front and larger, mature gardens to the rear.
2. The subject property is a 2-storey detached buff and red brick dwelling built circa 1900, originally with an 'L' shaped footprint. A projecting 2 storey dual-pitched roof rear element is shared with the adjoining property to the east and a single storey flat roof extension has been added to the rear of the property. A metal and plastic sun room has also been added within the return at the rear of the property. An array of solar panels has been installed on the rear roof slope.
3. The site is bordered by the adjoining property no.94 to the west which shares the open return space created by the 'L' shaped footprint and no.90 to the east which shares the projecting rear element of the property. To the rear beyond the narrow garden lies a tall retaining, boundary fence and properties located on The Elms.
4. It is noted that the subject property is sited on a steeply sloping piece of land, along with the neighbouring properties on the southern side of Mill Hill Road. The rear gardens are accessed via a set of stairs within the rear garden resulting in the flat roof of the rear extension being the same height of the ground level. Beyond the rear garden a large retaining wall divides the site from larger properties located on The Elms. Mature planting helps to provide screening along shared boundaries, in particular along the western boundary shared with no.94.

Constraints

5.
 - Conservation Area: Heigham Grove
 - Locally Listed Building

Relevant planning history

6. None.

The proposal

7. The proposal is for the demolition of the metal framed sun-room and single storey flat roof located at the rear of the property and for the construction of a single storey replacement rear extension. It is also proposed that the roof-space is converted by way of a single dormer located on the rear roof slope. A new single window is proposed to be installed on the existing first floor projection and the existing array of 4 no. solar panels are to be installed on the roof of the proposed dormer. The only alteration proposed to the front elevation is a small conservation style roof light within the front roof slope, serving an en-suite bathroom.

Summary information

Proposal	Key facts
Scale	
No. of storeys	2 storey and roof space conversion
Max. dimensions	See attached composite plans
Appearance	
Materials	Red brick Grey metal window casements Timber shutter to dormer Wildflower green roof (ground floor extension only)

Representations

8. Adjacent and neighbouring properties have been notified in writing. 2 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Claimed ancient rights to light.	This is not a material planning consideration.
Loss of privacy / increase in overlooking of area to rear of property caused by proposed dormer (no.94). Loss of privacy and overlooking caused by proposed dormer (nos.88 & 86). Loss of light caused by proposed dormer and rear extension (nos.88 & 86).	See main issue 1.
Out of scale / unsympathetic design / out of character	See main issue 2.
Proposals will result in noise disturbance.	The proposed extensions once completed will not result in any increase in noise disturbance other than is likely to be experienced from a residential dwelling.

Consultation responses

9. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Assessment of planning considerations

Relevant development plan policies

10. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
11. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
- DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM5 Planning effectively for flood resilience
 - DM7 Trees and development
 - DM9 Safeguarding Norwich's heritage

Other material considerations

12. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
- NPPF0 Achieving sustainable development
 - NPPF6 Delivering a wide choice of high quality homes
 - NPPF7 Requiring good design
 - NPPF10 Meeting the challenge of climate change, flooding and coastal change
 - NPPF11 Conserving and enhancing the natural environment
 - NPPF12 Conserving and enhancing the historic environment

Case Assessment

13. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Amenity

14. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
15. The key areas for consideration in this application are the potential impacts in terms of overlooking and loss of privacy, overshadowing of gardens and loss of daylight to windows of adjoining properties. The nearest potentially affected properties in relation to these issues are no.94 to the west and no.90 to the east.

Overlooking and Privacy:

16. The proposal includes the construction of a dormer window within the rear roof slope which will allow for the creation of a master bedroom suite within the roof space. The proposed dormer window is to be positioned 0.6m above the eaves of the original roof and will extend across the entire 5m width of the roof space. A 3.5m section of the dormer is to be glazed with the remaining section consisting of a side opening timber shutter. The overall height of the middle point of the dormer will be approximately 7m above ground floor level and approximately 4m above the level of the upper section of the rear garden.
17. Particular concern was raised that the dormer would result in the proposed roof space bedroom overlooking the rear garden of no.94 to the west, resulting in a loss of privacy. It is accepted that the dormer will allow for views across neighbouring properties and into the rear garden of no.94, it is however not considered that the proposal will significantly alter the current situation. Currently an original first floor bedroom window located on the rear wall of the subject property allows for direct views across the side return section and a small portion of the higher level rear garden. Mature planting screens the majority of the upper section of the rear garden of the neighbouring property, with only a small decked area being visible. Indeed, many of the neighbouring properties located on the south side of Mill Hill Road and those on The Elms above will overlook neighbouring properties. The inclusion of a timber shutter on the west section of the dormer will assist in minimising the amount of overlooking of no.94 possible from the proposed bedroom.
18. Similarly, particular concern was raised that the dormer would result in an increase in overlooking of nos. 88 and 86 to the east, resulting in a loss of privacy. However these properties are at least 10m from the application site Again it is not considered that the proposal will significantly alter the current situation. Many of the neighbouring properties are afforded views across the gardens of nos.88 and 86 and it is considered that the proposal will not significantly exacerbate the situation. It should also be noted that the adjoining property to the east, no.90 has not objected to the proposal.

Loss of light:

19. Particular concern was raised regarding the impact that the proposal would have on the amount of natural light reaching nos.88 and 86 to the east. The rear extension cannot possibly cause any loss of light to any of the neighbouring properties on the east as its highest point will not be built any taller than the existing single storey flat roof extension, ensuring that no deviation in the current situation is possible.
20. It is not considered that the proposed dormer will lead to any loss of light of neighbouring properties as a result of its scale, position within the roof slope and

distance from neighbouring properties. In particular, nos.86 and 88 will not suffer any loss of light as they are situated a minimum of 10m from the proposed dormer.

Main issue 2: Design

21. Key policies and NPPF paragraphs – JCS2, DM3, DM9 NPPF paragraphs 9, 17, 56, 60-66 and 128-141.
22. Concern was raised that the proposal is out of scale with the surrounding area. The ground floor extension matches the maximum height of 3.2m of the existing rear extension and is to be built entirely within the lower section of the rear garden. It is to be shorter than the existing extension which projects 3.1m into the rear garden, with the proposed replaced only projecting by 2m. The rear section of the roof is to be finished with a wildflower seeded green roof, which will create a soft transition from the extension into the upper section of the rear garden. The scale and design of the rear extension are therefore considered to be acceptable and are considered to be highly sympathetic towards their impact on the rear of the property and the surrounding conservation area.
23. The proposed dormer is relatively large in scale, being built across the entire width of the property, when compared with traditionally styled dormers. However it does sit 0.6m above the original eaves height and 0.2m below the ridge of the main roof, ensuring that the form of the original roof is preserved. Although larger than most, it is not unusual for dormers of a similar scale to be installed within the surrounding area. Indeed, a large dormer to the east can be viewed from the rear garden of the subject property.
24. The dormer and photovoltaic panels cannot be viewed from the front of the property, nor can it be viewed from the public realm within the surrounding conservation area. It will only be visible from immediate neighbours located to rear and side. It will therefore cause little harm to the overall character and appearance of the parent building and surrounding area conservation area.
25. Only the proposed roof light located within the front roof slope will be visible from the highway. The proposed roof light is of a small scale and is to be a conservation style roof light which will sit flush within the roof slope and will also not harm the character and appearance of the conservation area.

Equalities and diversity issues

26. There are no significant equality or diversity issues.

Local finance considerations

27. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
28. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning

terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.

29. In this case local finance considerations are not considered to be material to the case.

Conclusion

30. The potential for an increase in overlooking is minimal as the dormer will not drastically alter the current situation where a degree of overlooking from many properties has always been possible from upper floor windows.
31. The extensions will have very little impact upon the amount of daylight reaching neighbouring properties as a result of the scale, positioning and distances from neighbouring properties of the extensions.
32. The proposal will result in an extended dwelling which is of an appropriate scale and design, which does not cause significant harm to the character of the original dwelling and that of the surrounding conservation area.
33. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

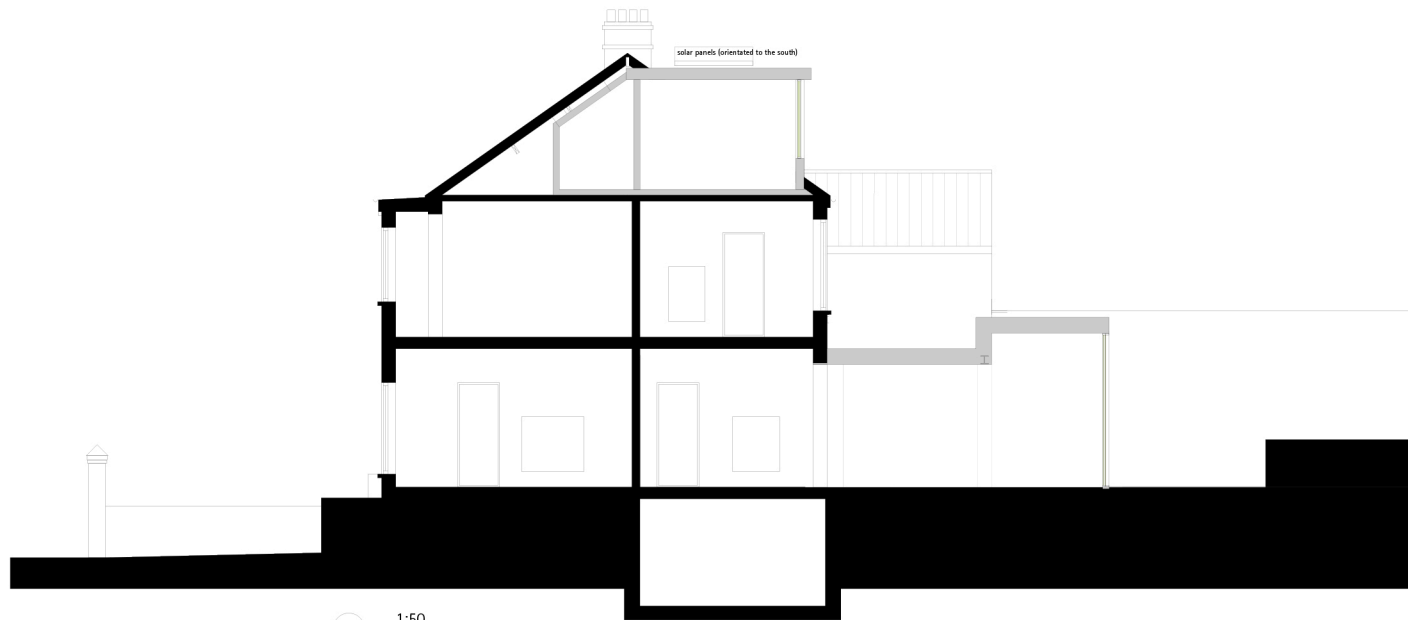
Recommendation

To approve application no. 15/00/F – 92 Mill Hill Road Norwich NR2 3DS and grant planning permission subject to the following conditions:

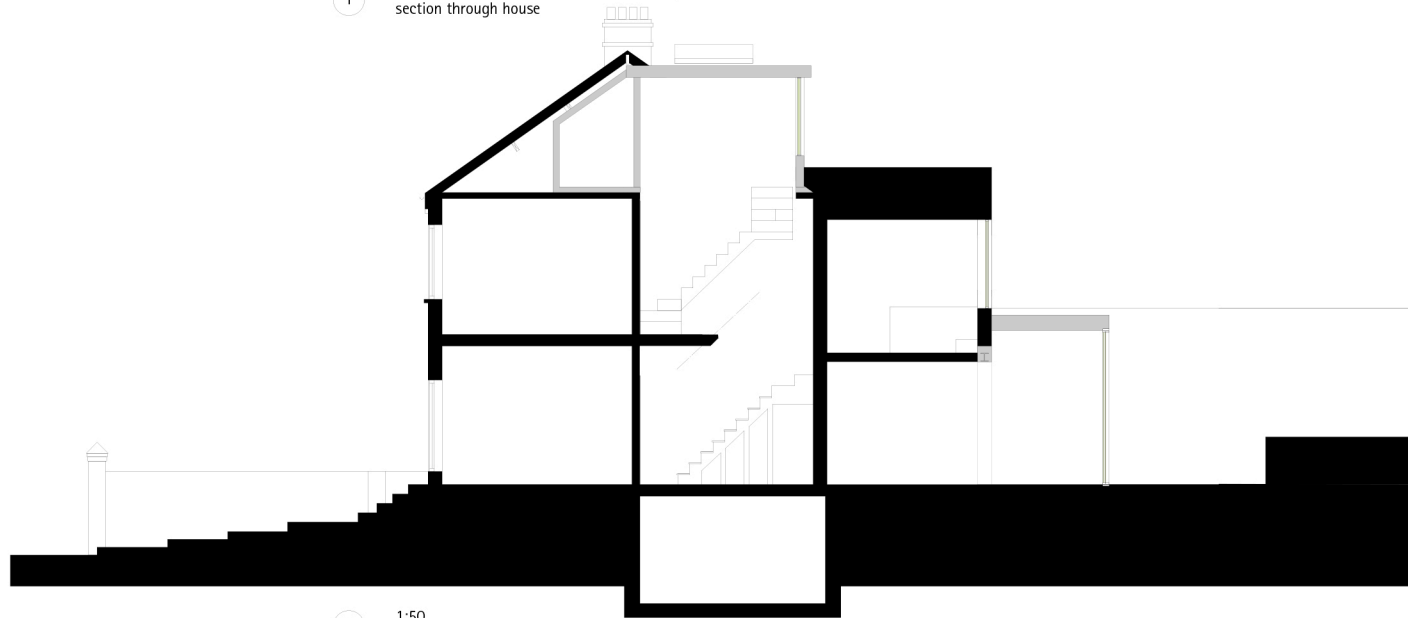
1. Standard time limit;
2. In accordance with plans.

Article 35(2) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined above.



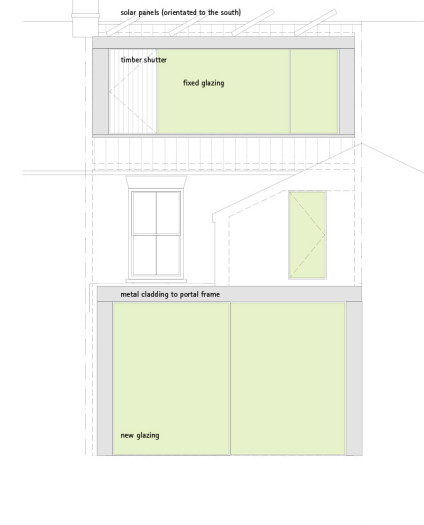
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section through house



2 1:50
section through stair

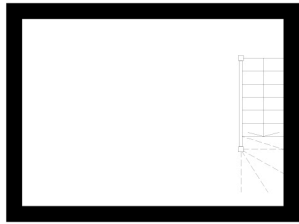


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street elevation

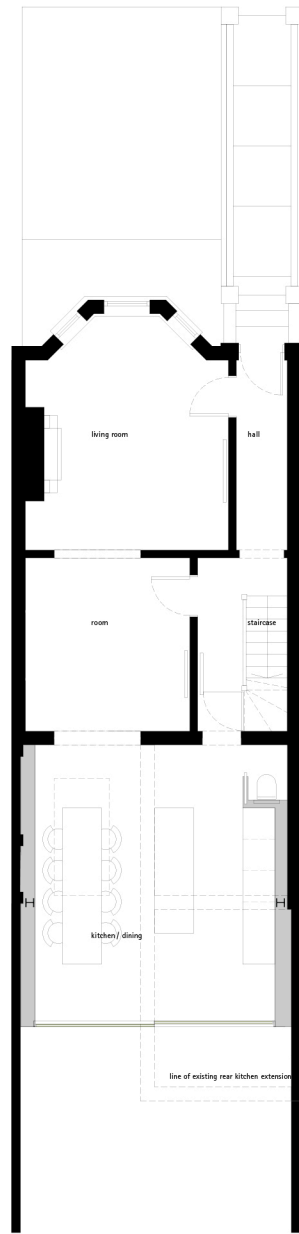


4 1:50
rear elevation

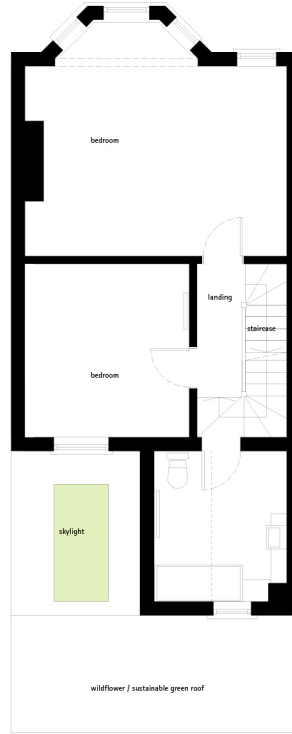
legal notes:	north point	general notes	riba practice	date	revision	notes	client:	drawing title:					
<p>1. this drawing should not be scaled. 2. all dimensions are in millimeters unless otherwise stated. 3. atelier-bill to be notified in writing of any discrepancies. 4. any variations, or supplementary drawings are to be approved by atelier-bill architects. 5. the contractor is to verify all dimensions on site. 6. this drawing is the intellectual property of atelier-bill architects and we reserve the copyright. 7. it is issued on the understanding that it will not be copied, reproduced or disclosed in whole or in part to any unauthorized party without written permission from atelier-bill architects</p>		<p>ATELIER BILL ARCHITECTS</p>					richard evans	proposed sections					
							project:	status:					
							mill hill road	planning					
							drawn: yk	check: jb	date: 10.4.2015	project # 20151.00	scale@a1 1:50	drawing # p2.02J-	00 44 691693 461171 architects@atelier-bill.com www.atelier-bill.com



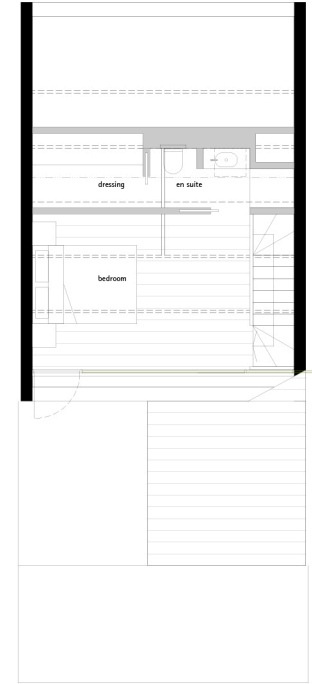
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basement / cellar



2 1:50
ground floor / site plan



3 1:50
first floor plan

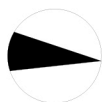


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attic level

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north point



general notes

ATELIER BILL ARCHITECTS



riba practice

date

revision

notes

client:

richard evans

project:

mill hill road

drawn: yk

check: jb

date: 8.4.2015

project # 20151.00

scale@a1 1:50

drawing # p2.01/-

drawing title:

proposed plans

status:

planning

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