

Planning Applications Committee

2 October 2008

Agenda Number:	C1
Section/Area:	OUTER
Ward:	MANCROFT
Officer:	Neil Campbell
Valid Date:	4th June 2008
Application Number:	08/00497/F
Site Address :	West End Retreat Browne Street Norwich NR2 4QY
Proposal:	Erection of 4 No.2 bedroom flats, access, parking and formation of new car parking for public house.
Applicant:	Admiral Taverns
Agent:	Caldecotte Consultants

THE SITE

The West End Retreat Public House is located on the north side of Browne Street and is a detached two storey property, constructed of white painted rendered brick. The eastern half of the site currently comprises a small informal parking area and the trade garden, which had previously been used as a bowling green for the pub, accessed off Browne Street. The land is enclosed by a 1.5m high brick wall and is bordered by Browne Street to the south and Goldsmith Street to the east. To the north is a parking courtyard for dwellings to the north.

The site is located in a predominantly residential area. The area contains a mixture of house designs and styles and dwelling types ranging from 4 storey 1960's flats to the south, sheltered housing bungalows to the east side of Goldsmith Street, recent 3 storey townhouses at the western end of Browne Street fronting on to Old Palace Road and 2 storey maisonettes and flats to the north on Devonshire Street.

RELEVANT PLANNING HISTORY

4/2002/0803 - Replacement garage (APPROVED - 11/09/2002)

THE PROPOSAL

Erection of 4 No.2 bedroom flats, access, parking and formation of new car parking for public house.

CONSULTATIONS

Advertised in the press, on site and neighbours notified.

One letter of concern from a nearby resident who has no objection to the actual design but is concerned that the beer garden area will be reduced in size which would intensify the use near his property in Devonshire Street. Also concerned that an oak tree to the side of his property although not directly affected by the proposal could eventually grow large enough to over hang the garden, which may cause problems.

PLANNING CONSIDERATIONS

National Planning Policy:

PPS 1	Delivering Sustainable Development
PPS 3	Housing
PPG 17	Planning for open space, sport and recreation

Relevant East of England Plan Policies:

T14: Parking
WM6: Waste Management in Development
ENV7: Quality in the Built Environment

Relevant Local Plan policies

HBE 12	High quality of design, with special attention to height, scale, massing and form of development
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HBE 19	Designs for Safety and Security including minimising crime
EP 16	Water conservation and sustainable drainage systems
EP 18	High standard of energy efficiency for new development
EP 20	Sustainable use of materials
EP 22	High standard of amenity for residential occupiers
HOU 1	Provision of new housing to meet needs and monitoring
HOU 13	Housing development: other proposals
SR 3	Retention of existing sports grounds and public open space
TRA 6	Parking standards
TRA 7	Cycle parking standards

The proposal accords with government policy PPS 1 which aims to ensure that planning promotes sustainable development and PPS 3 which promotes the sustainable location of new housing. The proposal complies with national policy as it is for housing development at an appropriate density in an urban area with good access to public transport, services and facilities.

This site is allocated within the Replacement Local Plan as urban greenspace and as such policy SR 3 is of particular relevance. The surrounding uses are predominately residential with the site being adjacent to a public house.

Policy SR3 resists the loss of urban greenspace where there is an overriding amenity or biodiversity interest in retaining the site in its existing open form. This site would initially have been allocated within the Local Plan as it was a bowling green. According to the applicant, this site currently has little use and is surrounding by a 1.5m wall. This allocation is recognised within the Norwich Open Space Needs Assessment (Dec 2007) as a private informal open space. Within this assessment the site has been given a score of 64.7% for quality which is the second lowest for private informal open space within the east sector. With regards to open space provision within the east sector the report states the following: "Natural green space, informal amenity open space and outdoor sports areas should be retained as a general policy, though there may be small areas of open and green space which is in poor condition and of low public value which could be considered for disposal". The loss of open space in this location would be regrettable; however due to the size of this allocation (only 0.08ha), the poor quality and use of the open space, a policy objection is not raised to the principal of redevelopment of this site.

In terms of the suitability of this site for housing development, policies HOU 1, HOU 13 and EP 22 are of particular relevance. This site is well situated and has good access to local facilities and the city centre. There would be no policy objection to the principle of residential development.

Assessment of Other Issues

Layout

The scheme consists of a single block of 4no. flats. The building is to be positioned 1.4m set back from the Browne Street boundary wall and 7.6m from the Goldsmith Street frontage which will maintain the building line. A new vehicular access will be created onto Goldsmith Street. There is provision for cycle parking and bin storage with a new pedestrian access and gate providing a reasonable carry distance to the public highway collection point.

The proposal would provide additional parking for cars between the residential development and the pub. The pub trade garden would be retained to some degree but reduced in size. This is considered acceptable.

Water efficiency should be maximised and sustainable drainage systems included, this has not been included in the application. Therefore any consent should require a scheme for drainage.

Height and Scale

The site is positioned at the meeting of many different heights and proportions of buildings. The height of this development acknowledges the surrounding buildings therefore it is considered that a two storey building would sit comfortably with the surrounding buildings.

The building massing is to be broken by the two storey section with gable centrally positioned projecting from the main frontage adding visual interest to the street scene elevation. At the rear the scale of the building is split by the entrance section and balconies either side.

The development of 4 flats on this 538 sq.m. site represents a density of 74 dwellings per hectare. This allows provision of sufficient land for amenity space.

Landscape/Tree Issues

A local resident has expressed concern that an oak tree to the side of his property and outside the red line area of the site, although not directly affected by the proposal could eventually grow large enough to over hang the pub beer garden. In response to this it is considered that the development would not be located within the root protection area of the tree in question therefore the tree is not at risk. The issue of the tree over hanging the beer garden is a situation that would happen regardless of any site development and is not a material consideration for this application.

Both soft and hard landscaping will be provided by the development, details of which should be conditioned. A scheme will be developed which softens the transition between the buildings and the amenity space whilst enhancing the design of the buildings and the surrounding area providing a high quality living environment for the occupiers.

It is recommended that boundary treatments be conditioned should approval be granted.

Transport and Access

In transport terms there is no objection to residential development in this location. Were members to approve this application further details of bin stores would be required (a communal store containing an 800 litre bin for general waste, and 3x250 litre bins for recyclables would be adequate for this development). This can be secured through condition.

The creation of the access onto Goldsmith Street will require the removal of existing on-street parking. The applicant will have to pay for the promotion of the traffic order, and the construction of the access must be dependant on that order being successfully implemented. The Council will charge £1495 + VAT for the legal work related to this requirement. This could be secured through a section 106 legal agreement. These properties would not be eligible for parking permits.

Neighbour amenity

In terms of neighbour amenity the main considerations are the relationship the proposed building would have with the beer garden of the pub and the bungalows on the opposite side of Goldsmith Street.

In terms of the beer garden the two windows facing west are both bathroom windows, it is therefore considered that conditioned obscure glazing would overcome any concerns of overlooking.

In relation to properties in Goldsmith Street the proposed terraces and balconies are considered to be located at a distance far enough to avoid any significant detrimental impact in terms of overlooking.

An issue raised by a resident of Devonshire Street is that the beer garden area will be reduced in size which would intensify the use near his property. At present it appears that the beer garden is mainly situated at the western end of the site near to the pub therefore it is considered that the impact on neighbouring amenity would not be increased by the development. For this reason, the impacts of the proposal are not considered sufficient to warrant refusal in this case.

The proposals are therefore considered to be in line with policy EP22 of the Local Plan.

CONCLUSION

In conclusion the main issue to assess in this case is considered to be the principle of development on the site. This is considered to be a finely balanced decision, the loss of the private urban greenspace is regrettable however given

the poor quality of the space as outlined above it is considered that that the principle of housing development on this site is acceptable and in line with National and Development Plan Policy. The recommendation is therefore to approve subject to conditions and a section 106 agreement.

RECOMMENDATIONS

APPROVE PLANNING PERMISSION subject to the signing of a S106 agreement to include the transportation matters detailed above and appropriate conditions including the following:

- Standard time limit;
- Submission of sample of materials;
- Provision car parking, cycle storage and refuse stores prior to first occupation;
- Glazing to the specific windows to be obscured;
- Details of landscaping;
- Landscaping to be carried out within 6 months of the first occupation of any residential unit;
- Landscaping to be maintained and any new trees/shrubs lost to be replaced;
- Details of any fencing around the site and landscaped areas;
- Scheme for the provision and implementation of surface water drainage to be submitted;
- Scheme for the provision and implementation of foul water drainage to be submitted.

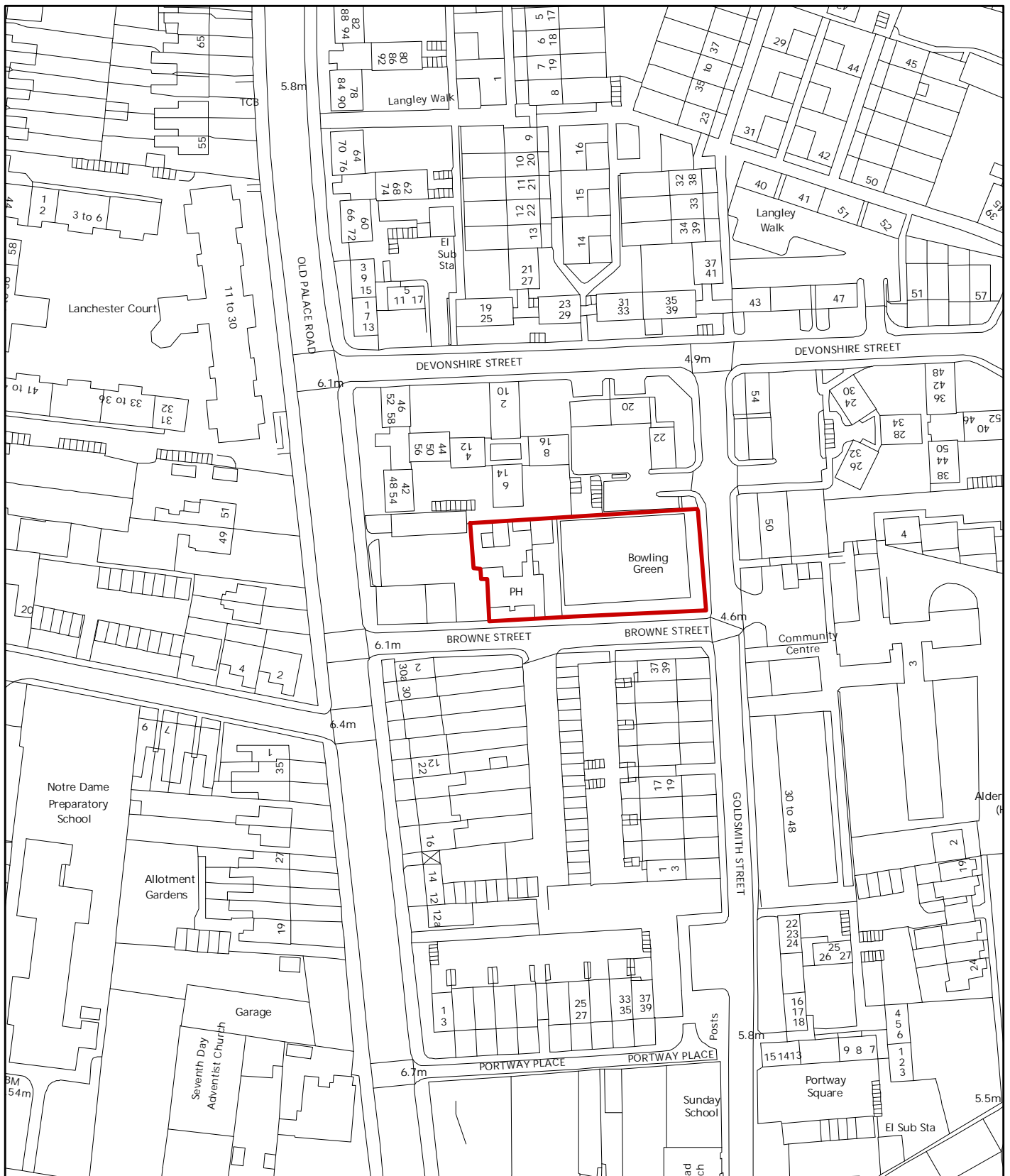
Reasons for Recommendation

The recommendation has been made with regard to saved policies HBE 12, HBE 19, EP 16, EP 18, EP 20, EP 22, HOU 1, HOU 13, SR 3, TRA 6, and TRA 7 of the adopted City of Norwich Replacement Local Plan, policies T14, WM6 and ENV7 of the East of England Plan, PPS1, PPS3, PPG17 and all other material considerations. Given the poor quality of the existing greenspace it is considered that the proposal is acceptable and in line with National and Development Plan Policy.

The proposed layout and design takes account of existing trees around the site and the relationship with adjacent housing and would be consistent with the relevant policies contained in the Replacement Local Plan. The requirements for transport infrastructure improvements created by the development can be adequately secured through a legal agreement between the Applicants and the Local Planning Authority.

The proposal is considered to make more efficient use of the land by introducing new residential units in line with policy guidance within PPS3 and provide sustainable development in line with policy guidance within PPS1. It is also

considered that the proposals would enhance this part of the City and improve the buildings relationship with the surrounding public realm.



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Site Address - West End Retreat, Browne Street

Scale - 1:1250



NORWICH
City Council

DIRECTORATE OF REGENERATION
AND DEVELOPMENT

