

Report to Planning applications committee

Item

11 July 2019

Report of Head of planning services

Subject

Application nos 18/01681/F and 18/01682/L - 58
Bracondale, Norwich, NR1 2AP

Reason

for referral

Objections

4(b)

Ward:	Lakenham
Case officer	Maria Hammond - mariahammond@norwich.gov.uk

Development proposal		
Conversion of building into 6no. flats and tower to ancillary accommodation		
Representations		
Object	Comment	Support
10	1	0

Main issues	Key considerations
1	Principle of residential conversion and use of tower
2	Heritage
3	Design
4	Amenity
5	Landscaping and trees
6	Transportation
Expiry date	Extended to 16 July 2019
Recommendation	Approve



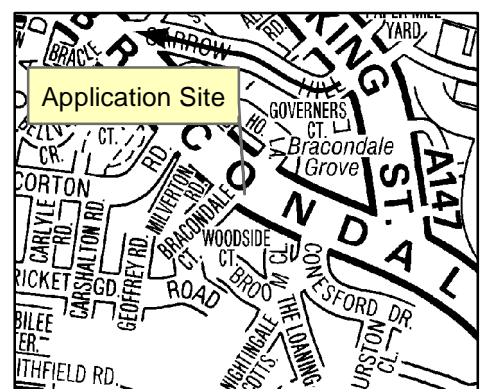
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Planning Application No 18/01681/F & 18/01682/L
 Site Address 58 Bracondale
 Scale 1:1,000



NORWICH
 City Council

PLANNING SERVICES



The site and surroundings

1. The application concerns a grade II listed detached three storey house which has a grade II* listed tower and retaining wall in its curtilage. The house sits on the southern side of Bracondale and two openings in a boundary wall and hedge give vehicular access to a gravel driveway at the front of the house. The curtilage extends to the east and south, as far south as Broom Close, a private drive off Conesford Drive.
2. The house was last occupied by the Ministry of Justice as offices and a judges residence and is described in the list description as follows:

House, now office. Late C18 with additions. Red brick with rendered plinth; hipped pantile roof; scattered chimneys. 3 storeys; 3 first-floor windows, symmetrical. 6-panelled door and fanlight..with cinque-foiled glazing bars in panelled reveals is flanked by 2 half-columns with triglyphs supporting an open pediment. Windows have sashes with glazing bars, Modillion cornice. 3-storey canted bay on garden front to left; C20 two-storey extension to right. Originally a 2-span roof with a third C19 parallel ridge and C20 additions to rear adjoining the C17 tower (q.v.) Interior has 6-panelled doors, staircase with turned balusters and dentilled cornices.

3. The tower, which has a higher grade listing, is older and sits to the immediate south of the house. Its list description reads:

Early C17, possibly earlier and contemporary with No. 54 (Manor House: q.v.) Brick and flint rubble on lower part; brick above. On split-level site: 3 storeys and basement. Rear elevation: Flight of C20 steps up to C19/20 plank door on right with 3-centred arch under moulded brick pediment. Moulded brick string courses on first and second floors. 4-light mullioned and transomed brick windows to right (replaced by wooden 2-light window on second floor) and similar blocked 2-light windows to left, all with pediments. Large first floor window has iron- framed casement with rectangular leaded lights and pale green glass. Crenellated parapet with brick coping and higher stair turret to left. C19 chimney at north-east corner. Right side elevation has 3-centred moulded brick arch to cellar door; wooden mullioned and transomed window on ground floor; and 4-light (rebuilt) brick windows above. Interior: mostly C19, including stairs on site of original. One chamfered and stopped girder on first floor. Barrel-vaulted cellar. High retaining wall and adjoining tower to south-west is of flint and brick rubble with vertical brick lacing, brick coping and 3 tapering buttresses. Some repairs but much of the brickwork is similar to that in the tower.

4. The site is surrounded by later lower rise housing and flats, including those on slightly higher ground to the immediate west of the site. It is within sub-area A of the Bracondale Conservation Area which is characterised by architectural variety and the wide street with grass verges and mature trees. The Conservation Area Appraisal notes that Bracondale became a desirable residential area in the eighteenth century and the application site is one example of development at this time. It also records that the tower may have been built as a hunting lodge, benefiting from fantastic views across the surrounding area.

Constraints

5. As well as the heritage assets noted above, there is a group of TPO trees within the site adjacent to the road.
6. The 1930s dwellings immediately to the west on Bracondale Court are locally listed, as are two to the east at the junction of Conesford Drive.
7. The site is also within the area of main archaeological interest and just outside the city centre parking area.

Relevant planning history

8.

Ref	Proposal	Decision	Date
4/1992/0964	Alterations to kitchen and formation of new window.	APPR	03/02/1993
4/1993/0368	New buttress and repairs to retaining wall, repairs and tanking to tower.	APCON	28/07/1993
4/1993/0601	Alterations to Clerks accommodation on 2nd floor.	APPR	23/08/1993
14/00627/L	Removal of flue, repair of brickwork and internal plastering.	APPR	20/06/2014
16/00481/F	Change of use to form two residential units.	APPR	06/06/2016
16/00482/L	Change of use to form two residential units.	APPR	06/06/2016
16/01116/L	Reinstatement of original windows to east elevation.	APPR	24/10/2016
17/01198/F	Conversion to House of Multiple Occupation and additional fire doors.	REF	19/12/2017
17/01199/L	Alterations to facilitate the conversion to House of Multiple Occupation including additional fire doors.	REF	19/12/2017

The proposal

9. These planning and listed building applications propose the conversion of the house to six flats and use of the tower as ancillary accommodation to one of them.

10. Internal and external alterations are proposed to the house to facilitate the conversion to provide two self-contained flats on each of the three floors, accessed from the existing central staircase and hallway. Two of the flats would provide two bedrooms; the other four would have one bedroom.
11. The internal alterations to the house largely constitute the blocking off of existing doorways and creation of new ones and removal of some partition walls on the second floor to open rooms up. An existing secondary stair would be enclosed with new studwork and a door to the ground floor only.
12. The tower would largely be subject to repair and replacement. Electric radiators would be provided to each floor and a new guardrail would be provided around the roof. It is proposed to be used as ancillary accommodation (e.g. home office, storage, etc.) to the two bedroom flat on the ground floor.
13. Six parking spaces are proposed to the front of the building off Bracondale, demarcated for ease of use. Cycle and bin storage would be provided within an area at the rear of a double garage to the northeast of the house, in a treed area separated from the parking by an existing curved brick wall. The existing large gardens would be available for the use of all residents, with movable planters provided to offer some privacy to the two ground floor flats.
14. The proposal has been amended since the applications were first submitted to propose a specific use for the tower and reduce the level of alteration to the house.

Representations

15. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 11 letters of representation have been received citing the issues as summarised in the table below, three of these included comments specifically on the listed building consent application. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Conversion should be for four flats	The proposal submitted needs to be determined.
Already very congested highway in terms of traffic and parking	See main consideration 6
Likely there will be a parking requirement for more than six cars causing an overspill into the surrounding Conservation Area	See main consideration 6
Parking should be sited to minimise the impact on the setting of the principal elevation and character of the Conservation Area	See main consideration 6
Remodelling the boundary wall to facilitate	See main considerations 2 and 6

Issues raised	Response
access should be avoided	
Danger of multiple vehicles slowing to turn in off main road	See main consideration 6
Additional ventilation and air outlets for multiple occupancy would be a concern	See main consideration 2 and 4
Safety for pedestrians with vehicles exiting blind	See main consideration 6
In the long term, access from the rear to Broom Close cannot be guaranteed so the proposed application must be based on providing parking elsewhere	Noted. The parking is proposed with access off Bracondale.

Consultation responses

16. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

17. Although historically the building would likely have been a single residence, it has more recently been used for temporary multiple occupants with shared facilities by the Ministry of Justice. It should also be noted that permission was granted for conversion to two dwellings (with horizontal division) in 2016.

The application has attempted to demonstrate that the property is most marketable as 'high end' multiple residences. Although this would incur intensification of use of the site which is potentially harmful to the grade II building, grade II* tower and setting of both, it is recognised that a scheme which is sensitive to the special character of the designated heritage assets and 'manages' the intensification, through clear identification of ownership and responsibility for maintenance and repair, could be a viable use. It should be noted that the application evidences that the property has been marketed as a single dwelling, in the rental market only. Thus it has not been expressly demonstrated that the property is not viable as a single dwelling.

18. The application has attempted to demonstrate that a scheme for three units has been considered and discounted as it would not be as viable as a scheme for six units, from a market perspective. No plans have been submitted indicating the level of intervention required for three units, thus it is unclear as to whether such a scheme would involve more or less impact on the buildings special character. If one considered the optimum viable use to be the viable use which incurs least harm to the special character of the building, in-line with planning policy guidance, it is not possible to determine whether the proposal is the optimal viable use based on the information submitted.

19. As a result of the above, any 'less than substantial' harm to the structures and their settings should be weighed against the associated public benefits and the desirability of putting them into viable uses consistent with their conservation.
20. There would appear to be three main elements when considering the impact of this proposal; the host building, the grade II* tower and the setting:
21. **58 Bracondale** - there are few, but significant changes to the building externally; It is proposed to open infilled window openings in the east elevation. This has been determined as an appropriate alteration as part of a previous approval (16/01116/L) and there are no reasons to consider the previous assessment in a differing manner, excepting to consider the cumulative impact along with the other alterations proposed. Exact details of the proposed windows should be required by condition.
22. Two sash windows to the east elevation of the later rear range are proposed to be removed and replaced, with windows which more accurately reflect the proportions of those of the main house. Although there is some value to the existing windows in that they signify a later insertion and different approach to construction, their value to the overall building significance is low. Also, it is recognised there is some aesthetic merit in providing a uniform and cohesive sense of proportion along an entire elevation. As such, their replacement would not be opposed providing the new units were of a suitable material quality and architectural design. This should be sought by condition, which clearly states the new windows should be single glazed.
23. It is suggested that the rear elevation is of later construction and it is proposed to insert a bi-fold door. This is not opposed in principle but details must be sought by condition, which should also stipulate the bi-fold door should be of timber construction and respectful of the proportions, style and dimensions of the existing fenestration.
24. There is a single roof-light to the side elevation (west) it is proposed that this should be replaced with a conservation style roof-light. This is unopposed.
25. Internally, it is felt that this scheme is in principle appropriate in heritage terms, but much of the detail is still required by condition.
26. The most significant internal alteration to the host building relate to changes to the floor plan and circulation. This requires some blocking up of existing doors, and insertion of new openings. Existing doors are to be re-used wherever possible. Indents are to be included in finishes wherever existing opening have been blocked.
27. The changes proposed by the amended scheme are a significant improvement on previous iterations and in principle are acceptable, subject to conditions relating to a full internal door schedule and specification/composition of the blocking of openings.
28. There is some loss of partitioning within the building and some new partitions required. On the whole the changes proposed are beneficial and enhance the significance of the floorplan. Conditions should be applied relating to new stud-work.
29. The proposal requires new stud work to be erected under the main staircase to form the principal opening into flat 1. It is not clear from the plans how this studwork will relate to the existing building fabric. Plans, sections and elevations, including; composition and fixings should be subject to condition.

30. It is not clear as to whether any consideration has been given to methods of fire-proofing (except fire doors), or thermal and acoustic insulation. These details should be subject to condition. The proposal requires welfare facilities and kitchens within each dwelling. Detail relating to the associated service provision and waste water management is required.
31. It is unfortunate that the proposal requires blocking up the secondary staircase flanking the northern elevation wall internally. However, access and responsibility for this space which has become semi-redundant has been allocated to one dwelling, thus its maintenance should be secured.
32. **Grade II* tower** - the submitted documents indicate that it is proposed to refurbish the tower internally in a 'like for like' manner, excepting re-installation of a missing ceiling in plasterboard and gypsum plaster, new power supply and installation of electric panel radiators.
33. It is suggested that a full repair schedule should be submitted for works to the tower, in order to ensure that the scope of the repair works does not adversely impact upon its special character.
34. It is suggested that any new fixings/fittings should be surfaced mounted and the location and methodology of fixing controlled by condition.
35. The application suggests that the tower will be 'ancillary accommodation' to flat 2 and that it could be used for a home office, studio, hobbyist space or additional accommodation. It is suggested that occasional overnight accommodation may have some historic context, but permanent secondary accommodation is akin to a separate dwelling and should be discouraged. It is recommended that a controlling condition should be applied prohibiting such use.
36. Internal repairs and maintenance would become the responsibility of the leaseholder/freeholder of flat 2.
37. It is proposed to make changes to the roof of the tower. It is not clear how these changes would impact upon the existing fabric and therefore conditions should be applied requiring sections/elevations and specification, etc. It is also proposed to add a guardrail. Although this has not been justified it is recognised that this is likely a requirement of building control, thus the principle is acceptable dependent upon details which should be conditioned.
38. The application makes slight reference to repointing of the tower and 'making good' the windows. It is suggested that these works can be controlled by the full repair schedule outlined above.
39. The application indicates that the existing staircase to the first floor of the tower will be replaced on a like for like basis, excepting the introduction of a guardrail to the open-side. It is suggested that the details, specification and installation of this new staircase should be conditioned.
40. External repair and maintenance of the tower will remain the responsibility of the freeholder, owner or management company responsible. It is suggested that

considering the revised form of the proposal, which has significantly reduced the immediate harm to the host building, detailed management plans could be dealt with by condition provided they were robust, submitted to the local authority and approved in writing prior to first occupation. They should also be retained/applied for as long as the buildings were in use under this scheme.

41. ***The setting of both of the above*** - the application proposes the enlarging of the vehicle entrances to the front of 58 Bracondale. The applicant reasons that this will allow for safer access both to the occupants/visitors of the proposed dwellings and other road users and pedestrians. There is no reason to dispute this claim and thus in principle the works are appropriate. Little information has been supplied regarding the implementation of this element of the proposal thus it is suggest that details, including; sections, plans, elevations and specification of any materials required for these works should be controlled by condition.
42. The application proposes that the entire site should be retained as accessible to the occupants of the main house. This is a welcome revision from previous iterations of the proposal. It also suggests that some more modern hard-standings will be replaced with contextual shingle surfaces, which should enhance the appreciation of the setting and further, be beneficial to any adjacent masonry structure/s.
43. The application indicates that a new bicycle and bin store is to be constructed adjacent to the existing garage, to the east of the main house. Exact details should be controlled by condition.
44. **Conclusion** This application has seen significant involvement by local authority officers in order to advise upon an appropriate solution. This final revised proposal has implemented most (but not all) recommendations as to the least harmful and thus most appropriate solution. It is suggested there are some final amendments that should be made prior to determination. These are discussed below. Other issues could be dealt with by condition.
45. The works will result in less than substantial harm to the special architectural and historic interest of the host building and associated ancillary tower structure within its setting.
46. There is some enhancement of the host buildings character through removal/reversal of previous harmful alteration.
47. The works will result in beneficial repair to the Grade II* tower in the setting and formalise its association with the host building, as well as define responsibility for its maintenance.
48. The less than substantial harm is outweighed by the desirability of securing the long term preservation of the host building and putting it to use consistent with its conservation. The proposals are therefore considered to comply with the requirements of local and national planning policy and guidance and providing the amendments are made as requested, then the application is recommended for approval.

Historic England

49. The application has been amended to propose the use of the grade II* tower to ancillary use for Flat 2. This is in line with our previous advice and provided your authority is satisfied that the tower would be maintained as ancillary accommodation to the flat, this is an approach we would support. In terms of alterations to facilitate its use, the approach is described as largely repair of the fabric with some other works. We would clearly support the sensitive repair of the building. A new ceiling is proposed to the modern floor joists on floor 3. Ideally this would be constructed of lath and plaster rather than plasterboard. Where secondary glazing is proposed we recommend your authority request details of the work. Details of the handrail to the roof should also be provided.
50. Our previous advice identified the conversion of 58 Bracondale would result in harm to the significance of the grade II house although in view of the listing at grade II, we did not offer detailed advice. Again we do not wish to provide detailed advice but note the Heritage Statement says the conversion works at first floor level in the main house have been amended to respond more to the historic layout.
51. On the basis your authority is satisfied of the use of the tower as ancillary accommodation to Flat 2 would safeguard the future of the grade II* building. We would have no objection to the works, subject to your approval of further details as set out above.

Highways (local)

52. No objection in principle to residential change of use on highway grounds; subject to consideration of detailed matters:
- The proposed subdivision of this property is acceptable in principle, given its historic residential use.
 - According to Local Plan policy the development may have a limited number of parking spaces.
 - However according to council Transport policy, the new flats will not be entitled to on-street parking permits.
 - The consequence is that all resident and visitor parking would need to be accommodated within the site.
 - This poses a problem in terms of the capacity of the forecourt to accommodate all of the required parking that may arise from residents needs of six flats.
 - The site diagram illustrates that resident's vehicles must be parked in a certain angle to close proximity to each other to enable 6 vehicles to be accommodated.
53. My concern is that if a resident moves in with more than one vehicle, or has visitors that the forecourt will become jammed with vehicles causing neighbour disputes and requests for council permits that cannot be offered.
54. The proposed wishes to widen the site accesses, I have no objection on highway grounds.
55. Given that the forecourt of the site will have more wear and tear from vehicles, it may be a good idea for the gravel to be replaced with suitable paving e.g. marshalls tegula or conservation sets.

Tree protection officer

56. No objection to the proposed tree removals. All construction activities, including storage of materials, contractor vehicles, should be restricted to areas of existing hard landscape. The method statement details for the boardwalk within the landscaping schedule will pose limited risk to retained trees.

Citywide Services

57. If the bin store is to be enclosed, ideally this would be locked via a keycode pad which the collection crews can then be provided with the code to. Secondly as part of our guidance the bin store needs to be located within 5 metres of the public highway if there is no vehicular access for the collection vehicle. Four of each would be required.

Assessment of planning considerations

Relevant development plan policies

58. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**

- JCS1 Addressing climate change and protecting environmental assets
- JCS2 Promoting good design
- JCS3 Energy and water
- JCS4 Housing delivery

59. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**

- DM1 Achieving and delivering sustainable development
- DM2 Ensuring satisfactory living and working conditions
- DM3 Delivering high quality design
- DM6 Protecting and enhancing the natural environment
- DM7 Trees and development
- DM9 Safeguarding Norwich's heritage
- DM12 Ensuring well-planned housing development
- DM13 Communal development and multiple occupation
- DM30 Access and highway safety
- DM31 Car parking and servicing
- DM32 Encouraging car free and low car housing

Other material considerations

60. **Relevant sections of the National Planning Policy Framework February 2019 (NPPF):**

- NPPF2 Achieving sustainable development
- NPPF5 Delivering a sufficient supply of homes
- NPPF9 Promoting sustainable transport
- NPPF12 Achieving well-designed places
- NPPF15 Conserving and enhancing the natural environment
- NPPF16 Conserving and enhancing the historic environment

61. **Supplementary Planning Documents (SPD)**

- Trees, development and landscape SPD

62. Planning (Listed Buildings and Conservation Areas) Act 1990

Case Assessment

63. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

64. Key policies and NPPF paragraphs – DM12, NPPF section 5
65. The existing property is understood to have been built as a single dwellinghouse but is considered to currently have a sui generis use. The Ministry of Justice ceased to have a use for the premises and sold it.
66. In accordance with Policies DM12 and DM13, there is no policy objection to the principle of conversion back to a residential use. It is noted that there has previously been permission for conversion to two dwellings and this has recently expired without being implemented. Past applications for conversion to an 11 room HMO were refused for various reasons, including the impact of the intensity of the use on the listed building.
67. Use as six self-contained flats is considered to be a less intensive use than as an HMO and, subject to the effect of the works required to facilitate this on the fabric and setting of the building and other considerations below, the proposal for six flats is considered acceptable in principle
68. The tower is thought to have been built as either a hunting lodge or garden tower related to the seventeenth century Manor House further west of the site. Since the later construction of the house on the current site, the tower has been in use ancillary to it. It is formed of four storeys, each providing one modest room and whilst the upper three storeys are interconnected by an internal staircase, the lower floor is self-contained with no internal access to the other floors of the tower and there is no internal access from the house.
69. The proposal to use the tower as ancillary accommodation to one of the flats would retain the ancillary relationship of the tower to the house which is considered appropriate and ensuring it has a beneficial use that will secure its long term maintenance is considered necessary for the conservation of this significant heritage asset. As use as an independent dwelling would require more significant interventions into the fabric than are proposed and potentially have greater amenity impacts, it is considered necessary to ensure the tower is only used incidental to the identified ground floor flat by condition.

Main issue 2: Heritage

70. Key policies and NPPF paragraphs – DM9, NPPF section 16

71. The proposal concerns two listed buildings within a Conservation Area and in proximity to locally listed buildings. Policy DM9 and the NPPF seek to conserve such heritage assets in a manner appropriate to their significance. The most significant asset here is the grade II* listed tower and wall.
72. Paragraph 192 of the NPPF advises that account should be taken of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation. In this case, given the historic use of the house as a single residential dwelling and the use of the tower ancillary to this, and previously another dwelling, the proposal for residential and ancillary uses is considered to be consistent with their conservation in principle.
73. In support of the proposal, the applicant has consulted with local estate agents who advised that the provision of six one and two bedroom flats here would be more saleable in the local market than three larger units which are described as not being commercially viable. Furthermore, the property was marketed to let as a single dwellinghouse in 2017 and no tenant was found. It is also noted that the planning permission and listed building consent for conversion to two flats has lapsed without implementation. On this basis, conversion to six flats, is proposed.
74. The alterations proposed to facilitate the conversion have been amended since first proposed and now retain the original plan form as far as possible and omit the sub-division of principal rooms; alterations which were considered particularly harmful to the historic character and fabric. Whilst some doorways would be blocked off and new openings created, the doors which are mentioned in the list description are proposed to be re-used and recesses would be retained in the closed openings to ensure the historic features can still be read. Modern studwork walls on the second floor would be removed and new studwork would be provided at the base of the principal staircase and to enclose a secondary staircase which will become redundant for access and available only as storage space to one flat.
75. There is an extant listed building consent (16/0116/L) to open up four original window openings on the east elevation and this proposal also includes these alterations which remain acceptable. On the south elevation, in a later section of the house an unsympathetic canopy is proposed to be removed and a new large bi-fold door opening created. Two windows in this later section would also be enlarged to similar proportions to other sash windows across the building.
76. Additional works such as the provision of services, ventilation and waste water management have not been detailed and these should be agreed by condition, in addition to the detailed design of all above internal and external alterations. It is considered that the internal and external alterations to the house are acceptable in principle and, subject to agreeing the precise details by condition, would not cause substantial harm to the grade II house.
77. As noted above, the use of the tower as ancillary accommodation is considered acceptable in principle. The work proposed to facilitate this is largely repair and replacement, with the addition of heating to three of the floors and a guardrail to the roof for safety. These works are considered to be appropriate, subject to agreeing full details by condition, and necessary to facilitate low level ancillary use. Removal of hard surfacing around the base of the tower is welcomed.

78. It should be noted that a proposal to install secondary glazing to the tower windows has been removed following officer advice that this would cause unacceptable harm and had not been adequately justified. The applicant has indicated this may form part of a subsequent standalone application and, should this be the case, it will be considered on its own merits.
79. Within the grounds, no works are proposed to the retaining wall which is listed with the tower, although a tree hard up against it would be removed to protect the wall. At the front of the property, the red brick boundary wall which is identified in the Conservation Area Appraisal as an historic wall recommended for retention is proposed to be reduced to enlarge the two vehicular access points. This section of wall is relatively short with a hedge behind and of less significance than the longer stretches of approximately 2 metre high wall to the east. Enlarging the openings should improve visibility and manoeuvring and, subject to agreeing details of the alterations, this is considered acceptable. Representations have raised concern about the appearance of cars parked at the front of the property. The use of the gravel forecourt for vehicular access and parking is established and the proposal would not have any significant additional impact on the setting of the listed building, nor upon the character and appearance of the Conservation Area. The means of demarcating parking spaces is considered to be unobtrusive and not harmful.
80. Bin and cycle storage are proposed to be sited against the rear of the garage, screened from the house and road by existing walls and would not harm the setting of the listed buildings or character and appearance of the Conservation Area. Retaining the garden open for the use of all occupants will conserve the setting of the listed house, tower and wall and is considered the most appropriate solution to provide external amenity space for residents.
81. A management plan is proposed to identify responsibilities for the maintenance and management of the internal and external areas which is considered necessary to ensure the assets are appropriately protected long term.
82. In summary, the proposal for conversion and the alterations and works necessary to facilitate this are considered acceptable in principle in heritage terms. It is considered there would harm to the designated heritage assets, but that this would be less than substantial in its scale. In accordance with paragraph 196 of the NPPF, this harm should be weighed against the public benefits of the proposal, including securing the optimum viable use. The public benefits of the proposal include the provision of six new dwellings and restoring a residential use, which is considered to be the optimum use of the building. It is recognised use as a single dwellinghouse or fewer than six units may be less harmful but may also be less commercially viable and therefore less likely to bring the currently vacant building back into use. Overall, the proposal is considered to secure the long term conservation of the house and tower and put these listed buildings to uses consistent with their conservation. The benefits of this outweigh the less than substantial harm caused.
83. A condition should be attached to any grant of planning permission requiring the works to the tower to be completed prior to the occupation of any of the flats to ensure that the tower is usable and does not fall into disrepair, which would have an adverse impact upon the amenity of the occupants of the flats as well as being detrimental to the future of the building itself.

84. The proposed conversion and alterations are not considered so significant as to harm the neighbouring locally listed buildings which are non-designated heritage assets.

Main issue 3: Design

85. Key policies and NPPF paragraphs – JCS2, DM3, NPPF section 12
86. As assessed above, the external alterations to the buildings are relatively minor and considered appropriate in heritage and also design terms, subject to agreeing suitable materials and details by condition. The bin and cycle stores are simple in design and appropriate for their use.

Main issue 4: Amenity

87. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 127 and 180-182
88. The proposal would intensify the use of the building, tower and the garden however it is not considered that this would be so intense or disruptive as to result in any unacceptable impacts on the amenity of neighbouring occupiers.
89. The nearest neighbouring dwellings are those to the immediate west. There are currently no openings on this elevation and this would remain the case so there would be no overlooking or loss of privacy from internal accommodation. The roof of the tower offers long distance views which would have been an integral part of its use as a hunting tower. The proposal to provide a guardrail around this would make it a safer space. There are opportunities to look into rear gardens of neighbouring dwellings from here. These already exist but the proposal may increase the propensity for this space and its long distance views to be enjoyed. Securing an appropriate use for the tower ancillary to the house is considered necessary in heritage terms and given that there would be no alterations to the fabric which would increase views, it is not considered there would be any additional loss of privacy or overlooking that is unacceptable when considered in the balance.
90. Within the conversion, each flat would generously exceed minimum space standards and benefit from good light and outlook. Extensive external amenity space would be provided within the garden as considered below.
91. As raised in a representation, there shall be requirements for extraction and ventilation and details should be agreed by condition to ensure these are appropriate in terms of amenity to occupiers of the development as well as neighbouring occupiers and can be achieved without harm to the fabric or appearance of the listed buildings.

Main issue 5: Landscaping and trees

92. Key policies and NPPF paragraphs – DM3, DM7, DM8, NPPF paragraphs 127 and 170
93. The house and tower sit within extensive gardens which include a formal garden to the east and lawns surrounded by mature trees to the south. These form the setting of the listed buildings and contribute to their significance. In heritage and amenity

terms, the proposal to retain these gardens open and for use of all occupants is considered the optimum solution.

94. A small area of hardstanding at the base of the tower would be removed to improve its setting. Movable planters are the only form of division or screening proposed and any sub-division of the garden to provide private spaces or enclose the currently open areas with more permanent boundary treatments has been resisted to protect the setting of both listed buildings. A condition needs to be attached to any permission requiring that the garden should not be sub-divided and removing permitted development rights to erect fences and walls other than shown on the approved plans. Another condition is required to secure the long-term management and maintenance of the communal garden area (see under 'Heritage').
95. Provision of the cycle store requires removal of three low amenity value trees and there is no objection to this, nor the method for providing a raised surface for the stores. A tree adjacent to the listed wall is proposed to be removed also and this is considered necessary to protect the wall.

Main issue 6: Transport

96. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, DM32, NPPF section 9
97. The proposal would make use of the existing vehicular access off Bracondale and widen the openings in an existing boundary wall to improve manoeuvrability and visibility. There is no objection to this in traffic and highway safety terms.
98. Many of the representations raise concern about the provision of parking on site and the potential for this to overspill and exacerbate congestion elsewhere locally. In accordance with Policy DM32, as the site is well located in relation to the city centre and bus routes, it is suitable for low or car free housing. The applicant has chosen to propose six parking spaces within the existing gravel surfaced space at the front of the site. This would allow for one space per dwelling. As the layout is tight to accommodate six cars and maintain manoeuvring space, demarcation of each space is proposed by setting bricks within the gravel and this is considered necessary to ensure sufficient space remains for six cars and reduce conflict within the site.
99. The site is within a controlled parking zone and future residents would not be eligible for parking permits, however there are short stay spaces for visitors along Bracondale opposite the site. There is also an existing double garage within the site, accessed from a shared drive further east off Bracondale, and this is proposed to remain ancillary to the site and could be used for parking.
100. As residents of the development would not be eligible for parking permits that would allow them to use the on-street and vergeside parking around the site it is not considered the proposal would exacerbate any existing parking congestion within the public highway. Furthermore, Bracondale Court to the northwest is a private road and signposted as such to deter unauthorised access or parking. As one space per dwelling could be provided within the site it is considered the site is capable of accommodating six flats without causing unacceptable congestion or parking conflict.

101. Cycle storage would be provided on site to encourage sustainable travel and adequate bin storage would be provided. As a bin store cannot be accommodated within 5 metres of the highway, a presentation area is proposed by the entrance and arrangements for moving bins and returning them to the store should be included in the management plan required by condition.

Compliance with other relevant development plan policies

102. A number of development plan policies include key targets. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Water efficiency	JCS 1 & 3	Yes subject to condition

Equalities and diversity issues

103. There are no significant equality or diversity issues.

Local finance considerations

104. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
105. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
106. In this case local finance considerations are not considered to be material to the case.

Conclusion

107. This proposal for conversion of the house to six flats and use of the tower as ancillary accommodation is considered to represent beneficial use of these listed buildings which is consistent with their conservation. Following negotiation and amendment, the alterations to facilitate this are considered to result in less than substantial harm which is outweighed by the benefits of the proposal. It is not considered the character and appearance of the Conservation Area would be harmed, nor would neighbouring locally listed buildings.
108. Whilst the proposal would intensify the use of the site, this is not considered to unacceptably harm the heritage assets nor the amenity of neighbouring occupiers and the proposal would provide an appropriate standard of amenity for future occupiers of the development.
109. Concerns regarding parking and congestion have been raised, however it is considered that this sustainably located site can provide an appropriate level of parking within the site without exacerbating existing problems in the local area.

110. The proposal on this sensitive site is otherwise considered acceptable and the development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

- (1) To approve application no. 18/01681/F - 58 Bracondale Norwich NR1 2AP and grant planning permission subject to the following conditions:
1. Standard time limit;
 2. In accordance with plans;
 3. Details of any extract and ventilation prior to installation
 4. Bin and cycle storage provided prior to occupation
 5. Parking layout demarcated prior to occupation
 6. Management plan for garden area agreed prior to occupation and compliance for lifetime of development
 7. Work in accordance with tree method statement
 8. Tree protection
 9. Prior to the occupation of any of the flats, the works to the tower shall be completed in accordance with 18/01682/L
 10. Use of tower incidental to the enjoyment of 'Flat 2' only and no use as a separate dwelling
 11. Water efficiency
 12. Requirement that the garden should not be sub-divided and the removal of permitted development rights to erect boundary treatments other than those shown on the approved plan.

And

- (2) To approve application no. 18/01682/L - 58 Bracondale Norwich NR1 2AP and grant listed building consent subject to the following conditions:
1. Standard time limit;
 2. In accordance with plans;
 3. Any damage to be made good as agreed with LPA
 4. Repair and making good to match adjacent work
 5. Features not previously identified to be retained and reported to LPA
 6. Demolition of front boundary wall to be undertaken by hand and salvageable bricks re-used
 7. Details of: all new windows; bi-fold door; rooflights; tower roof; guardrail replacement staircase to tower; blocking up openings; service provision; waste water management; fire proofing; thermal and/or acoustic protection/insulation, any new electric fitting or appliance in tower; and, stud work.
 8. Internal door schedule
 9. Full schedule of repairs to tower
 10. Management plan
 11. Historic building recording

Informatives

1. Further works may need listed building consent
2. Retention of fabric
3. Works to trees in Conservation Area
4. New dwellings not entitled to parking permits

Article 31(1)(cc) statement

The local planning authority in making its decision has had due regard to paragraph 38 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments to propose a use for the tower and reduce the alterations to the house and tower, the applications are recommended for approval subject to appropriate conditions and for the reasons outlined in the officer report.

REVISION	DATE	REASON
A	MAY 2018	CHANGES TO WINDOWS
B	MAR 2019	PROPOSED SV/P REMOVED



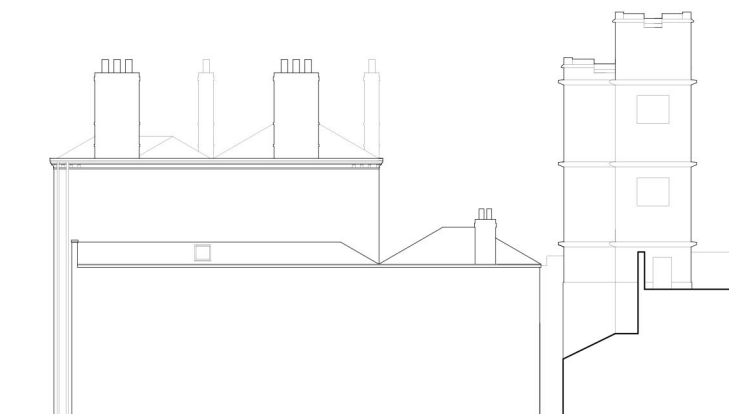
FRONT - NORTH - ELEVATION



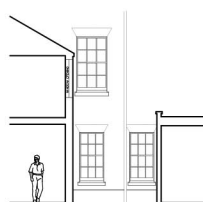
SIDE - EAST - ELEVATION



BACK - SOUTH - ELEVATION



SIDE - WEST - ELEVATION



INTERNAL COURTYARD SOUTH
ELEVATION - TOWARD HOUSE
SECTION B-B

EXISTING ELEVATIONS

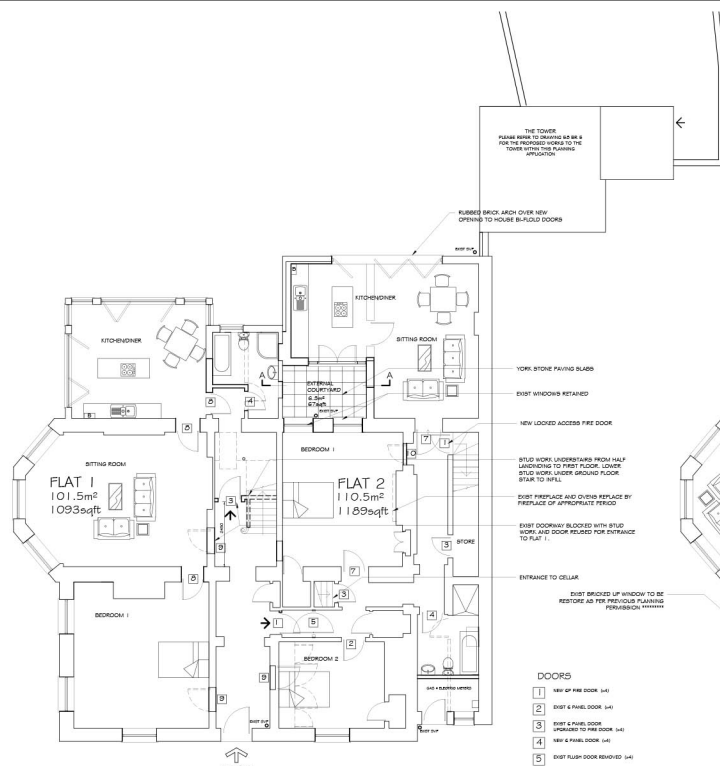
PROJECT:
5/5 BRACONDALE, NORFOLK
TITLE:
CONVERSION TO SIX FLATS

DATE: JAN 2018 SCALE: 1/100 (A1) DWG No: 5/5 BR 2b

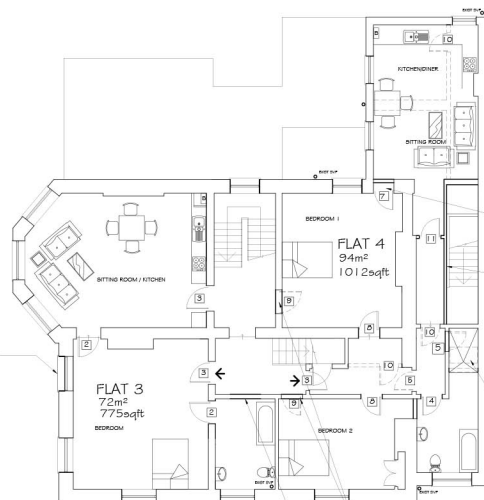
ROGER MASON RIBA - CHARTERED ARCHITECT
30 PAINE ROAD, NORWICH, NR7 5UN.
TEL: 01603 462422 EMAIL: roger.mason@rhibworld.com

REVISION:

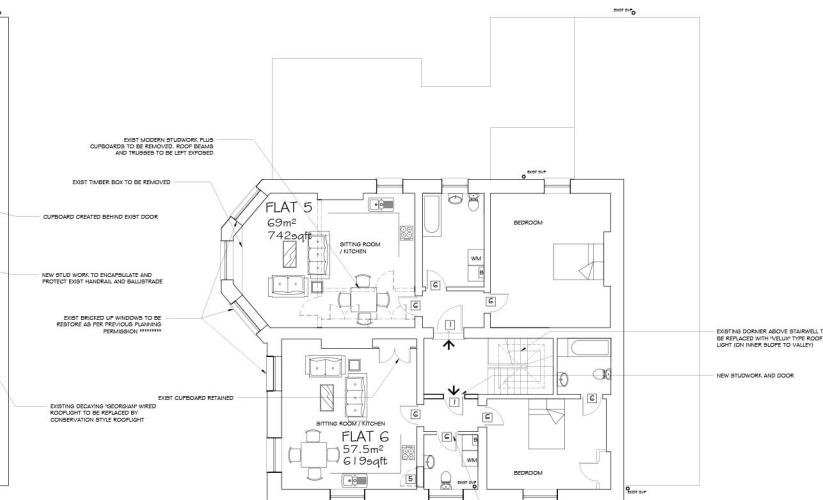
DATE	REASON
A MAY 2018	CHANGES TO WINDOWS
B AUG 2018	MINOR LAYOUT CHANGES
C SEPT 2018	MINOR LAYOUT CHANGES
D SEPT 2018	DOOR NUMBERS ADDED
E DEC 2018	CHANGES FOR PLANNING
F DEC 2018	MORE NOTES
G JAN 2019	EXTERNAL LANDSCAPE CHANGED
H MAR 2019	EN-SUITES REMOVED
I APR 2019	NEW NOTE ON TOWER
J JUNE 2019	CAR PARK DEMARCATION AND NOTE TO CELLAR ADDED



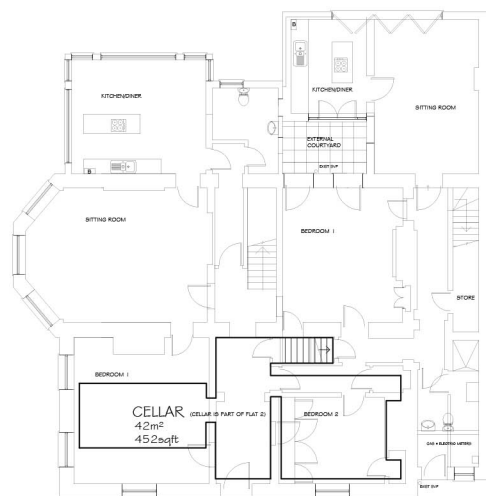
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

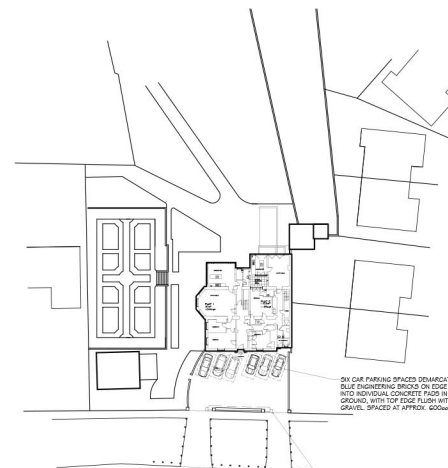


CELLAR

- DOORS
- 1 NEW UP FIBR DOOR (4)
 - 2 EXIST 4 PANEL DOOR (4)
 - 3 EXIST 4 PANEL DOOR (4)
 - 4 EXIST 4 PANEL DOOR (4)
 - 5 EXIST FLUSH DOOR REMOVED (4)
 - 6 EXIST FLUSH DOOR REMOVED (4)
 - 7 EXIST 4 PANEL DOOR (4)
 - 8 EXIST 4 PANEL DOOR (4)
 - 9 EXIST 4 PANEL DOOR (4)
 - 10 EXIST 4 PANEL DOOR (4)
 - 11 NEW GLASS PANEL DOOR (4)

NOTE: WHERE EXISTING DOORS HAVE BEEN REMOVED THE INFILL TO THE OPENINGS WILL BE RECESSED

NOTE: ALL EXISTING FIREPLACES TO BE RETAINED



PROPOSED SITE PLAN 1:500
(FOR DETAILED LAYOUT SEE
LANDSCAPE DESIGN DRAWING
- CJ YARDLEY - DWG 4204/01 -



PROPOSED PLANS

PROJECT:
5/8 DRACONDALE, NORFOLK
TITLE:
CONVERSION TO SIX FLATS

DATE: JAN 2018 SCALE: 1:100 (A1) DWG No: 58 BR 3j

ROGER MADON RIBA - CHARTERED ARCHITECT
30 PAINE ROAD, NORWICH, NR7 5UN.
TEL: 01603 402426 E-MAIL: roger.madon@ribaworld.com

THIS DRAWING AND DESIGN IS THE COPYRIGHT OF R. MASON RIBA.
DO NOT SCALE FROM IT FOR CONSTRUCTION PURPOSES.
ANY DISCREPANCIES OR QUERIES, PLEASE CONTACT R. MASON

REVISION	DATE	REASON
A	MAY 2018	CHANGES TO WINDOWS
B	SEPT 2018	CHANGES TO WINDOWS
C	DEC 2018	CHANGES TO WINDOWS
D	DEC 2018	MORE NOTES
E	JAN 2019	NOTE ABOUT TO STAIR TO TOWER
F	JAN 2019	NEW SVP REMOVED. NOTE TO EXTERNAL STAIR CHANGED
G	JUNE 2019	STAIR ADDED TO SOUTH ELEVATION



FRONT - NORTH - ELEVATION



SIDE - EAST - ELEVATION

EXISTING WOODENY KOTTING STAIRS
REPLACED ON A LIFE FOR LIFE BASIS - WITH
NEW HANDRAIL AND POSTS ADDED TO EAST
SIDE DESIGN TO BE AGREED AND APPROVED

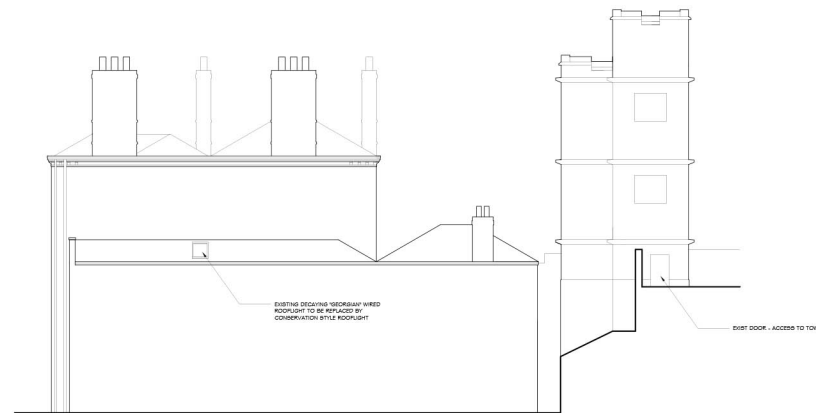
CANOPY AND HARD LANDSCAPING REMOVED



BACK - SOUTH - ELEVATION

EXISTING WOODENY KOTTING STAIRS
REPLACED ON A LIFE FOR LIFE BASIS - WITH
NEW HANDRAIL AND POSTS ADDED TO EAST
SIDE DESIGN TO BE AGREED AND APPROVED

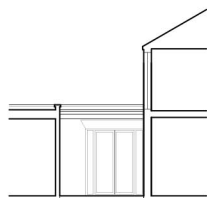
RUBBED BRICK JACQUES OVER
TO MATCH EXISTING



SIDE - WEST - ELEVATION

EXISTING DECORATIVE WOODENY WHEED
ROOPLIGHT TO BE REPLACED BY
CONSERVATION STYLE ROOPLIGHT

EXIST DOOR - ACCESS TO TOWER



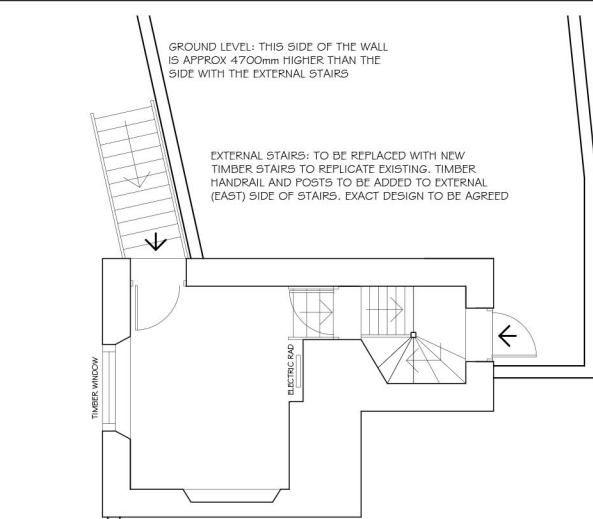
INTERNAL COURTYARD NORTH
ELEVATION - TOWARD GARDEN
SECTION A-A

PROPOSED ELEVATIONS

PROJECT:	58 BRACONDALE, NORFOLK
TITLE:	CONVERSION TO SIX FLATS
DATE:	JAN 2018
SCALE:	1:100 (A1)
DWG No:	58 BR 4g
ROGER MASON RIBA - CHARTERED ARCHITECT	
30 PAINE ROAD, NORWICH, NF7 3UL	
TEL: 01603 468426	E-MAIL: roger.mason4@btworld.com

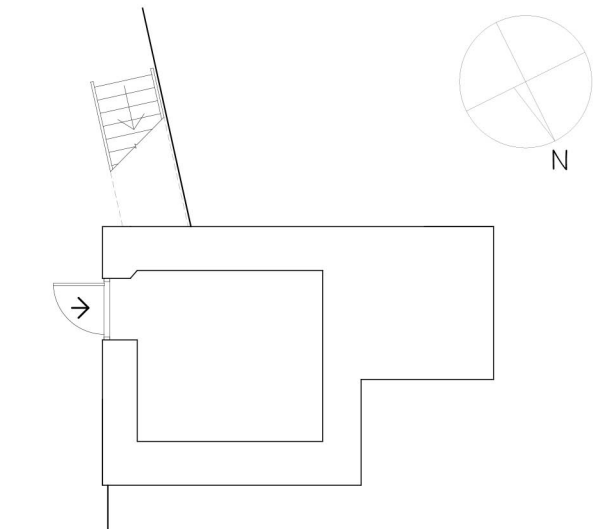
REVISION:

	DATE:	REASON:
A	APR 2019	ELECTRIC RADS & STAIR SKETCH ADDED
B	JUNE 2019	FLOOR 3 CEILING & ALL SECONDARY GLAZING CHANGED
C	JUNE 2019	SECONDARY GLAZING OMITTED



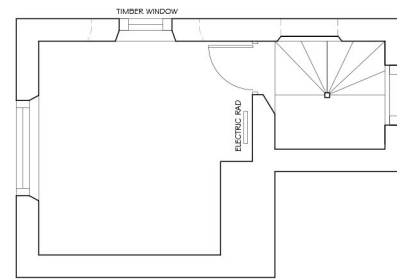
FLOOR 1

CEILING: PLASTER, TO BE REPAIRED AS NECESSARY AND SKIM COATED
WALLS: PLASTER, TO BE REPAIRED AS NECESSARY AND SKIM COATED
FLOOR: EXISTING BRICK PAVINGS TO BE TREATED WITH 'LIBERON STONE FLOOR SEALER' (WATER BASED)
DOORS: TIMBER, TO BE LEFT AS EXISTING. ALUMINUM GRILL REPLACED WITH TIMBER PANEL
WINDOW: TIMBER FRAME WITH METAL CASEMENT, TO BE REPAIRED AND MADE GOOD.
STAIRS: TIMBER, TO BE LEFT AS EXISTING
ELECTRICS: EXISTING FUSE BOX REPLACE WITH NEW CQU. EXISTING LIGHT TO BE RENEWED AND FOUR 13AMP 2 GANG SOCKETS ADDED. ONE WALL MOUNTED ELECTRIC HEATER



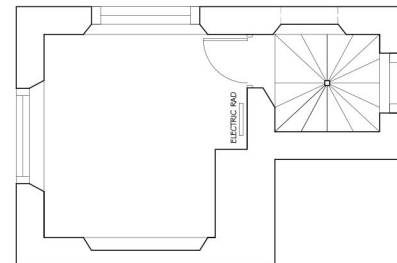
FLOOR 0

CEILING: BRICK VAULT, TO BE LEFT AS EXISTING
WALLS: BRICK VAULT AND VERTICAL WALLS, TO BE LEFT AS EXISTING
FLOOR: CLAY PAVEMENTS, TO BE TREATED WITH 'LIBERON STONE FLOOR SEALER' (WATER BASED)
DOOR: TIMBER, TO BE LEFT AS EXISTING
ELECTRICS: EXISTING LIGHT TO BE RENEWED AND TWO 13AMP 2 GANG SOCKETS ADDED.



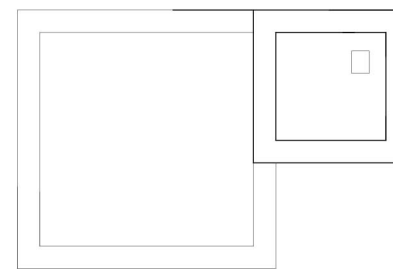
FLOOR 3

CEILING: NONE, NEW LATH AND PLASTER CEILING ATTACHED TO EXISTING JOISTS AND SKIM COATED
WALLS: PLASTER, TO BE REPAIRED AS NECESSARY AND SKIM COATED
FLOOR: TIMBER FLOOR BOARDS, TO BE TREATED WITH 'LIBERON WOOD FLOOR SEALER' (OIL BASED)
WINDOWS: 2No. BRICK FRAME WITH METAL CASEMENT. 1 No. TIMBER FRAME WITH METAL CASEMENT, TO BE REPAIRED AND MADE GOOD.
STAIRS: TIMBER, TO BE LEFT AS EXISTING
ELECTRICS: EXISTING LIGHT TO BE RENEWED AND FOUR 13AMP 2 GANG SOCKETS ADDED. ONE WALL MOUNTED ELECTRIC HEATER



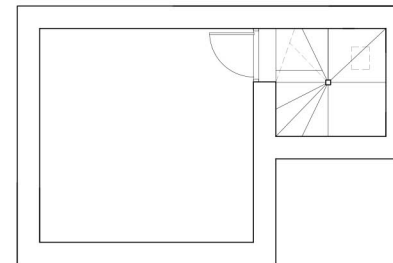
FLOOR 2

CEILING: PLASTER, TO BE REPAIRED AS NECESSARY AND SKIM COATED
WALLS: PLASTER, TO BE REPAIRED AS NECESSARY AND SKIM COATED
FLOOR: TIMBER FLOOR BOARDS, TO BE TREATED WITH 'LIBERON WOOD FLOOR SEALER' (OIL BASED)
WINDOWS: 3No. BRICK FRAME WITH METAL CASEMENT, TO BE REPAIRED AND MADE GOOD.
STAIRS: TIMBER, TO BE LEFT AS EXISTING
ELECTRICS: EXISTING LIGHT TO BE RENEWED AND FOUR 13AMP 2 GANG SOCKETS ADDED. ONE WALL MOUNTED ELECTRIC HEATER



ROOF 2

WALLS: BRICK PARAPET, TO BE REPAIRED AND REPOINTED AS NECESSARY
FLOOR: ASPHALT AND CHIPPINGS ON TIMBER DECK. CHIPPINGS TO BE REMOVED. ONE LAYER OF 50mm INSULATION OVER WITH 12mm PLY DECK ABOVE. ASPHALT WATER PROOF MEMBRANE WITH 12mm GRC TILES ON TOP
STAIRS: TIMBER, TO BE LEFT AS EXISTING
ELECTRICS: NONE

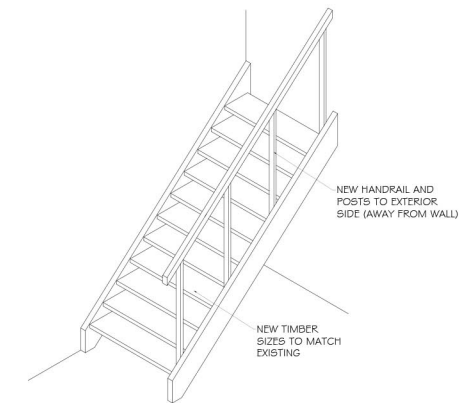


ROOF

WALLS: BRICK PARAPET, TO BE REPAIRED AND REPOINTED AS NECESSARY
NEW WROUGHT IRON HAIL RAIL ATTACHED TO PERIMETER
FLOOR: ASPHALT AND CHIPPINGS ON TIMBER DECK. CHIPPINGS TO BE REMOVED. ONE LAYER OF 50mm INSULATION OVER WITH 12mm PLY DECK ABOVE. ASPHALT WATER PROOF MEMBRANE WITH 12mm GRC TILES ON TOP
STAIRS: TIMBER, TOP TREADS ALTERED TO MAKE A SAFER EGRESS TO ROOF. NEW HANDRAIL TO MATCH EXISTING EXTENDED FROM EXISTING TO THIS LEVEL
ELECTRICS: NONE

REPAIRS GENERAL:

PLASTER: ALL MAKING GOOD TO BE ON A LIKE FOR LIKE BASIS.
(IF WHERE LIME, USE LIME PLASTER, WHERE GYPSUM, USE GYPSUM
REPOINTING: LIME MOTOR TO BE USED
METAL WINDOWS: TO BE MADE GOOD, TASED AND ADJUSTED FOR CORRECT OPERATION AND DRAFT PROOFED WITH A LOW MODULUS SILICON SEALANT APPLIED TO THE OPENING LEAF AND A RELEASE AGENT APPLIED TO THE FIXED FRAME (AS PER SPAB RECOMMENDATION)



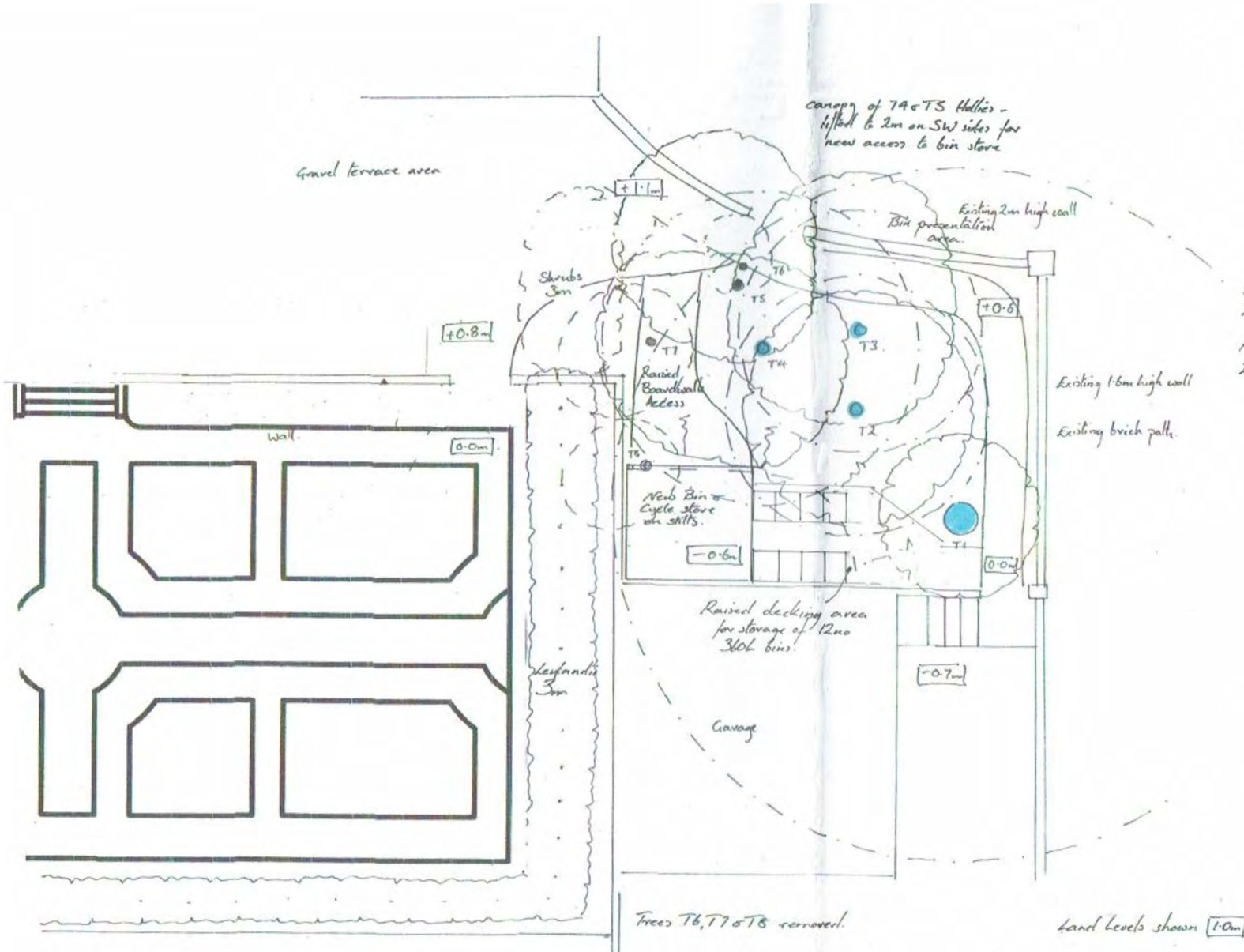
SKETCH SHOWING PRINCIPAL OF
EXTERNAL STAIR CONSTRUCTION - NTS

THE TOWER

PROJECT:
58 BRACONDALE, NORFOLK
TITLE:
CONVERSION TO SIX FLATS

DATE: MAR 2019. SCALE: 1:100 (at A3). DWG No: 58 BR 5c

ROGER MASON RIBA - CHARTERED ARCHITECT
30 PAINE ROAD, NORWICH, NR7 9UN.
TEL: 01603 469426. E-MAIL: roger.mason4@ntlworld.com



Rev C
26/5/19 Addition of bin store building / reduction to 8 bins

Rev B
22/5/19 Revised for location of bin store

Trees shown with crown extent as continuous black line (circ or cusped) - approx
Trees retained trees to be removed

Root Protection areas shown

Trees coloured to indicate Tree Retention Category as recommended by BS 5837:2012

Category A - Trees of high quality and value (shown green on the plan)

Category B - Trees of moderate quality or value (shown blue on the plan)

Category C - Trees of low quality or value (shown grey on the plan)

Category U - Trees in very poor condition or which would be lost within 10 years

Client

Dean Shields

Job Title

58 Bracondale, Norwich - redevelopment for apartments - Bin and Cycle store - detailed layout; to be read with Landscaping Schedule and Arboricultural Impact Assessment document.

Plan No.

4204/02 Rev C

Scale 1:100 at A3

Date

16th Jan 2019

7/4/19 22/5/19
26/5/19

C. J Yardley Creak Road, Burnham Thorpe
PE31 8HW, 07931 434162