

Report to Planning applications committee

Item

22 September 2016

Report of Head of planning services

Subject Application no15/01928/F - St Peters Methodist Church,
Park Lane, Norwich NR2 3EQ

3

**Reason
for referral** Objection.

Members should note that the application was previously referred to the planning applications committee on 8 September 2016 but was deferred in order for the committee to carry out a site visit.

Ward:	Nelson
Case officer	Kian Saedi - kiansaedi@norwich.gov.uk

Development proposal		
Demolition of modern extensions and conversion to provide 20 residential units (class C3).		
Representations		
Object	Comment	Support
122	0	0

Main issues	Key considerations
1 Principle of development	Principle of residential conversion, loss of community facility.
2 Design/heritage	Impact on character of the conservation area, impact on the locally listed heritage asset, scale, form, massing and appearance.
3 Transport	Accessibility of site (suitability of low car development), impact on car parking, traffic, highway safety, cycle parking, servicing.
4 Amenity	Daylighting/overshadowing, overlooking/loss of privacy, outlook, noise/smell/activity disturbances, overbearing, internal space standards, provision of external amenity space.
5 Affordable Housing	Delivery of affordable housing/commuted sum in lieu in accordance with JCS4.
Expiry date	24 March 2016 extended to 18 August 2016
Recommendation	Approve subject to conditions, a legal agreement securing affordable housing and subject to receiving no objection from the Lead Local Flood Authority .



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Planning Application No 15/01928/F

Site Address St Peters Methodist Church
Park Lane

Scale 1:1,000



NORWICH
City Council

PLANNING SERVICES



The site and surroundings

1. Park Lane Methodist Church is a significant undesignated (locally listed) heritage asset within the Heigham Grove conservation area. Originally there was an older Wesleyan chapel on the site which now forms the Methodist church hall. Part of the site also features the boy's brigade building which was built around or just after the first Methodist church.
2. The local listing is as follows:

“1939. Buff brick with brown brick detail to windows. Designed by local architect Cecil Yelf in a simple but monumental style.

Importance: Important community and landmark corner building in a style evocative of its time.”
3. The main Methodist church building is typical of the interwar 1930's style. Brown brick features heavily along with strong horizontal and vertical lines. Geometric shapes heavily influence the design. The windows are leaded with brick mullions and reveals. Some of the stained glass is of high quality also features which is reputedly by either Webb or Skeat. The rest of the materials which feature within the church are largely of a high quality including the organ cover screen which feature fine fretwork cut into the timber.
4. The adjacent church hall was formerly a Wesleyan Chapel and was built by Edward Boardman in 1894. It was completely refaced with modern buff brick in the 1960's however the exact reasoning for this is not entirely clear. It was probably most likely because of structural issues or problems with the existing brickwork. Some of the original brickwork can still be seen at lower levels along with elements of the rear façade. The Boys Brigade building shares some features with similar detailing to the original chapel.
5. Several later additions have been added to the building including a mid to late 20th century flat roof extension to the rear of the hall and also to the front. A linking extension and new entrance was built during the 1990's which linked the Methodist Church to the Church hall.
6. The surrounding area is characterised by late 19th century terraced properties along with later early 20th century development to the south and south west. There is some street planting on the surrounding streets and significant views. It is located within sub area 'H' as identified within the conservation area appraisal which is largely made up of medium size buildings. The main Methodist church is identified as a significant local landmark and there are positive views to be had down Park Lane from Unthank Road in which the chapel building features prominently in.
7. Pedestrian access to the site is currently provided at the main entrance on the eastern boundary, of Park Lane, and also at the southwest corner of the site, from Avenue Road, near the entrance with the Boys Brigade building. Pedestrian access is also provided from the rear yard at the north-west corner of the site.
8. The buildings are separated from the street frontage by landscaping along the Avenue Road frontage of the site and by car parking between the public footpath on the Park Lane frontage.

9. There is a significant change in levels across the site with the external ground levels dropping a full-storey height from east to west.
10. The site is located within a critical drainage area of the city where an increased risk of surface water flooding is identified.

Constraints

11. Conservation area, locally listed building, critical drainage area.

Relevant planning history

- 12.

Ref	Proposal	Decision	Date
4/1989/0886	Infill of yard area at front of church.	Approved	30/11/1989

The proposal

13. The application seeks permission to demolish the modern extensions to the building, erect a two-storey extension to the existing two-storey flat-roofed extension at the rear of the church hall building and associated external alterations to facilitate the conversion to create 20 units of accommodation.
14. The proposed conversion would lead to the creation of the following size of units:
 - One-bed flats x 6
 - Two-bed flats/maisonettes x 6
 - Three-bed flats/maisonettes x 6
 - Three-bed house (Boys Brigade) x 1
 - Four-bed maisonette x 1

Summary information

Proposal	Key facts
Scale	
Total no. of dwellings	20
No. of affordable dwellings	3 or commuted sum of £84,107 payable in lieu.
Total floorspace	1,853 square metres

Proposal	Key facts
No. of storeys	Church Hall and Methodist Church (four-storeys), Boys Brigade (1.5-storey)
Density	132 dwellings per ha.
Appearance	
Materials	Re-use of existing from demolition where possible, zinc standing seam cladding to new extensions, existing slate tiles to be re-used during re-roofing of all three buildings.
Energy and resource efficiency measures	PV panels on south facing roof of church hall building, heat recovery ventilation, upgrade of fabric of building to improve thermal efficiency.
Transport matters	
Vehicular access	As existing
No of car parking spaces	11
No of cycle parking spaces	34
Servicing arrangements	Mixture of communal and private refuse storage points. Management company to be responsible for putting and bringing in community bins for collection.

Representations

15. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 122 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
The premises have only been marketed for a short period of time	Main issue 1
Loss of community use	Main issue 1
High density development is out of character with the surrounding area	Main issue 2
The use of zinc cladding is out of character with the conservation area	Main issue 2

Issues raised	Response
Poor design/out of character with the conservation area	Main issue 2
Out of scale development	Main issue 2
The extension at the rear will give rise to a large, tall and bulky mass, which will increase the bulk and massing of the building to an unacceptable degree and will appear as a bulky and incongruous mass from the surrounding area	Main issue 2
Poor surveillance of the amenity space between the church hall and church building	Main issue 2
Absence of lifts within the buildings	Main issue 2
Inadequate car parking (contrary to national parking guidelines), which will increase parking pressures in the surrounding area	Main issue 3
Increased traffic	Main issue 3
Parking spaces are too small/cars will overhang the pavement	Main issue 3
Inadequate refuse storage	Main issue 3
Inadequate cycle storage	Main issue 3
If the proposal is approved the council should consider 24hr parking for residents in the area	Main issue 3
Describing the development as car free is misleading. There are plenty of neighbouring streets where residents would be able to park without restriction	Noted
The existing CPZ restrictions will do little to deter parking	Main issue 3
Loss of privacy/overlooking	Main issue 4
Noise disturbance (especially from terraces, communal refuse storage, cycle stores and access paths adjacent to neighbouring properties)	Main issue 4
Sense of intrusion resulting from activity of people using shared accesses adjacent to	Main issue 4

Issues raised	Response
neighbouring property	
Poor outlook from several of the flats	Main issue 4
Loss of light/overshadowing to neighbouring properties	Main issue 3
The engineering consultant responsible for the daylight study did not visit neighbouring properties to take measurements nor did they conduct a daylight distribution test.	Please refer to response 14 outlined in the engineer's 'Responses to queries raised by daylight/sunlight report' supporting statement
Lack of outdoor amenity space for future residents	Main issue 4
Disturbance and disruption from construction	Main issue 4
Over dominant/overbearing development	Main issue 4
Poor daylighting to new flats	Main issue 4
Smell disturbance (especially from communal refuse storage)	Main issue 4
Overcrowded form of development	Main issue 4
Lack of green space	<p>Main issue 4 – 'amenity of future occupants'</p> <p>Please also refer to landscaping section of 'Compliance with other relevant development plan policies' section of report</p>
Impact on surface water flooding/more green space should be provided to mitigate surface water flooding	Please refer to 'Compliance with other relevant development plan policies' section of report
Lack of affordable housing	Main issue 5
Increased pressure on local resources/services	Main issue 1. Surrounding resources/services are plentiful and adequate to support 20 additional dwellings
Questionable as to whether there would be a demand for the units once constructed	There is an identified shortage in housing supply in the city area and the proposal would contribute to housing stock in accordance with JCS4
Concern over who will purchase the flats once constructed (could become buy to	The application states that the dwellings are not intended for buy to let, but rather

Issues raised	Response
let)/concern about the development becoming unsupervised student accommodation	'buy to live'. There is of course no control that the council can exert over who purchases the properties, nor who an owner may rent to in the future.
Uncertainty over how units will be managed	The application sets out a management strategy for servicing refuse collection which is considered satisfactory. A management company will be employed with responsibility for a number of duties outlined in Section 12 of the Design and Access Statement
The developers have not been able to provide assurance that they will adequately provide for repair or compensation for damage to surrounding buildings caused by the construction process	The Party Wall Act will apply and any damage caused during the construction process would amount to a civil matter and cannot be considered materially in the planning assessment of the proposal
Harm to surrounding property values	Not a material planning consideration
The applicant has not demonstrated whether existing infrastructure is adequate to handle increased pressure on sewage/waste disposal. The combined sewer in Earlham Road is undersized, and to approve further redevelopment will make this vulnerable area more widespread to soil water flooding.	<p>Anglian Water have stated that the sewerage system at present has available capacity to accommodate the proposed development.</p> <p>Please also refer to 'Compliance with other relevant development plan policies' section of report</p>
The applicant (Interesting Building Company) is new and inexperienced with no track record for designing, building or managing such a complex project	Not a material planning consideration
Errors/inaccuracies in the daylighting study	Main issue 4 and please refer to the engineer's 'Responses to queries raised by daylight/sunlight report' supporting statement
The forecasts in the flood risk report are not true and do not give a true reflection of the storm conditions and back flow which is happening in the area	<p>Please also refer to the drainage and flooding section within the 'Compliance with other relevant development plan policies' section of report</p> <p>Anglian Water have stated that the sewerage system at present has available capacity to accommodate the proposed development</p>

Consultation responses

16. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

17. “The modifications to the front of the church hall will be an improvement and will enhance what is an otherwise blank façade clad with modern brickwork and a modern extension that does little to respond to the street scene or the surrounding conservation area. The modifications will also take note from the previous historic planform and features. Therefore these modifications will be in line in terms of the NPPF paragraph 131;

“In determining planning applications, local planning authorities should take account of: the desirability of new development making a positive contribution to local character and distinctiveness”.

And also paragraph 137;

“Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.”

18. There will be an element of less than substantial harm to the undesignated heritage asset as a result of the works and the subdivision of the internal spaces. However converting the building and providing it with a long term viable use will ensure that the assets are retained along with the contribution they make to the surrounding conservation area. Retaining the contribution that the assets make to the conservation area along with enhancement through improved design will provide benefits to the surrounding area and therefore benefit the general public. As demonstrated by the NPPF paragraphs 134 and 135;

“Sometimes harm is necessary to enable change of use of the asset to its optimum viable use. The optimum viable use is either the sole viable use of the asset or, if there is more than one viable use, the use most consistent with its ongoing conservation. Enabling such a change of use can be a public benefit that outweighs the harm done.”

19. While its optimum use would be one that the building was originally intended for this has shown not to be viable and after a lengthy marketing exercise no alternate community use for the buildings could be found.
20. Sufficient recording should be undertaken of the buildings before the development commences due to the extent of the works and the way the works will impact on the internal space of the church buildings.”

Environmental protection

21. "There is no history of contaminative uses on the site – informatives recommended in the event that any contaminants are discovered during construction.
22. It is likely that the facades of the residential units will be subject to high levels of road traffic noise. There are many reflective surfaces on this relatively busy junction, and combined with the gradient, will exacerbate the impact of traffic noise – condition is recommended for sound insulation to take place to habitable rooms fronting Park Lane and Avenue Road in accordance with a scheme to be agreed by the council."
23. Informative suggested to minimise nuisance from the demolition/construction phase.

Highways (local)

24. "The proposed development makes effective use of the buildings and site, the location is in close proximity to the Unthank Road local centre which has excellent bus accessibility to the UEA and city centre.
25. As new residential development in the controlled parking zone, none of the properties would be entitled to on street parking permits. Therefore this development will be a low-car scheme, with a fixed number of parking spaces for residents.
26. The surrounding CPZ operates Mon to Sat 8am to 6.30pm, parking is unrestricted outside of these hours. There is the risk that some residents with vehicles but without a parking space will wish to park locally. It is considered that the operational hours of the CPZ make this practice inconvenient, and the risk of off-site parking is relatively low compared to the number of parking spaces overall available in the locality. Should a resident wish to park a vehicle, garages are available to rent from the city council nearby at Suffolk Square.
27. A new vehicle access is proposed in the former Boys Brigade building facing Avenue Road, this is acceptable in principle. The guard railing may be removed (if it has not already been removed) and a dropped kerb installed and footway strengthened to our specification.
28. The provision for cycle parking meets Local Plan requirements. The provision for refuse and recycling storage is being assessed by City wide services. A presentation area near to Avenue Road would be advisable, rather than leaving bins on the footway which can be a hazard and obstruction.
29. No objection on highway / transportation grounds subject to agreement of detailed matters by condition."

Landscape

30. Landscape comments are supportive of the proposals but a landscaping condition is recommended.

Norfolk historic environment service

31. No objection. A photographic survey of the site is required prior to development taking place and a full set of relevant plans should be submitted to the HES. Planning permission to be conditioned accordingly.

Norfolk police (architectural liaison)

32. Several design recommendations are made on the interests of improving security of the site.

Natural areas officer

33. "As survey work has revealed that parts of this building complex are being used by roosting bats, it is essential that the comprehensive mitigation measures outlined in Section 9 of the ecology report are implemented. I would also support the provision of bat boxes to further enhance the value of the complex for roosting. Although the survey evidence points to this roost being used by a relatively small number of individual bats, if the neighbourhood's bat population density is low then this roost may be of local importance"
34. It is also recommended that any lights being installed externally should be 'bat friendly' with minimal spillage, that bird nesting boxes could be installed on the building and that any landscaping scheme should include for plants of wildlife value. The landscaping condition shall encapsulate these recommendations.

Private sector housing

35. Two comments made with respect to fire escape and ventilation.
36. Recommendations are made for unit C5 in terms of improving fire escape although the current arrangements are considered to be acceptable.
37. The lack of opening windows in several of the south facing units on the church building is highlighted as a potential hazard – The applicant has confirmed that where ventilation is not possible through an open window then there will be a requirement for mechanical ventilation. A condition will be added to any consent requiring a scheme to be submitted for the windows to habitable rooms fronting Avenue Road and Park Lane to ensure adequate noise protection from the road and also the requirement (where necessary) for acoustic vents (passive or forced) to enable ventilation without having to open windows.

Tree protection officer

38. No objections to the proposed development. "I am happy to see the application approved with a condition ensuring compliance with the submitted, revised, AIA".

Anglian Water

39. No objections are raised in response to the proposal. The sewerage system at present has sufficient capacity to accommodate the proposed development.

40. A condition is recommended for a surface water strategy to be submitted for approval. This will ensure that drainage solutions are acceptable and that the proposal will result in amenity and environmental issues arising from flooding.

Norfolk County Council as Lead Local Flood Authority (LLFA)

41. Still awaiting comments at time of committee meeting.

Assessment of planning considerations

Relevant development plan policies

42. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
 - JCS3 Energy and water
 - JCS4 Housing delivery
 - JCS5 The economy
 - JCS6 Access and transportation
 - JCS7 Supporting communities
 - JCS11 Norwich city centre
 - JCS12 The remainder of the Norwich urban area including the fringe parishes
 - JCS20 Implementation
43. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
- DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM4 Providing for renewable and low carbon energy
 - DM5 Planning effectively for flood resilience
 - DM6 Protecting and enhancing the natural environment
 - DM7 Trees and development
 - DM9 Safeguarding Norwich's heritage
 - DM11 Protecting against environmental hazards
 - DM12 Ensuring well-planned housing development
 - DM13 Communal development and multiple occupation
 - DM28 Encouraging sustainable travel
 - DM30 Access and highway safety
 - DM31 Car parking and servicing
 - DM32 Encouraging car free and low car housing
 - DM33 Planning obligations and development viability

Other material considerations

44. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
- NPPF0 Achieving sustainable development
 - NPPF1 Building a strong, competitive economy

- NPPF4 Promoting sustainable transport
- NPPF6 Delivering a wide choice of high quality homes
- NPPF7 Requiring good design
- NPPF8 Promoting healthy communities
- NPPF10 Meeting the challenge of climate change, flooding and coastal change
- NPPF11 Conserving and enhancing the natural environment
- NPPF12 Conserving and enhancing the historic environment

45. Supplementary Planning Documents (SPD)

- Affordable housing SPD adopted March 2015
- Trees, development and landscape SPD adopted June 2016

Case Assessment

46. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

Residential:

47. Key policies and NPPF paragraphs – DM12 and DM13, JCS4 and NPPF paragraphs 49 and 14.
48. The proposal involves the partial demolition, extension and conversion of the application buildings to provide 20 units of residential accommodation.
49. Paragraph 50 of the NPPF supports delivery of a wide choice of quality homes, and policies JCS4 and DM12 support new housing which will help to meet housing needs in the city. The site is located within an established residential area, with regular bus services located nearby, and is adjacent to the Unthank Road local retail centre and within walking distance from the city centre. Future residents would be well supported by a wide range of local services and facilities available in the adjacent Unthank Road local centre and in the city centre which is within walking distance of the site. Additionally, the proposal delivers a good mix of units ranging between one to four bed properties, including three units which are accessible for disabled users. The principle of residential development at the site is therefore acceptable in principle subject to other material planning considerations discussed later in this report.
50. Policy DM12 sets out the principles applying to all new residential development, including having no detrimental impact on the character and amenity of the surrounding area, contribution to achieving a diverse mix of uses in the locality and achieving the housing delivery targets set out in the JCS, provision of a mix of dwellings in terms of size, type and tenure including a proportion of family housing,

achieving a density in keeping with the character and function of the area and building 10% of dwellings to lifetime homes standard on schemes of 10 or more dwellings. These and other material planning considerations are addressed in the issues specific sections below.

Principle of loss of community use:

51. Key policies and NPPF paragraphs – DM22 and NPPF paragraph 70.
52. The Methodist Church ceased services in December 2013. The application states that congregation numbers had fallen to the 30s and a regular congregation of around 200 was required to make the use viable. It is also understood that a substantial amount of money would be required to bring the building into a suitable condition for public use as a community facility.
53. As such the continued operation of St Peter's as a Methodist Church was considered to be non-viable. The congregation of St Peters was merged with the congregation at the nearby United Reform Church at Jessop Road and the application identifies that other Methodist churches exist in the nearby area, which ensure adequate alternative provision.
54. The property was extensively marketed as a former church premises/community hall with potential for a range of alternative uses for the minimum period of nine months before the offer from the applicant was accepted. The marketing period is adequate and satisfies the 'meaningful period' cited in the supporting text of policy DM22 of the *local plan*.
55. The application includes a statement provided by the chartered surveyor responsible for marketing the property and whilst interest was received over the marketing period, only two other offers were received, one of which was substantially below the valuation price and the other (business-based) bid was accepted, but subsequently fell through due to finance not being secured. The lack of interest is attributed to the high associated costs of bringing the building into a state which would have been insurable and fit for public use, along with the annual maintenance funds. The high costs would also most likely be unaffordable for any community use.
56. The marketing evidence submitted with the application is comprehensive and sufficiently justifies the loss of the community use with regards to the policy requirements of DM22.

Main issue 2: Design and heritage

57. Key policies and NPPF paragraphs – JCS2, DM3, DM9, NPPF paragraphs 9, 17, 56, 60-66, 128-141.
58. The site is located within the Heigham Grove conservation area and features the church and church hall building. The church is locally listed and prominently located at the junction with Avenue Road, Portersfield Road and Park Lane. In all new development there is a need to ensure a high quality design and where locally identified heritage assets are affected by development there is a need to retain their significance wherever reasonably possible. The site is also located within a conservation area where it is important for new development to preserve, enhance

or better reveal the significance of the heritage asset and character/appearance of the area.

59. The two main buildings on the site include the church hall and church building. The church hall was formerly a Wesleyan Chapel and built by Edward Boardman in 1894. It is actually the older of the two buildings but was completely refaced with modern buff brick in the 1960s. The larger church was constructed in 1939 when the remaining congregation decided to move here. Several additional modern extensions have taken place to the Boardman building, including a mid to late 20th century flat roofed extension to the rear of the hall and to the front. A linking extension and new entrance to the Methodist Church was also built during the 1990s. It is therefore apparent that much of the original character of the Boardman building has been lost in the later works that have taken place. The site also includes the Boy's Brigade building, which is understood to have been built shortly after the first Methodist Church.
60. The main Methodist church is identified as a local landmark within the Heigham Grove conservation area appraisal with positive vistas to be had towards the site from Unthank Road. It is therefore important for any development to retain the significance of the heritage assets on the site in preserving the character of the surrounding conservation area.
61. The local listing cites both stylistic and community attributes of the Methodist Church building. While the loss of the community use will indeed be regrettable, the application justifies the loss of the community use and adequately demonstrates that the original use is no longer viable. The principle of converting the buildings is considered to be acceptable and conversion to residential likely to be one that secures the optimum viable use of the buildings, which will help to ensure its longer term conservation leading into the future. The conversion of the buildings involves the subdivision of key spaces, but this is unavoidable given the nature of the layout and the size and scale of the buildings.
62. The main external works involve the demolition of the later front extension to the church hall and link building between the church hall and Methodist Church. It is proposed to construct a zinc-clad porch at the front and a two-storey extension at the rear above the existing two-storey flat roofed structure, which is also to be clad in zinc. The application states that the scheme has been designed to maintain the essential character and appearance of the buildings and their setting.
63. The works carry the potential to greatly improve the appearance of the church hall building on the Park Lane frontage by revealing the brickwork of the original Boardman building if found to be in good condition. The porch itself takes reference from the original porch of the Boardman building and will replace what is largely a blank and unattractive gable frontage which does nothing to contribute to the character and appearance of the site and surrounding area. The new windows to be installed on the front of the church hall reflect a historic laced arch and have been configured to create symmetry and a formal façade that properly addresses the street frontage. The use of zinc as a contemporary facing material is considered acceptable and details will be conditioned to ensure an appropriate specification. The works to the front of the church hall are therefore considered to be acceptable and will enhance the character of the surrounding conservation area.

64. The extension at the rear of the church hall largely continues the profile of the existing church hall roof which is welcomed in terms of enabling the new development to better assimilate with the church hall building. The ridge of the extension is set at a lower height than the main church hall building, enabling it to sit subserviently to the main building. The extension will be clad in zinc and the buff brick used for the existing extension will also be clad in zinc to provide coherence in the elevation. The use of a high quality modern material in this context is considered to be acceptable and will provide legibility between the old and new. The scale, form and massing of the rear extension is therefore considered acceptable in design terms. The amenity impacts of the extension are considered later in this report.
65. Externally, the Methodist Church building remains largely untouched with the exception of the parapet walls/balustrading associated with the external terraces and the window alteration/installation works. The glazing of the existing windows is a key element of the facades of the building and their replacement, whilst necessary to facilitate the conversion, is regrettable in terms of the impact upon the appearance of the building. The relocation of part of the existing stained glass from the south elevation to a new window serving the west facing stairwell is however welcomed in preserving the character of the church. Details of new windows and a method statement for the relocation of the existing stained glass window would be conditioned as part of any planning permission.
66. Brick parapets have been added to the external terraces to reduce the amount of glazing in key elevations and to retain the sense of the building as ecclesiastical. The current design strikes an acceptable balance between functionality and preserving the historic character of the church.
67. It is understood that much of the front porch will need to be rebuilt due to structural instability. The detail of how this will be achieved along with a structural report confirming that the porch needs to be taken down will be secured by condition.
68. The Boys Brigade building will be converted to a single dwelling and will involve the removal of part of the rear bay, installation of roof lights and the addition of a first floor terrace at the rear of the building facing onto Doris Road. Otherwise, externally, the building retains its existing character and appearance. The existing section of timber fencing leading to the rear service lane between Avenue Road and Doris Road is to be landscaped to continue the original brick pillar/railings of the site on the Avenue Road frontage.
69. The application proposes several measures for ensuring historical interpretation at the site which will contribute positively toward preserving the historical significance of the site. In addition to better revealing the original façade of the Boardman building, the application also proposes to integrate and display several artefacts within the new development. These include WW1 and WW2 memorial plaques formerly displayed within the main church, foundations and decorative stonework and decorative wooden fretwork panels forming part of the pipe chamber for the organ. It is recommended to secure a scheme for heritage interpretation by condition.
70. The scheme also provides an opportunity to respond more positively to the street scene along Park Lane through appropriate landscaping. This area currently provides car parking for staff and visitors to the site. The continued use of the area

for parking is proposed, with soft and hard landscape works to better demarcate parking spaces and improve the appearance of the site. A detailed landscaping scheme will be secured by condition to ensure the works are completed to an acceptable standard.

71. The residential scheme is of high density, but as described above this is not considered to come at significant detriment to the historic character of the surrounding area. The site is also highly accessible and located adjacent to a local retail centre and within walking distance to the city centre and such locations are considered more appropriate for higher density development under policy DM12 of the local plan. The amenity impacts of the scheme and whether the proposal would result in a cramped form of development are discussed later in the report.
72. In summary it is considered that there will be an element of less than substantial harm to the undesignated heritage asset as a result of the external works, subdivision of the internal spaces and loss of the community use. However, converting the building and providing it with a long term viable use will ensure that the assets are retained along with the contribution they make to the surrounding conservation area.
73. Retaining the contribution that the assets make to the conservation area, the enhancement through improved design and the addition of 20 units of accommodation to the city's housing stock will provide benefits to the surrounding area as well as public benefits which are considered to outweigh any harm to the heritage assets.
74. There is limited opportunity to provide disabled access to many of the units, given the nature of the levels on site and location of many of the flats on upper floors. The application nevertheless sets out for three of the units to be specifically designed to be wheelchair accessible or adaptable. Given the limited space available and the nature of the application involving the conversion of a historic building, it is not considered reasonable to expect lifts to be incorporated into the scheme, nor is it necessary under the Building Regulations.
75. The application states that secured by design principles will be followed in the implementation of the scheme and private areas are to be gated to define the boundary between public/private. The communal amenity spaces within the development benefit from a good level of natural surveillance afforded by the windows to the flats.

Main issue 3: Transport

76. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, NPPF paragraphs 17 and 39.
77. It is clear from objections received that parking capacity at the site and the potential impact of the proposal on parking availability, traffic and highway safety in the surrounding area, represents a significant concern amongst a very high number of local residents.
78. The application states that the site currently provides for seven car parking spaces although it is understood there is opportunity for more to park informally along the Park Lane frontage. The application proposes 11 car parking spaces with the

additional capacity gained from the demolition of the modern extension to the church hall building which has provided greater depth behind the footpath along the Park Lane frontage, but otherwise essentially retains the existing car parking arrangement at the site.

79. The parking spaces fall just below the recommended minimum space standards outlined in the *local plan* but do provide sufficient space to prevent cars from projecting into the footway. Given the lack of scope for any suitable alternative and the fact that the proposal effectively retains the existing car parking area, this slight shortfall is considered to be acceptable.
80. The site is highly accessible, located adjacent to a local retail centre, within walking distance of the city centre and ~220 metres from high frequency bus stops serving the wider area. The site is also located within a controlled parking zone (CPZ), benefits from proximity to several car club spaces in the surrounding area as well being on the Pink Pedalway for cyclists. The availability of car club spaces in the surrounding area could be promoted to prospective residents by the developer as part of the travel plan and parking management strategy to be agreed by condition. Further guidance on this matter is provided by informative later in the report. Residents will therefore be fully aware of car parking availability and be well placed to decide whether the accommodation is suitable to accommodate their means and lifestyle.
81. The accessibility of the site and proximity to local services and facilities make it appropriate for car free housing in accordance with policy DM32 of the *local plan*. The level of car parking proposed accords with the minimum and maximum parking standards as set out in Appendix 3 of the *local plan*. Several contributors have cited what are said to be national parking standards, bringing attention to the proposals' shortcoming in meeting the standards. It is understood that the standards pertain to those issued by the Northern Ireland Government. No such standards are stipulated by the National Planning Framework relevant to English authorities and the Norwich *local plan* has primacy for the purposes of assessment in this instance.
82. The surrounding CPZ operates Monday to Saturday (8am – 6:30pm), with parking unrestricted outside of these hours. There is a risk that some residents may own a car without the benefit of on-site parking, but to fit around the parking restrictions would lead to an inconvenient scenario for any user. The new residential units will not be eligible to receive on-street parking permits.
83. This issue of whether the council should consider issuing 24 hour parking permits in the event that planning permission is granted has been raised but this matter is not in the control of the Planning Applications Committee. However it is understood that highways officers have stated that the existing parking restrictions are considered to be adequate to protect parking in the surrounding area.
84. Given the highly sustainable location of the site, existing parking restrictions and suitability for car-free development it is not envisaged that the proposal will lead to significantly adverse impacts upon car parking availability in the surrounding area.
85. In terms of impact upon traffic flows to and from the site, it is important to note that under the current lawful use, both properties could be used by another faith or community based group, which would carry much higher traffic levels (and parking demand at peak times) than the proposed use. The associated traffic impacts of the

proposed use will be low and will not result in significant highway impacts to the surrounding area.

86. In terms of highway safety, the junction of Park Lane and Avenue Road adjacent to the site does not have any inherent accident problem and given that the proposed use will only negligibly increase on-site parking provision from that existing, the proposal is very unlikely to present any significant harm to highway safety. The junction is already protected by a speed table and 20mph speed limit.
87. The application proposes 34 cycle parking spaces which is satisfactory. Final specifications will be secured by condition to ensure that cycle parking facilities are secure and covered and fit for purpose.
88. The application sets out various locations around the site where communal refuse stores will be located. The stores provide adequate storage space to satisfy council standards for this size of development and where bin stores are not located within five metres of the highway, arrangements will be made with a management company for bins to be presented for collection and returned to their normal locations. It is noted that the storage location on the Park Lane frontage offers tight passage to the street. Details of the refuse storage will be conditioned to ensure that the store is specified appropriately to ensure ease of collection.
89. The application indicates that bins will be brought to the entrance to the site with Avenue Road but will not be stored on the highway where they might otherwise present an obstacle for pedestrians. Planning permission will be conditioned for compliance with management strategy highlighted under section 7.13 and 12 of the Design and Access Statement.

Main issue 4: Amenity

90. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
91. The area surrounding the site can be said to be one characteristic of a tight urban-knit, with several properties located in close proximity, especially adjacent to the north and west boundaries of the site. The proposal therefore needs to be considered carefully with respect both to its impact upon the amenity of neighbouring properties and also with regard to the amenity of future occupiers of the proposed dwellings.

Impact on neighbouring amenity

Overlooking/loss of privacy

92. Although the buildings already exist on site, the proposal introduces additional floors and new rooms behind the windows. Several new windows are also proposed to facilitate the conversion as well as those pertaining to the additional two-storey extension at the rear. Consequently, the opportunity for overlooking is greater than it is at present.
93. The clearest opportunity for overlooking to neighbouring properties occurs from the upper floors of the church hall looking north onto 79 Park Lane and from the side and rear windows of the two-storey extension looking onto the rear gardens of properties along Doris Road and Avenue Road.

94. The application includes a plan of the north elevation of the church hall/extension which shows how overlooking from this aspect will be mitigated. Any upper floor windows which carry the potential for overlooking to neighbouring properties are to be fitted with obscure glazing. The lower set of roof lights at second floor level relate to a void over the floor beneath where there will be no opportunity for outward views. The upper set of roof lights are high level and are pitched away and further in from the boundary with the neighbouring property and any opportunity for overlooking is minimal.
95. Understanding the impact of overlooking from the west facing windows of the church hall extension is a little more complex, but the application proposes several measures to ensure that any impact is minimised.
96. All windows on the west elevation of the extension are to be recessed and the method of construction is illustrated on page 14 of the Design and Access Statement. Recessing the windows in the proposed manner will have the effect of reducing the field of view to surrounding properties. The bottom strip of the first and second floor windows of those windows on the extension not sitting directly behind the boys brigade are to be installed with obscure glazing, further reducing the opportunity for overlooking. Windows at first floor level of the extension are not full height and a single central window is proposed to serve the top floor bedroom.
97. Members will be shown a 3D satellite image of the existing west elevation of the building to give a better idea of the impact of overlooking from the proposed development. Whilst the proposal will result in an increased impact of overlooking from the west elevation, it is considered that the severity of overlooking has been adequately mitigated through a combination of factors including the following:
- The presence of the external wall of the boys brigade building which partly impedes views from three of the first floor windows over the rear garden of 1 Avenue Road;
 - The orientation of the development where views to the rear gardens of Doris Road are oblique;
 - The recessed design of all windows on the west elevation which reduces the field of view to surrounding properties;
 - The use of obscure glazing to bottom strips of several upper ground floor windows and first floor windows not being full height.

The opportunity for overlooking is greatest from the upper two floors of the extension looking over the rear gardens of properties located along Avenue Road. Whilst this will result in some degree of harm to the amenity of neighbouring properties, the level of harm is not considered to be significant, especially when considered against the existing context which is a tight-knit urban environment where overlooking to rear gardens already occurs from upper floor windows of properties onto opposing or neighbouring rear gardens. The distance between the windows of the west elevation of the extension onto the rear gardens of Avenue Road is not dissimilar to the distances relevant to the existing incidence of overlooking between neighbouring properties.

98. Planning permission will be conditioned to require a scheme for all windows to include details of the type of glazing to be used, depth of window recesses on west facing windows on the two-storey extension as well as opening configurations. This will allow the local planning authority to further control any opportunity for overlooking as well as ensuring the satisfactory appearance of fenestration.
99. The proposal also incorporates external terraces to the rear of the boys' brigade and on the upper floor of the church building. The floor level of the boys' brigade terrace has been set at 1.7 metres below the level of the top of the obscure glazed balustrade to prevent overlooking to adjacent windows in the proposed development as well as to neighbouring properties to the rear. Terraces on the Avenue Road frontage are also fitted with obscure glazed balustrading above a brick parapet and are separated from the nearest residential property on Avenue Road by ~20 metres. This combination of distance and use of obscure glazing are sufficient in avoiding any harm from overlooking to the surrounding area.

Loss of light/overshadowing

100. A daylight/sunlight assessment was requested to establish the extent to which neighbouring properties would be affected by the two-storey extension and extension of the roof at the rear of the church hall. The report has been produced by a consultant engineer and has been based upon guidance and methodologies detailed in the 2011 Building Research Establishment's (BRE) Publication 'Site Layout Planning for Daylight and Sunlight' ("the BRE Guide"), and whilst reference to them isn't mandatory, the standards are widely relied upon by local authorities as a useful instrument for assessing daylight and sunlight impacts.
101. The daylight/sunlight report is very detailed and members are strongly advised to read the document prior to the committee meeting to gain an understanding of the scope of the study, the methodologies used and the associated impacts of the development and how they correspond to the BRE standards. The daylighting engineer has also compiled a response to some of the objections received with respect of the daylighting/sunlight results which may also be referred to.
102. The study models two 'options'; option one being that of the original submission involving a larger rear extension and a vertical wall extension to house the communal stairwell and option two where the rear extension has been reduced in scale with part of the church hall roof extended over the communal stairwell. Members are referred to pages 5 and 6 of the daylighting/sunlight report where 3D images are provided illustrating the differences between the existing built form, the first submission and the current scheme (referred to as option 2 in the report).
103. Part of the study uses the Vertical Sky Component (VSC) calculation to measure the amount of skylight reaching affected windows. The calculation represents the percentage of an unobstructed view that is available from a window, with the view always taken from the centre of a window. In practice this means that if a window were to have a totally unobstructed view of the sky looking in a single direction (taking account only of the built environment), then the maximum (best) possible value would be just under 40%. The BRE guide says that 27% represents a value signifying adequate levels of natural daylight and that where levels are below 27%, any reduction caused by development should be kept to a minimum and should not be less than 0.8 times its former value.

104. Appendix A shows the results of the VSC calculations and highlights those windows where the existing VSC is lower than the 27% baseline BRE figure. The study shows that the proposed development (option 2) will not result in any windows falling below 0.8 times their former VSC value. All assessed windows therefore meet the BRE standards in terms of the VSC.
105. The second part of the study looks at direct light from the sun and uses Annual Probable Sunlight Hours (APSH) to examine whether a window will receive enough sunlight to satisfy BRE standards. The BRE guide recommends that main habitable rooms should receive at least 25% of the APSH and at least 5% of the APSH should be received during the period between 21st September and 21st March.
106. The BRE guide explains that sunlight availability may be adversely affected if the centre of the affected window:
- receives less than 25% of annual probable sunlight hours, or less than 5% of annual probable sunlight hours between 21st September and 21st March and;
 - receives less than 0.8 times its former sunlight hours during either period and;
 - the overall annual loss is greater than 4% of APSH
107. The results of the APSH study are presented in Appendix B of the study. The results show that although the development will result in a loss of direct sunlight to windows in neighbouring properties, none of the windows included in the study fail all three BRE criteria. By BRE standards therefore, the proposed development would not have a significantly harmful impact upon the direct sunlight reaching neighbouring properties.
108. Of the individual criteria that are breached it is also relevant to consider what rooms the breaches relate to. Windows 2 and 4 of 79 Park Lane experience a total 4.15% and 6.45% overall loss of APSH respectively. Window 8 receives a reduction factor of 32.06% in winter months. The site was visited to determine what rooms the windows relate to. Window 2 relates to a wet room, window 4 relates to a hallway and window 8 relates to a study/office. Whilst the 32.06% reduction in APSH in winter months may appear a large impact, the reduction is from an existing 2.09% of APSH to 1.42%, so the difference will not be noticed to a significant degree and the impact does not relate to a main habitable window.
109. The same can be said for window 21 at 6 Doris Road which experiences a 41.12% winter reduction in APSH but this is from an existing 1.07% to 0.63%. Windows 22 and 23 will experience an annual reduction in APSH of 4.30% and 5.15% respectively. All three windows relate to a narrow kitchen room.
110. Access was not gained to visit 10 Doris Road where window 41 receives an annual reduction in APSH of 4.12%. As with all other windows in the study however, the window does not fail all three BRE criteria and by BRE standards will therefore receive adequate sunlight post development.
111. An overshadowing study is also included within Appendix C of the report and will be shown to members during the committee presentation. The study shows that the proposed development will result in a minor increase in overshadowing to the rear gardens of 6 and 8 Doris Road and 79 Park Lane, but not to any degree which will significantly harm living conditions.

112. Several contributors reference inaccuracies and errors within the daylight/sunlight study. The engineer who produced the report has provided a response to these queries and this document is included in the application. The response is accepted and the study results are considered satisfactory for enabling an accurate assessment of the daylight/sunlight impacts of the proposal to be properly understood. The response is attached to the case as a supporting planning statement and members are advised to read the document in conjunction with the main report and with regard to the issues raised in representation to the case.

Noise/smell/activity disturbances

113. Whilst the proposed residential development is of high density, this is not considered likely to result in significant noise disturbances to the surrounding area. Indeed, the numbers of people with the potential to be on site at any one time are far greater with the existing use than that proposed. However, the use and layout of the site will be different to that existing.
114. External terraces are proposed for the church building on the upper floors. The north facing terraces are buffered by the church hall building and will not therefore carry any implications for neighbouring properties in this direction. The south facing terraces are separated from opposing dwellings by landscaping, Avenue Road and a distance of ~20 metres. These factors are considered adequate to ensure that neighbouring properties will not be adversely affected by activity taking place on external terraces. Any impact of activity on the boys' brigade terrace is considered no more harmful than the many existing rear gardens of surrounding properties.
115. The proposal had included an external terrace at the boundary with 79 Park Lane. This has now been removed from the scheme following amenity concerns raised during the assessment of the application.
116. One of the communal access points to the church hall is provided beside the boundary to 79 Park Lane and concern has been raised that the use of the passage by residents as well as use of the adjacent cycle store and refuse will be detrimental to the amenities of the surrounding area. Whilst the use of the passage will lead to increased activity adjacent to 79 Park Lane, the level of potential activity is not considered to be significantly harmful and there is also an ability to access the building centrally between the church hall and church building. There is also scope for landscape improvements at the boundary with 79 Park Lane which would assist in strengthening the separation between the two sites. This detail will be included within the landscape condition to be added to any planning permission.
117. The refuse bins and cycle stores are located in positions that avoid any adverse impact on neighbouring properties.
118. Conditions will be added to any permission restricting construction times and requiring a construction method statement to minimise any disturbances resulting from the construction process. The applicant will also be advised to sign up to a Considerate Constructors Scheme.

Overbearing/over-dominant building

119. The two-storey rear extension will sit above the existing two-storey flat roofed extension at the rear of the building and fits within the roof profile of the church hall.

The roof pitch of part the church hall is also being extended in order to house the communal stairwell.

120. Plans show that the two-storey extension is set in by three metres with its roof pitching away from neighbouring properties. This is considered sufficient to avoid any loss of outlook to neighbouring properties or significant harm from a sense of overbearing. The extended church hall roof is pitched away from the boundary and does not increase the height of the development immediately on the boundary with 79 Park Lane. Such is the height and pitch of the roof that its impact upon 79 Park Lane is not considered to be significant.

Amenity of future occupants

121. The new units will provide a unique living environment for future occupants in a highly accessible part of city with good access to local facilities and services. All of the living units are generously sized and satisfy national internal space standards and it is not therefore considered that the proposal will result in an overcrowded form of development.
122. The site offers very limited external areas to provide outdoor amenity space for future occupants and it is considered that every reasonable opportunity has been taken to maximise the availability of external amenity space whilst respecting the amenity of neighbouring properties and the heritage value of the site.
123. External terraces are delivered on six of the upper floor units of the church building and one on the boys' brigade building. The units where external terraces are provided are generally the larger units that are more likely to be occupied by a family. Communal amenity spaces are provided within the site although these are of limited size and outlook. Landscaping details will be secured to maximise the quality of these spaces. The site is also located within walking distance to Heigham Park and Chapelfield Gardens, which provide high quality public outdoor spaces available for use by future residents.
124. The nature of the layout of the site means that several of the units will have a poor standard of outlook, such is the presence of surrounding buildings. Whilst less than ideal, future occupants would be aware of the outlook before moving in. Furthermore, the limited outlook from certain units must be balanced with the benefits provided from living in a development of character where living conditions are otherwise of a high standard.
125. The main habitable rooms in the development are well served by windows to ensure an adequate standard of daylighting.

Lifetime Homes

126. The requirement to provide lifetime homes in policy DM12 applies to sites of 10 plus dwellings. Given the constraints of the building and limited parking opportunities, satisfying the standard would be very difficult if not impossible. The application does however provide three units with level access, which are to be DDA compliant. Given the restrictions on the building and value in bringing it back into viable use, this level of provision is considered to be acceptable without the requirement to provide 10% of the units as lifetime homes.

Main issue 5: Affordable housing viability

127. Key policies and NPPF paragraphs – JCS4, DM33, NPPF paragraph 50.
128. The proposal is for the creation of 20 residential units and Joint Core Strategy policy 4 (affordable housing) is therefore applicable, as is the revised Affordable Housing SPD (August 2015). The policy seeks to achieve a 33% proportion of affordable housing on schemes involving the creation of 16 dwellings or more, unless it can be demonstrated that the delivery of affordable housing is unviable in prevailing market conditions.
129. A viability assessment has been undertaken for the development and assessed independently by the DVS who offer property consultancy services for the public sector.
130. The assessment calculates a Benchmark Land Value (BLV) for the development at £800,000, which captures the uplift in land value resulting from planning permission being granted for residential development. The BLV has been calculated based upon the Norwich property market. The DVS assessment states that a scheme based upon providing 33% affordable housing, CIL contributions and a developer's profit level of 20% shows a scheme which is unviable against the BLV.
131. An assessment has also been undertaken based upon an all private scheme, comprising 20 units, allowing for a developers profit of 20%, CIL contributions and the BLV of £800,000, which produces a surplus of ~£100,000, which translates to the provision of three on-site units of affordable housing or an affordable housing contribution of ~£93,000 after finance etc.
132. Following this calculation the applicant submitted additional information to the DVS and asked that they look again at build duration/anticipated sales receipts, cost of finance and land value/overage. Accepting some of the points raised by the applicant, viability was re-assessed and both the DVS and officers concluded that the scheme could deliver a commuted sum of £84,107 contributing to off-site provision in lieu.
133. The applicant is currently exploring whether any Registered Provider's would be interested in taking up three units on site. In the event that no interest is expressed then the council would expect a commuted sum to be paid towards off-site provision of affordable housing in accordance with the council's affordable housing SPD. It is understand that some interest has been expressed but for shared ownership properties, which would not satisfy the tenure mix required under JCS4. The legal agreement associated with the application is therefore likely to stipulate an affordable housing contribution of £84,107 towards off-site provision, to be payable at start on site, as opposed to affordable units being provided on site.
134. The viability assessment has been independently undertaken by the DVS and further verified by the council's Senior Development Officer. In addition it is also proposed that the a review clause is included within the S106 to require a review of viability should the development not be commenced within one year.

Compliance with other relevant development plan policies

135. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Energy efficiency	JCS 1 & 3 DM3	Yes subject to condition. The application proposes to secure 10% low carbon/renewable energy sources through a combination of heat recovery and PV panels. It is also proposed to upgrade the existing fabric of the buildings to improve thermal efficiency and reduce the overall energy consumption. Planning permission will be conditioned requiring a scheme to be set out demonstrating how the 10% requirement will be satisfied. The scheme will also require a plan for the PV panels to understand how they relate to the building in the interests of good design and preserving the character of the surrounding conservation area.
Water efficiency	JCS 1 & 3	Yes subject to condition
Drainage/flooding	DM3/5 NPPF paragraphs 100 and 103.	<p>Yes subject to condition. The site is situated within a critical drainage catchment and therefore it is important that consideration is given to ways of mitigating surface water flood risk.</p> <p>The majority of the site is currently occupied by buildings or hard-surfacing and the scheme reduces the overall roof coverage through the proposed demolition works. The application states that permeable materials will be used to improve the drainage at the site. Therefore, the application will improve the existing situation through the use of permeable paving for communal spaces as well as soft landscaping where possible. Hard landscaping details will be agreed by condition and will ensure suitable specification of materials.</p> <p>The flood report concludes that the flood risk at the site ranges from low to very low and that the only part of the site which is at risk during low chance events is the Boys Brigade building. As such a condition is recommended requiring a Water Entry Strategy to be submitted to the local planning authority for approval. This will permit the passage of water through the building in the event of a flood and will ensure that flood resilience techniques are incorporated to reduce the impacts of flooding upon future occupants.</p>

Requirement	Relevant policy	Compliance
		<p>Norfolk County Council (Lead Local Flood Authority) have been consulted and at the time of presenting this item to committee, are yet to submit comment. It is recommended that approval be granted subject to no objections being raised by the LLFA.</p> <p>Anglian Water have also been consulted and have identified that they own assets within or close to the development boundary that may affect the site layout. If it is not possible for the development to accommodate these assets then sewers may need to be redirected at the developers cost under Section 185 of the Water Industry Act. An informative is recommended to this effect. It is otherwise stated that the sewerage system at present has capacity to accommodate the development.</p> <p>The surface water/flood risk assessment submitted with the application states that infiltration can be achieved on the site which may be the case but this has not been demonstrated. Anglian Water have requested a condition be imposed requiring a surface water management strategy to be agreed with the local planning authority prior to any drainage works or hard-standing areas being constructed, to demonstrate that infiltration can be achieved on site. This will be necessary before consent would be granted to connect to the public sewerage system. Anglian Water raise no objections to the development.</p>
Trees	DM7	<p>Yes subject to condition. The scheme involves the loss of two trees on the Avenue Road frontage. The trees have high growth potential and would most likely need to be removed irrespective of development. Nevertheless, replacement planting is necessary to maintain an attractive landscaped frontage to Avenue Road and enhance the biodiversity value of the site. Planning permission will be conditioned for compliance with the AIA and requiring appropriate species to be agreed with the local planning authority prior to planting.</p>
Landscaping	DM2/3/8	<p>Yes subject to condition. Several recommendations have been made by the council's landscape officer to ensure a successful landscape scheme to ensure the satisfactory appearance of the site. The landscaping scheme will also require details of lighting (to minimise amenity impacts and harm to bats) and details of ecological enhancements including bird/bat</p>

Requirement	Relevant policy	Compliance
		<p>boxes and 'wildlife value' planting.</p> <p>The landscaping condition will also enable soft landscaping opportunities at the site to be fully explored although these may be limited such is the coverage of development on the site.</p>
Biodiversity	JCS1, DM6, NPPF paragraph 118.	<p>Extensive survey work has been carried out at the site and reveals that parts of the building complex are being used by roosting bats. It is essential that the comprehensive mitigation measures outlined in Section 9 of the Bat Survey and Assessment document are fully implemented. Planning permission shall be conditioned accordingly.</p> <p>The landscaping condition will require details of any external lighting to minimise spillage and to ensure it is 'bat friendly'. The landscaping condition will also require details of ecological enhancements at the site including bat boxes and plants of wildlife value.</p>
Contamination	DM11 NPPF paragraphs 120-122.	Yes subject to condition. There is no history of contaminated uses on the site. Informatives are recommended in the event that any contaminants are discovered during construction.

Equalities and diversity issues

136. There are no significant equality or diversity issues. Three of the units have been designed to be DDA compliant.

Local finance considerations

137. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
138. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
139. The properties created will generate New Homes Bonus. The proposed development would be CIL liable for the new floor space created by the two-storey extension and conversion.

Conclusion

140. The proposed scheme will provide an appropriate form and quality of residential development which will enable the continued preservation, protection and active use of a landmark and locally listed building which contributes significantly to the character of the surrounding area.
141. The scheme involves the conversion of a long established community facility, the loss of which is justified through the submission of evidence showing how the buildings were marketed over a nine month period as well explanation behind the lack of interest expressed during this period. The application identifies that other Methodist churches exist in the nearby area, which ensure adequate alternative provision.
142. Whilst the proposal is of high density, this does not amount to an overdevelopment of the site and future occupants will benefit from satisfactory living conditions within a development of unique character. The application exploits every reasonable opportunity to provide external amenity space for prospective residents and the lack of greater quality external space is off-set by the proximity to two high-quality public parks and a host of services and facilities are available in the adjacent local retail centre and nearby city centre.
143. The site is in an established residential area and surrounded by existing dwellings to the north and west. This report identifies the amenity impacts associated with the proposed development and discusses the extent to which they impinge upon the residential amenities of neighbouring properties. Whilst some level of harm is recognised, the degree of harm is not considered to be significant and the application is well supported by evidence to substantiate this conclusion.
144. The proposal has received a high number of objections citing concerns with the parking and traffic impacts of the development. The proposal satisfies local plan parking standards and is appropriate for low car development in accordance with policy DM32 of the local plan. The transport impacts of the development are therefore considered to be acceptable and would have a much lower impact than the existing authorised use or many other potential community or commercial uses. A travel information plan and parking management strategy will be conditioned which will ensure that residents are aware of sustainable travel options and parking limitations of the surrounding area before they move into the units.
145. The proposal will contribute 20 new units to an identified need for new housing in the city and subject to the completion of a satisfactory legal agreement, will deliver affordable housing in accordance with JCS4 and the council's affordable housing SPD.
146. Subject to conditions, the development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 15/01928/F - St Peters Methodist Church Park Lane Norwich NR2 3EQ and grant planning permission subject to the completion of a satisfactory legal agreement to include provision of affordable housing and viability review mechanism, subject to no objections being raised by Anglian Water and subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. Details to include: materials to be used in external construction of development (including samples and specifications where necessary), scheme for repairing and reinstating the original façade of the Wesleyan Chapel, method statement detailing how the front porch of the Methodist Church will be rebuilt including a structural survey confirming that the front porch needs to be taken down and rebuilt, details of the re-set stained glass window within stairwell, details of the fretwork/grill within the church hall, external railings, all external joinery, roof lights, external flues, background and mechanical ventilation, soil/vent pipes and their exits to the open air, brick bond and mortar, rainwater good, balustrading etc;
4. Landscaping scheme including all soft and hard landscape details (including detail of areas of permeable hardstanding), as well as details of lighting (to avoid spillage onto neighbouring properties and to be 'bat friendly'), tree replanting, boundary treatments (ensuring adequate separation between number 79 Park Lane), biodiversity enhancements (to include plants of wildlife value and bird/bat boxes), pit details for new replacement trees etc;
5. Undertake historic building assessment and photographic record prior to commencement, and record building in Historic Building Record;
6. No drainage works shall commence until a surface water management strategy has been submitted to and approved in writing by the Local Planning Authority. No hard-standing areas to be constructed until the works have been carried out in accordance with the surface water strategy so approved unless otherwise agreed in writing by the Local Planning Authority;
7. No development shall take place, including any works of demolition, in pursuance of this permission until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority;
8. Scheme for renewable energy to include details of how the scheme will generate a minimum of 10% of the predicted energy requirement of the development from decentralised renewable and/or low carbon sources. The scheme shall also include details of the PV panels including plans of the panels and sectional drawings to show how they relate to the building;
9. Submission parking/ cycle/ bin storage details;
10. Submission of a Water Entry Scheme for the Boys Brigade Building to deal with flood risk;

11. Submission of a scheme for the windows across the development to include details of opening configuration, area and specification for obscure glazing, and accurately scaled sections showing window recesses to minimise overlooking;
12. No occupation of the dwellings fronting Avenue Road and Park Lane shall take place until the habitable rooms fronting this road have been provided with proprietary sound-insulating ventilators (for use when windows are closed);
13. Full details of heritage interpretation to be erected at the site;
14. No occupation of the site until a travel information plan and parking management strategy has permanently established and been approved by the planning authority;
15. Compliance with the AIA;
16. Operations on site shall take place in complete accordance with the mitigation measures outlined in Section 9 of the Bat Survey and Assessment document [ref.2015-44 R1];
17. Water efficiency;
18. Refuse collection and servicing shall be managed in accordance with section 7.13 and Section 12 of the D&A;
19. Restricted construction hours
20. Removal of permitted development rights relating to any extensions for the boys brigade unit

Informatives:

1. The applicant is referred to the recommendations of the landscape officer (submitted 29.01.2016) to inform the design of the landscaping scheme.
2. The applicant is advised to consult with the council in deciding upon a suitable species for the tree replacements to be planted at the site. The proposed species included in the AIA are not considered to be appropriate. New trees should be a suitable fastigate tree which should be agreed with the council's arboricultural officer.
3. The applicant is advised to consider how the availability of car club spaces in the surrounding area could be promoted to prospective residents as part of the travel plan/parking management strategy. It is advised that parking is leased to occupants rather than sold, and that it is allocated by a management body. This would help to ensure that the on-site parking spaces are managed to best match actual demand. Parking spaces could then be numbered and controlled by use of a droppable post or a private company employed for such purposes. This would ensure that in the event that all parking spaces have been allocated, a prospective or current occupier would be fully aware that no parking spaces were available.
4. Considerate construction.
5. Unknown contamination.
6. Asbestos.

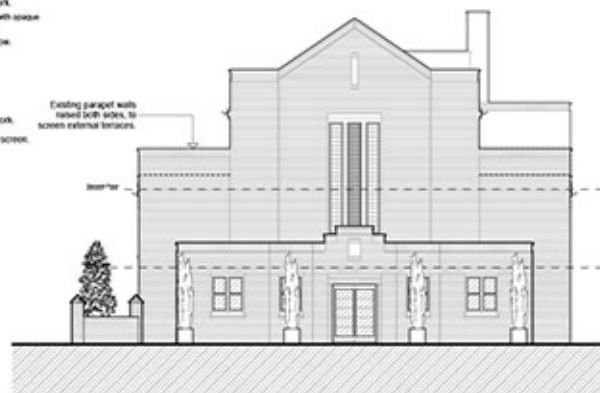
7. The development will not be eligible for parking permits.
8. Vehicle crossovers.
9. Refuse and recycling bins and storage areas to accord with the council's requirements.
10. Street naming and numbering.
11. Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

Article 35(2) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.

MATERIALS KEY:

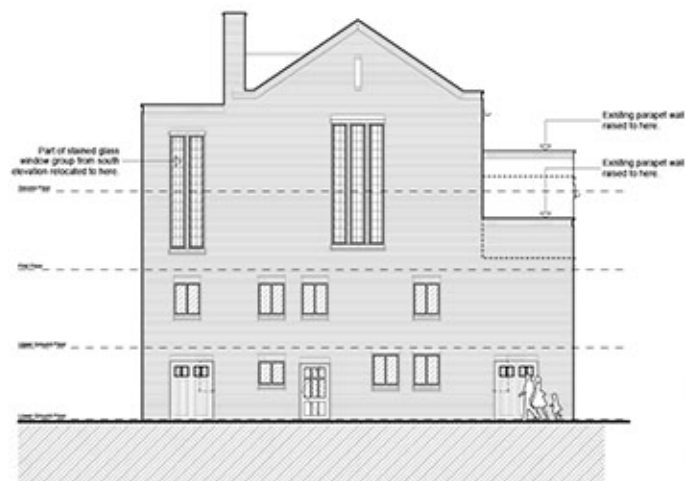
- New clear glazing
- New obscured glazing
- New 'look-a-like' opaque glazing panels
- Restored glazing with leadwork
- Restored glazing with leadwork with opaque backing screen
- Restored stained glass window
- Facing brickwork
- Zinc cladding
- Slate roof tiles
- Dark grey / black metal network
- Obscured glass balustrade / screen



EAST ELEVATION



NORTH ELEVATION



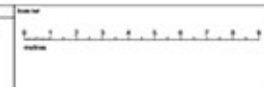
WEST ELEVATION



SOUTH ELEVATION

NOTES:
Do not use this drawing for construction purposes.
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No.	Date	Description
A	28.04.16	General revisions in relation to planning consultation response.
B	04.05.16	TV patterns adjusted.



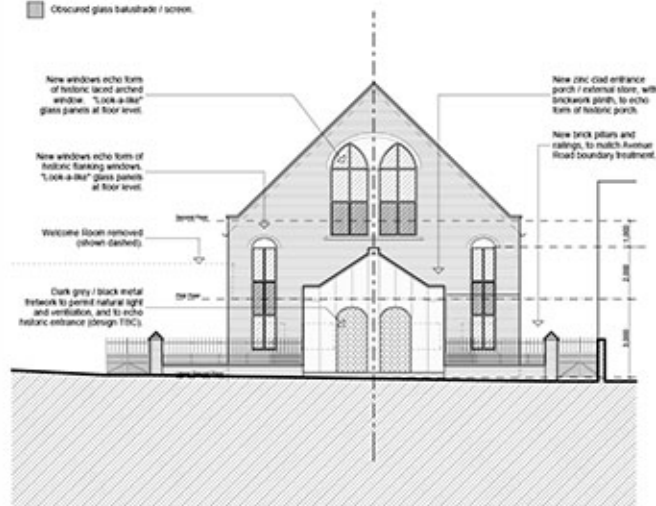
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Norfolk, NR21 3AQ
01263 855 308 or 01693 604 000 e: cat@catrionalongwill.co.uk

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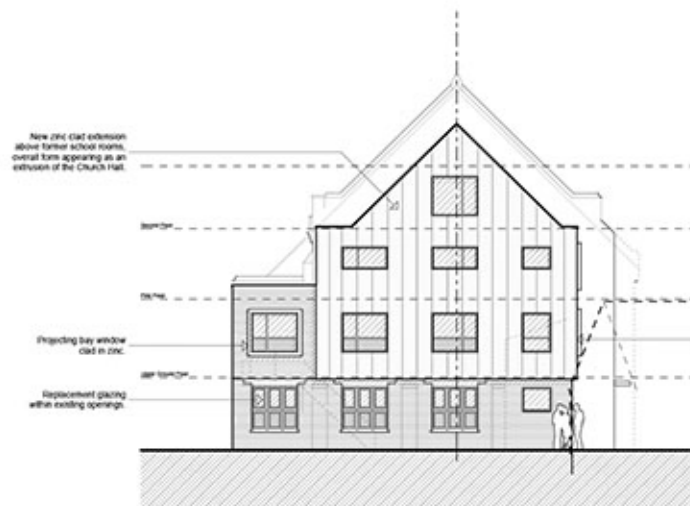
ISSUED FOR PLANNING - 14.05.2016	
ISSUED FOR PLANNING - 22.12.2016	
Drawing No.	Proposed Elevations - Church
Scale	1:100 @ A1
Date	15.10.15
Drawn by	CL
Checked by	6079 / 130

MATERIALS KEY:

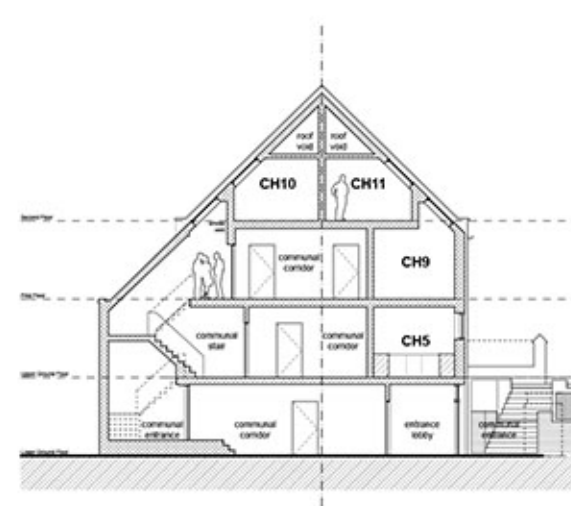
- New clear glazing
- New obscured glazing
- New 'look-a-like' opaque glazing panels
- Restored glazing with leadwork
- Restored glazing with leadwork with square backing system
- Restored stained glass window
- Facing brickwork
- Zinc cladding
- State roof tiles
- Dark grey / black metal network
- Obscured glass balustrade / screen



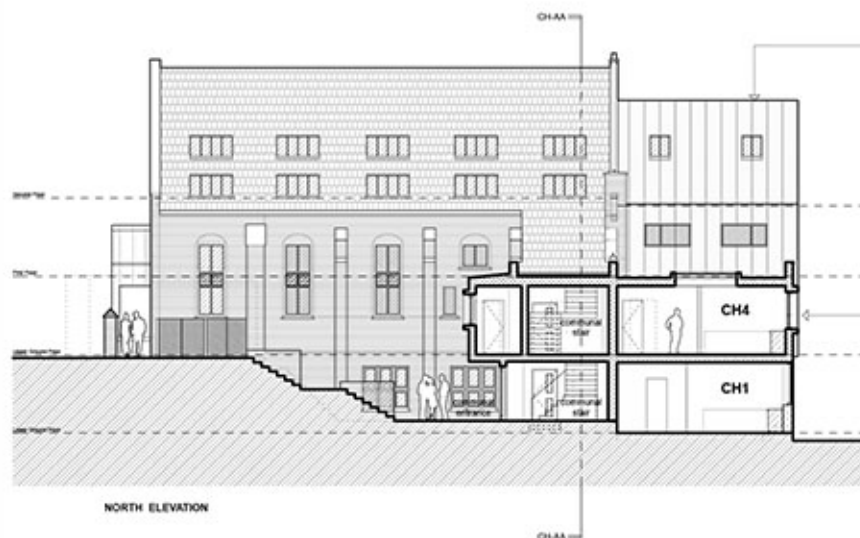
EAST ELEVATION



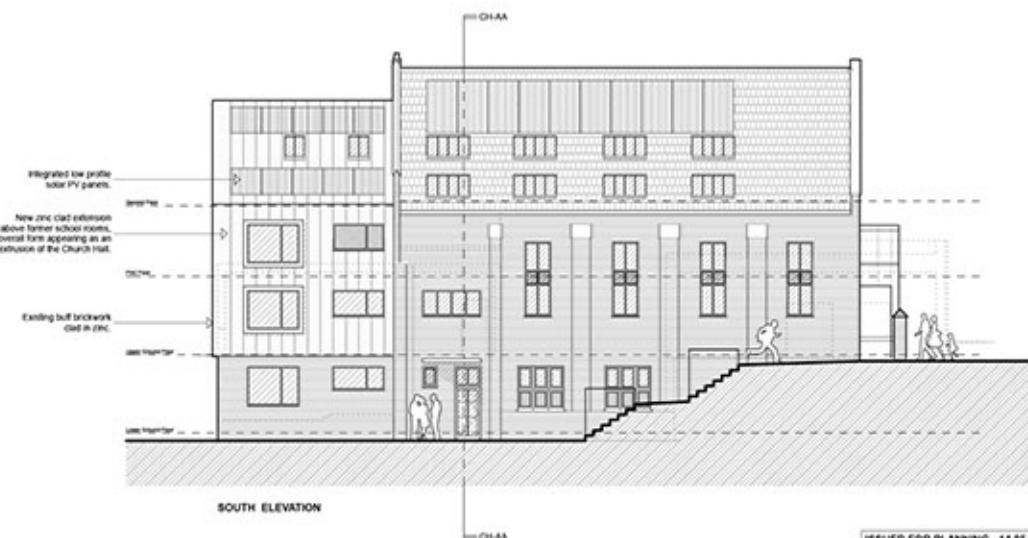
WEST ELEVATION



SECTION CH-AA



NORTH ELEVATION



SOUTH ELEVATION

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No.	Date	Description
A	19.04.16	General revisions regarding planning consultation responses, including reduction in height of new extension and alterations to roof over east entrance.
B	29.04.16	Minor revisions to south elevation of extension.
C	24.05.16	Final plan and section drawings.
D	18.07.16	Final plan and section drawings.

No.	Date	Description
1	19.04.16	General revisions regarding planning consultation responses, including reduction in height of new extension and alterations to roof over east entrance.
2	29.04.16	Minor revisions to south elevation of extension.
3	24.05.16	Final plan and section drawings.
4	18.07.16	Final plan and section drawings.

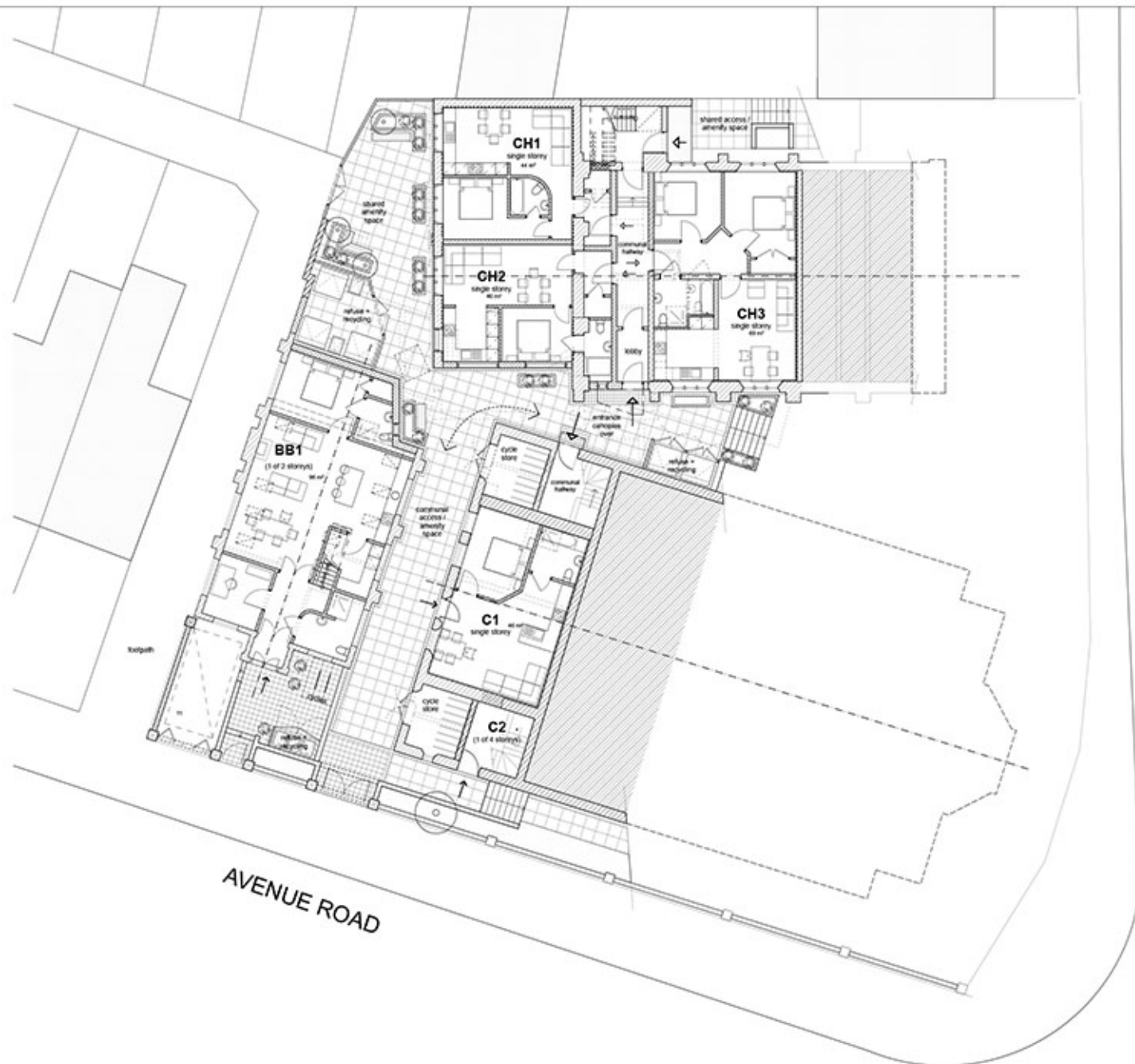
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St. Peter's, Park Lane
1:100 @ A1 15.10.15
6079 / 131

ISSUED FOR PLANNING - 14.05.2016

ISSUED FOR PLANNING - 22.12.2016

Proposed Elevations - Church Hall
Scale: 1:100 @ A1 15.10.15
Drawing No: 6079 / 131
Revision: 0

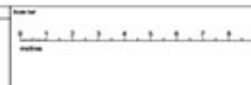


AVENUE ROAD

Proposed Lower Ground Floor Plan			
Scale	1:100 @ A1	Date	15.10.15
Drawing No	6079 / 120		Revision
			A

Do not scale from the drawing for construction purposes.
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No.	Code	Description
A	29-34-N	General revisions in drafting to planning consultation requirements.



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Client	The Interesting Building Company Ltd
Project	St. Peter's, Park Lane



PARK LANE

AVENUE ROAD

ISSUED FOR PLANNING - 14.05.2016

ISSUED FOR PLANNING - 22.12.2015

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Rev	Date	Description
A	28.04.15	General revisions in relation to planning consultation responses



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The Interesting Building Company Ltd.
St. Peter's, Park Lane

Drawing No.	Proposed Upper Ground Floor Plan + Site Plan
Scale	1:100 @ A1
Date	15.10.15
Drawn By	CL
Checked By	A
Project No.	0079 / 121



PARK LANE

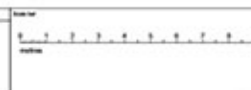
AVENUE ROAD

ISSUED FOR PLANNING - 14.05.2016

ISSUED FOR PLANNING - 22.12.2016

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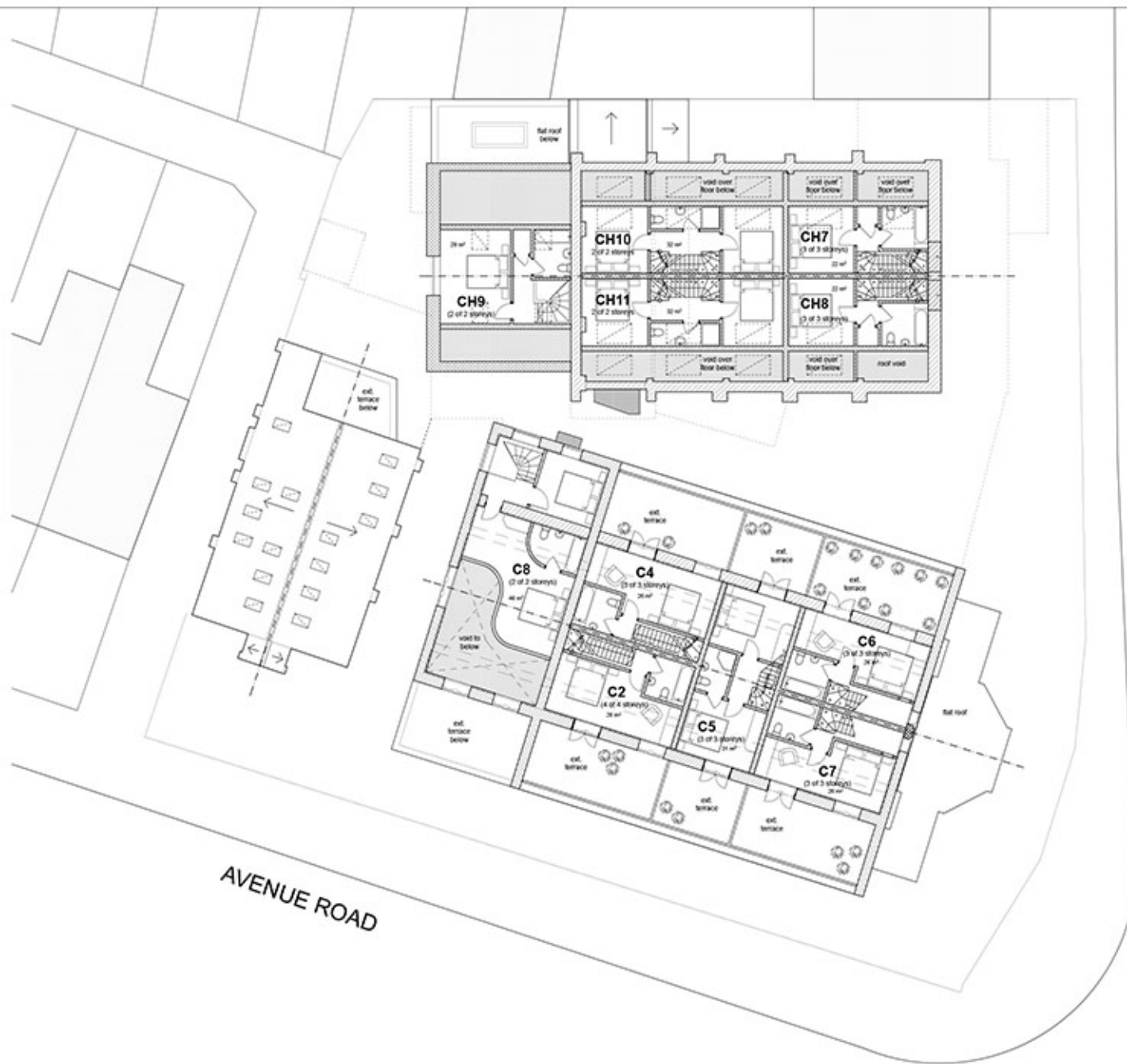
Rev	Date	Description
A	28.04.16	General revisions in relation to planning consultation responses



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St. Peter's, Park Lane

Drawing No.	Proposed First Floor Plan
Scale	1:100 @ A1
Date	15.10.15
Sheet No.	6079 / 122
Author	CL
Checker	A



PARK LANE

AVENUE ROAD

ISSUED FOR PLANNING - 14.05.2016

ISSUED FOR PLANNING - 22.12.2016

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Rev	Date	Description	Rev
A	28.04.16	General revisions in relation to planning consultation responses	

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North, 14021 542,
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The Interesting Building Company Ltd.
St. Peter's, Park Lane

Proposed Second Floor Plan
Scale: 1:100 @ A1
Drawing No: 6079 / 123
Sheet: A