

Report to Planning applications committee

Item

12 July 2018

Report of Head of planning services

Subject Application no 18/00574/F - 62 Eaton Road, Norwich,
NR4 6PR

4(d)

**Reason
for referral** Objection / Called in by an elected member

Ward:	Eaton
Case officer	Charlotte Hounsell - charlottehounsell@norwich.gov.uk

Development proposal		
Two storey side extension.		
Representations		
Object	Comment	Support
2	0	0

Main issues	Key considerations
1 Design	Scale, form and materials
2 Amenity	Loss of light, outlook and privacy
Expiry date	13 June 2018
Recommendation	Approve

The site and surroundings

1. The subject property is located on the South side of Eaton Road, South West of the City Centre. The detached dwelling is constructed of painted brick and clay pantiles. There is a single storey garage attached to the side of the property, with a large front garden and driveway which provides off-road parking. To the rear of the property is a large mature garden bordered by approximately 1.80m boundary fencing. The dwelling has previously erected single storey rear extensions. The existing property is located close to the boundaries with the neighbouring dwellings. The properties in the surrounding area are of mixed age and design.

Constraints

2. There are no constraints on this site.

Relevant planning history

- 3.

Ref	Proposal	Decision	Date
14/01516/PDE	Erection of single storey extension to rear of dwelling. The extension extends 5100mm beyond the rear wall of the original dwelling. The height at the eaves is 2100mm. The height at the highest point of the extension is 3000mm.	CEGPD	17/11/2014

The proposal

4. The proposal is for the construction of a two storey side extension.
5. The extension would be above the existing garage.
6. It should be noted that the proposal has been amended to remove the balcony to address concerns around overbearing impact and loss of light.

Summary information

Proposal	Key facts
Scale	
No. of storeys	Two
Max. dimensions	3.80m x 10.20m, 5.00m at the eaves and 8.00m at maximum height.
Appearance	

Proposal	Key facts
Materials	Painted brick, western red cedar cladding, pantiles

Representations

7. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. One letter of representation and one letter from an elected member have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Excessive size of the extension	See Main Issue 1
Loss of light to neighbouring windows and garden	See Main Issue 2
Overlooking from balcony	See Main Issue 2
Access to land for scaffolding	Access rights to land are a civil matter and not a planning matter. This issue has therefore not been considered further.

Consultation responses

8. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Tree protection officer

9. I have reviewed the application and have no comments to make
10. The tree is in a poor location and issues will continue to arise as it gets bigger. Removing the tree to make way for the extension is acceptable.

Assessment of planning considerations

Relevant development plan policies

11. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design

12. Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)

- DM1 Achieving and delivering sustainable development
- DM2 Ensuring satisfactory living and working conditions
- DM3 Delivering high quality design
- DM7 Trees and development
- DM30 Access and highway safety
- DM31 Car parking and servicing

Other material considerations

13. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF7 Requiring good design
- NPPF8 Promoting healthy communities

Case Assessment

14. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Design

15. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 9, 17, 56 and 60-66.
16. The proposed extension would be approximately 3.80m x 10.20m (maximum measurements).
17. The extension is considered to be of an appropriate form and includes a smaller gable which mirrors the existing gable on the property. In addition, whilst the extension would come forward of the existing garage position, it would not be forward of the existing building line and would be consistent with the pattern of surrounding development.
18. The proposal also includes the use of western red cedar cladding, which is not commonly seen in the surrounding area. However, the properties along Eaton Road are of mixed designs and utilise a variety of materials. In addition, the recently approved dwelling adjacent to 82 Eaton Road (Ref: 18/00402/MA) uses the same material. Therefore whilst the dwelling will differ in appearance compared with the existing, the use of materials is not considered to be significantly detrimental to the character of the house and surrounding area.
19. Concerns were raised that the extension would be of an excessive size. It is acknowledged that the extension is of considerable size. However, the existing property is located within a large plot that is able to accommodate the size of the

proposed extension. In addition, the extension has been designed so as to appear subservient. Therefore, the size of the extension is not considered to result in an overly dominant addition.

Main issue 2: Amenity

20. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
21. The proposal would improve occupier amenity by providing additional living accommodation.
22. Concerns were raised that there would be increased overlooking from the balcony to the rear of the site. This proposal has been revised and the balcony element removed from the scheme to address this issue. Although there will be an additional window at first floor, the level of overlooking from this window is not considered to differ significantly from the existing situation.
23. Concerns were also raised regarding loss of light and outlook to a ground floor window and an outdoor patio area of the neighbouring dwelling. As above, the balcony element has been removed from the scheme. In the revised proposal, the extension does not extend past the existing rear elevation of the dwelling. Therefore, the impact upon light and outlook to the outdoor patio area and the kitchen windows within the rear elevation is considered to be acceptable.
24. The side elevation ground floor window serving a study will be impacted by the development. At present, this window is located approx. 1m away from the existing 1.80m boundary fence and already receives a reduced amount of light. It should be noted that this window is currently obscure glazed. The proposal would be built up to the boundary with the neighbouring dwelling. This would likely result in a significant reduction of light to this room. Members should note, however that a study would not be considered as a primary living space. There are a number of other windows within the side elevation of the neighbouring dwelling, however, these either do not serve primary living spaces (i.e. landings/bathrooms etc.) or they have secondary window to either the front or rear. Officers acknowledge that the impact upon side elevation windows at the neighbouring property is not ideal, however is considered acceptable on balance.

Compliance with other relevant development plan policies

25. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Cycle storage	DM31	As existing
Car parking provision	DM31	Loss of garage but ample off-road parking on driveway
Refuse Storage/servicing	DM31	As existing

Other matters

26. Concerns were raised that access would be required onto neighbouring land for construction and that consent would not be given for this access. Rights of access and land ownership are not a planning matter and have therefore not been considered further.
27. One tree is proposed for removal to make way for the extension. The tree officer has confirmed that they would have no objection to the removal of the tree.

Equalities and diversity issues

28. There are no significant equality or diversity issues.

Local finance considerations

29. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
30. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
31. In this case local finance considerations are not considered to be material to the case.

Conclusion

32. In summary, the proposal is considered to be of an appropriate scale and form for the plot and in the context of the surrounding area. The scheme has been revised to remove the balcony element which addresses concerns of overlooking and reduces the impact upon kitchen windows and the outdoor patio area. However, it is acknowledged that, whilst the study is not a primary living space, the proposal would likely have a significant impact upon light and outlook to this window and members will need to consider the weight they give to this.
33. On balance, the development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

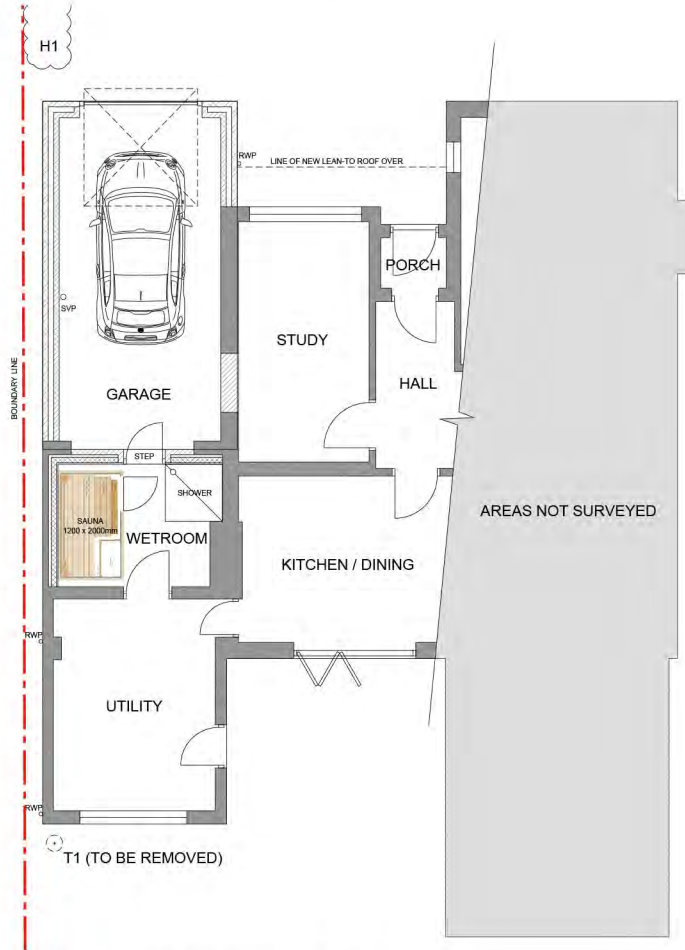
To approve application no. 18/00574/F - 62 Eaton Road, Norwich, NR4 6PR and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;

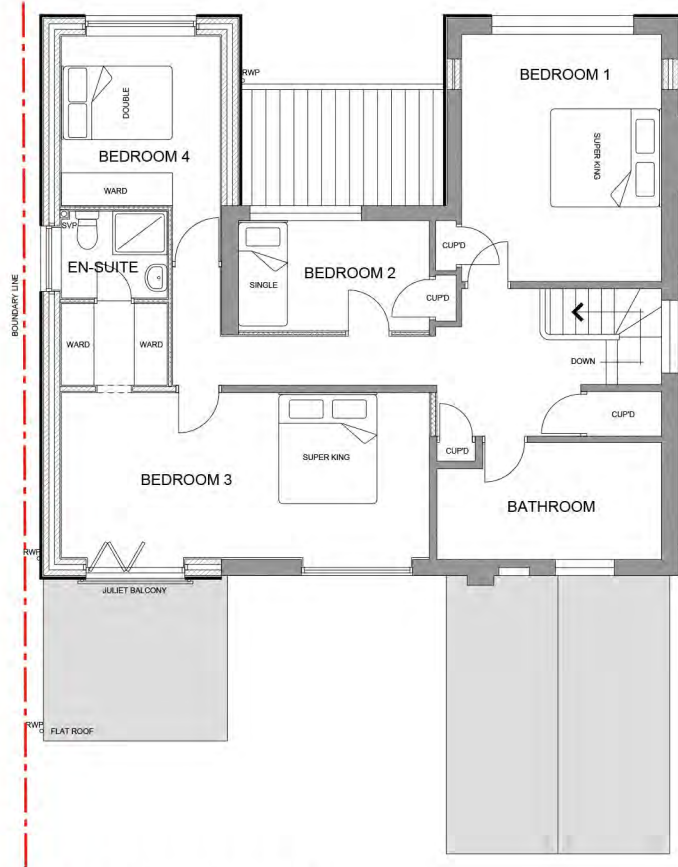
OVERALL ROOM DIMENSIONS:

	(mm)	(feet & inches)
GARAGE	2965 x 5932	9' 9" x 19' 6"
WETROOM	3017 x 2248	9' 11" x 7' 5"
BEDROOM 2	3504 x 2021	11' 6" x 6' 8"
BEDROOM 3	6753 x 3028	22' 2" x 9' 11"
BEDROOM 4	2915 x 3109	9' 7" x 10' 2"
EN-SUITE	1940 x 1594	6' 4" x 5' 3"
WALK-IN-ROBE	1940 x 1500	6' 4" x 4' 11"

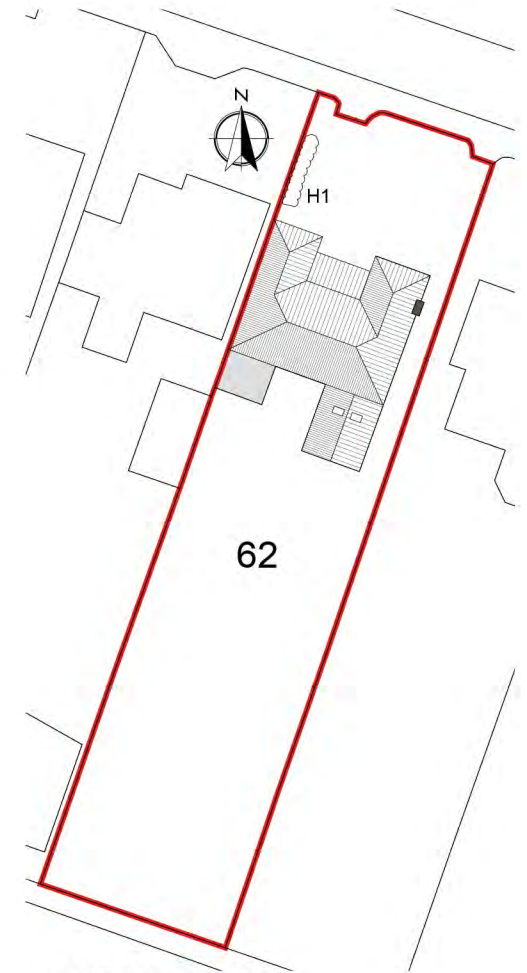
Dimensions are approximate only and subject to change.



GROUND FLOOR PLAN. 1:50



FIRST FLOOR PLAN. 1:50



SITE PLAN. 1:200

REV	DATE	DESCRIPTION
B	27/06/18	ROOF BALCONY REMOVED. JULIET BALCONY ADDED.
A	13/04/18	DOOR ADDED BETWEEN GARAGE & WETROOM.

John Goddard Associates
 chartered building surveyors
 t: 01603 619211 e: mail@jgasurveyors.com
 f: 01603 617704 w: www.jgasurveyors.com

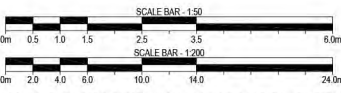
CLIENT:
 MR & MRS M. FITCH
 62 EATON ROAD
 NORWICH

PROJECT:
 EXTENSION & ALTERATIONS.

DRAWING TITLE:
 PROPOSED FLOOR PLANS &
 SITE PLAN.

DATE	SCALE	DRAWN BY	CHECKED
APR 2018	1:50,200 @ A1	PJ	JG

STATUS	DRAWING NO.	REV.
I	18-01-05 / 03	B



NOTE: DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS & INFORMATION ARE TO BE CHECKED & VERIFIED ON SITE PRIOR TO ANY WORKS COMMENCING. ANY DISCREPANCIES OR CONTRADICTIONS ARE TO BE REPORTED TO JGA IMMEDIATELY. ANY CHANGES MADE TO THIS DRAWING WITHOUT JGA'S KNOWLEDGE OR APPROVAL ARE DONE SO AT RISK. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ISSUED INFORMATION. ©

[Draft, Preliminary, Information, Tender, Construction]



FRONT (NORTH) ELEVATION. 1:50



SIDE (WEST) ELEVATION. 1:50



REAR (SOUTH) ELEVATION. 1:50



PART SIDE (EAST) ELEVATION. 1:50

PROPOSED MATERIALS (GENERALLY TO MATCH EXISTING):

PERIMETER PLINTH: NATURAL COLOURED RENDER.

WALLS (BRICKWORK): CREAM / OFF-WHITE PAINTED BRICKWORK ABOVE RENDERED PLINTH TO FIRST FLOOR LEVEL. SOLDIER COURSE DETAILING OVER GARAGE DOOR.

WALLS (CLADDING): WESTERN RED CEDAR, VERTICAL, TIMBER CLADDING, FROM FIRST FLOOR LEVEL TO SOFFIT.

ROOF: CLAY PANTILES TO MATCH EXISTING. REUSE EXISTING TILES FIRST (PREVIOUSLY CAREFULLY REMOVED), AROUND NEW FRONT HIPPED ROOF FIRST. DARK GREY CLAY PANTILES TO REMAINING SIDE AND REAR ELEVATIONS OF FIRST FLOOR EXTENSION.

FENESTRATION: WHITE PVC-U.

GARAGE DOOR: TIMBER CHEVRON TO MATCH CLADDING.

JULIET BALCONY: GUARDING (1100mm HIGH), CLEAR GLAZED PANELLING. ALUMINIUM FRAMING.

FASCIAS, SOFFITS & BARGEBOARDS: WHITE PAINTED TIMBER.

RAINWATER GOODS: BLACK ANGULAR SECTION GUTTER & SQUARE SECTION RWPS.

REV	DATE	DESCRIPTION
A	27/06/18	ROOF BALCONY REMOVED. JULIET BALCONY ADDED.

John Goddard Associates
chartered building surveyors

t: 01603 619211 e: mail@jgasurveyors.com
f: 01603 617704 w: www.jgasurveyors.com

St. Francis House, 141-147 Queens Road, Norwich, NR1 3PN

CLIENT:
MR & MRS M. FITCH
62 EATON ROAD
NORWICH

PROJECT:
EXTENSION & ALTERATIONS.

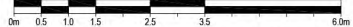
DRAWING TITLE:
PROPOSED ELEVATIONS.
(CLADDING OPTION).

DATE: APR 2018 SCALE: 1:50 @ A1 DRAWN BY: PJ CHECKED: JG

STATUS: **I** DRAWING NO.: **18-01-05 / 05** REV: **A**

[Draft, Preliminary, Information, Tender, Construction]

SCALE BAR - 1:50



NOTE: DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS & INFORMATION ARE TO BE CHECKED & VERIFIED ON SITE PRIOR TO ANY WORKS COMMENCING. ANY DISCREPANCIES OR CONTRADICTIONS ARE TO BE REPORTED TO JGA IMMEDIATELY. ANY CHANGES MADE TO THIS DRAWING WITHOUT JGA'S KNOWLEDGE OR APPROVAL ARE DONE SO AT RISK. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ISSUED INFORMATION. ©



FRONT (NORTH) ELEVATION. 1:50



SIDE (WEST) ELEVATION. 1:50



REAR (SOUTH) ELEVATION. 1:50

EXISTING MATERIALS:

PERIMETER PLINTH: NATURAL COLOURED RENDER.

WALLS (BRICKWORK): WHITE PAINTED BRICKWORK ABOVE RENDERED PLINTH TO UNDERSIDE OF FIRST FLOOR WINDOWS. SOLDIER COURSE DETAILING OVER GROUND FLOOR WINDOWS & DOORS AND TO PERIMETER UNDER FIRST FLOOR WINDOWS.

WALLS (RENDER): WHITE COLOURED RENDER FROM SILL OF FIRST FLOOR WINDOWS TO SOFFIT.

CHIMNEY STACK ABOVE ROOFLINE: RED / BROWN FACE BRICKWORK.

ROOF (ORIGINAL HOUSE): CLAY PANTILES.

ROOF (EXISTING EXTENSION): DARK GREY, CLAY PANTILES.

FENESTRATION GENERALLY: WHITE PVC-U.

FRONT ENTRANCE DOOR: DARK GREEN PAINTED TIMBER.

GARAGE DOOR: DARK GREEN PAINTED METAL.

FASCIAS, SOFFITS & BARGEBOARDS: WHITE PAINTED TIMBER.

RAINWATER GOODS: BLACK ANGULAR SECTION GUTTER & SQUARE SECTION RWPS.

REV	DATE	DESCRIPTION

John Goddard Associates
chartered building surveyors

T: 01603 619211 E: mail@jgasurveyors.com
F: 01603 617704 W: www.jgasurveyors.com



CLIENT:
MR & MRS M. FITCH
62 EATON ROAD
NORWICH

PROJECT:
EXTENSION & ALTERATIONS.

DRAWING TITLE:
EXISTING ELEVATIONS.

DATE: FEB 2018 SCALE: 1:50 @ A1 DRAWN BY: PJ CHECKED: JG

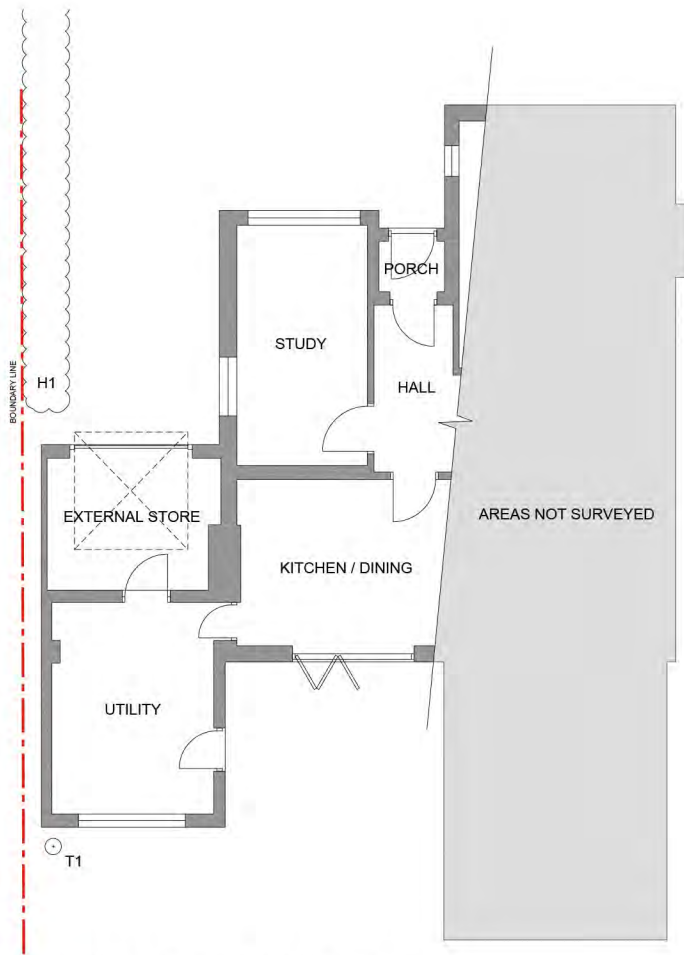
STATUS: **I** DRAWING NO.: **18-01-05 / 02** REV:

[Draft, Preliminary, Information, Tender, Construction]

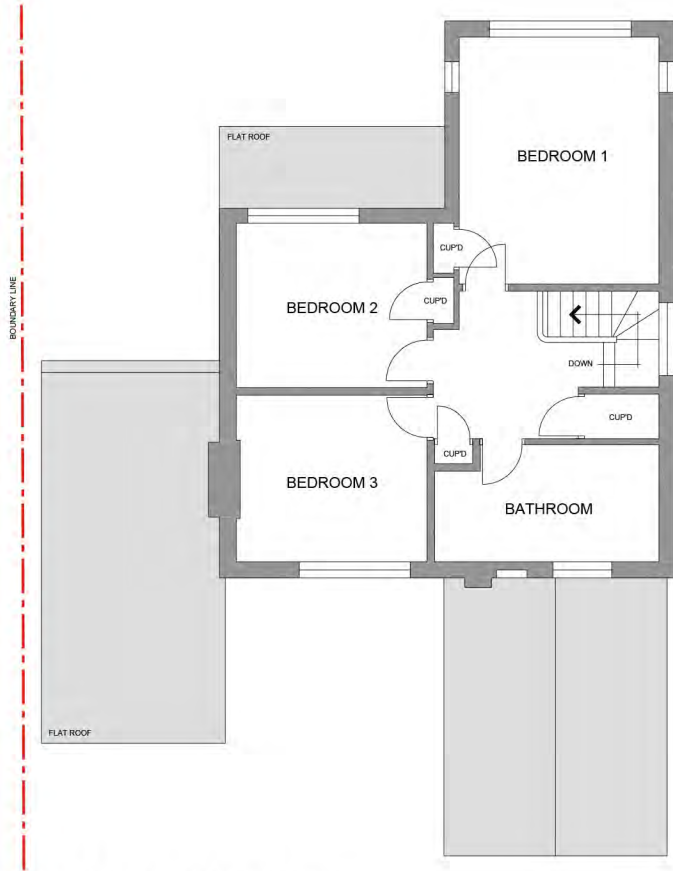
SCALE BAR - 1:50



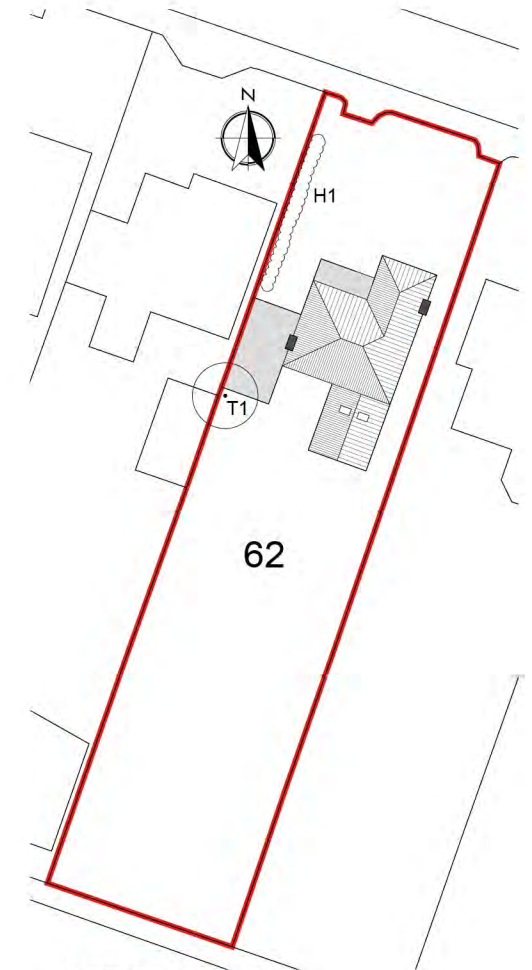
NOTE: DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS & INFORMATION ARE TO BE CHECKED & VERIFIED ON SITE PRIOR TO ANY WORKS COMMENCING. ANY DISCREPANCIES OR CONTRADICTIONS ARE TO BE REPORTED TO JGA IMMEDIATELY. ANY CHANGES MADE TO THIS DRAWING WITHOUT JGA'S KNOWLEDGE OR APPROVAL ARE DONE SO AT RISK. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ISSUED INFORMATION. ©



GROUND FLOOR PLAN. 1:50



FIRST FLOOR PLAN. 1:50



SITE PLAN. 1:200



SOURCE: STREETWISE ONLINE SOLUTIONS LTD. COMPANY NUMBER: 4945274.
 MAPS CROWN COPYRIGHT LICENCE NUMBER: 100047474.

SITE LOCATION PLAN. 1:1250



REV	DATE	DESCRIPTION

John Goddard Associates
 chartered building surveyors

t: 01603 619211 e: mail@jgasurveyors.com
 f: 01603 617704 w: www.jgasurveyors.com

RICS

St Francis House, 141-147 Queens Road, Norwich, NR1 3PN

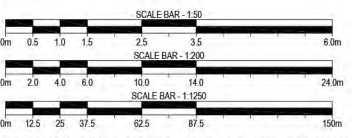
CLIENT:
 MR & MRS M. FITCH
 62 EATON ROAD
 NORWICH

PROJECT:
 EXTENSION & ALTERATIONS.

DRAWING TITLE:
**EXISTING FLOOR PLANS &
 SITE/SITE LOCATION PLANS.**

DATE: FEB 2018	SCALE: A.S. @ A1	DRAWN BY: PJ	CHECKED: JG
-------------------	---------------------	-----------------	----------------

STATUS: I	DRAWING NO: 18-01-05 / 01	REV:
---------------------	-------------------------------------	------



NOTE: DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS & INFORMATION ARE TO BE CHECKED & VERIFIED ON SITE PRIOR TO ANY WORKS COMMENCING. ANY DISCREPANCIES OR CONTRADICTIONS ARE TO BE REPORTED TO JGA IMMEDIATELY. ANY CHANGES MADE TO THIS DRAWING WITHOUT JGA'S KNOWLEDGE OR APPROVAL ARE DONE SO AT RISK. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ISSUED INFORMATION. ©