

Report to Planning applications committee
 08 October 2020

Report of Area Development Manager

Subject Application no 20/00267/VC - Land at Dowding Road
 Taylors Lane and Douglas Close Norwich

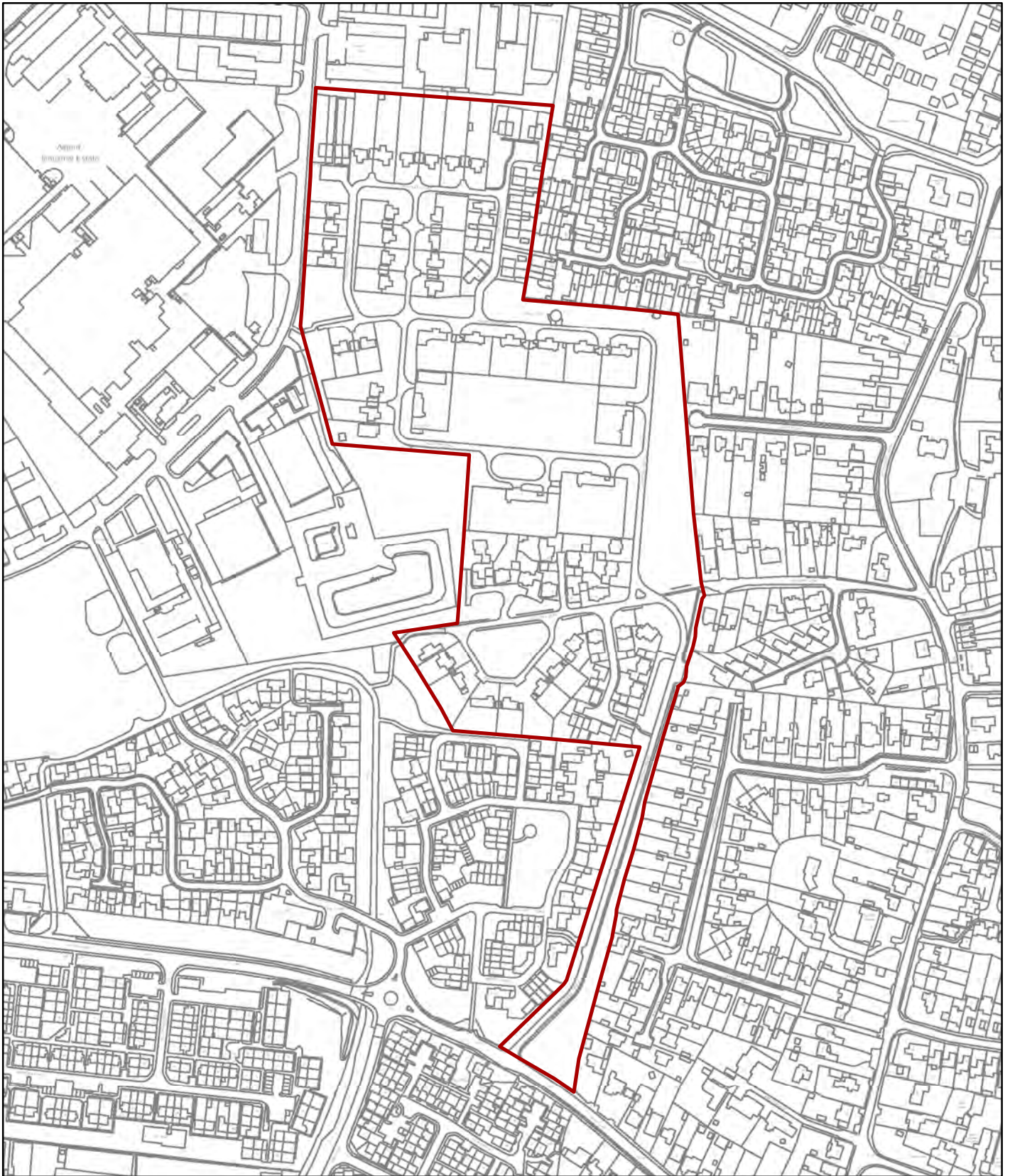
Reason for referral Objections

4(c)

Ward:	Catton Grove
Case officer	Maria Hammond - mariahammond@norwich.gov.uk

Development proposal		
Variation of Condition 10: landscaping of previous permission 11/00766/RM to replace landscape report.		
Representations		
Object	Comment	Support
5	1	0

Main issues	Key considerations
1	Principle of proposed changes to landscaping
2	Biodiversity
3	Amenity
Expiry date	12 June 2020
Recommendation	To: (1) approve subject to conditions and a section 106 agreement securing a contribution to affordable housing; (2) refuse if a satisfactory section 106 agreement is not completed within six months.

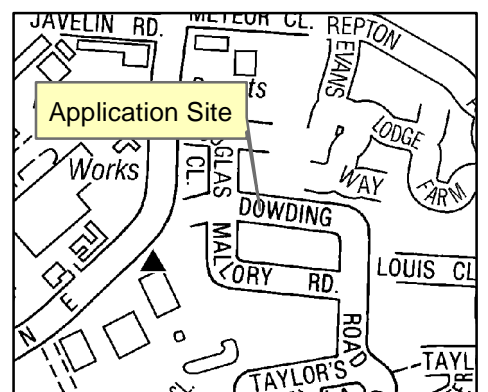


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Planning Application No 20/00267/VC
Site Address Land at Dowding Road,
Taylors Lane & Douglas Close
Scale 1:4,000



NORWICH
City Council
PLANNING SERVICES



The site and surroundings

1. The application concerns land around Dowding Road, Taylors Lane and Douglas Close; a residential area off Fifers Lane, north of the city.
2. The area was originally a development of RAF housing which has subsequently become market housing and further developed with new infill dwellings (07/1427/O).
3. The dwellings, both original and new, are largely detached with private gardens and large, open green spaces exist around the built development.

Constraints

4. Many of the green spaces throughout the area are defined as open space in the Local Plan and many of the mature trees are protected by TPOs.
5. The area is within a critical drainage catchment.

Relevant planning history

6.

Ref	Proposal	Decision	Date
07/01427/O	Erection of 51 dwellings, 25 detached and 26 semi-detached houses with garages. (Revised information).	APPR	30/03/2009
11/00766/RM	Reserved matters of appearance, landscaping and layout for previous outline planning permission 07/01427/O 'Erection of 51 dwellings, 25 detached and 26 semi-detached houses with garages. (Revised Layout)'.	APPR	15/11/2011
11/01909/D	Details required for Condition 4: Hard and Soft Landscaping; Condition 5: Arboricultural Method Statement; Condition 6: Surface Water Drainage; Condition 7: Foul Water Drainage; Condition 8: Pollution Control; Condition 9: Surface Water from Roads; Condition 10: Contamination; Condition 11: Resource Efficiency; Condition 12: Renewable Energy; Condition 13: Waste Management; Condition 14: Car Parking, Cycle and Refuse Storage; Condition 15: Fire Hydrants; Condition 17: Access Arrangements; Condition 18: Construction Management Plan; Condition 19: Bat Survey; Condition 20:	PART	20/07/2012

Ref	Proposal	Decision	Date
	Reptile Survey; Condition 21: Footpaths, of permission 07/01427/O.		
11/02043/D	Details required for Condition 3: Replacement Tree Planting; Condition 4: Contractors' Storage and Parking Areas; Condition 6: Sound Insulation; Condition 7: Materials; Condition 8: Water Consumption; Condition 9: Solar Panels; Condition 10: Landscape Management and Maintenance; Condition 11: External Lighting of reserved matters consent 11/00766/RM of outline permission 07/01427/O.	PART	20/07/2012
12/00354/RM	Revised reserved matters (of previous outline consent 07/01427/O) for the appearance, landscaping and layout of the southern part of the site plots 1-14 inclusive within 'Area A' and provision of a play area in the northern half of the site adjacent to 'Area C'.	APPR	07/06/2012
12/01488/D	Details of condition 3 - replacement tree planting, condition 5 - water consumption, condition 6 - solar thermal panels, condition 7 - landscape management and maintenance and condition 8 - external lighting of reserved matters consent 12/00354/RM of planning permission 07/01427/O.	APPR	27/09/2012
12/01691/D	Details of condition 4 - landscaping, condition 7 - foul drainage and condition 21 - footpaths of outline planning permission 07/01427/O 'Erection of 51 dwellings, 25 detached and 26 semi-detached houses with garages. (Revised information)'. '.	APPR	27/09/2012
12/01692/D	Details of condition 3 - tree planting, condition 4 - contractors' storage area and condition 10 - landscape management of planning permission 11/00766/RM 'Reserved matters of appearance, landscaping and layout for previous outline planning permission 07/01427/O 'Erection of 51 dwellings, 25	APPR	27/09/2012

Ref	Proposal	Decision	Date
	detached and 26 semi-detached houses with garages. (Revised Layout)'.'		

The proposal

7. The application proposes varying a landscape management plan previously agreed in accordance with condition 10 of the reserved matters permission for the new dwellings. This condition required the submission and agreement of a landscape management plan for all landscaped areas outside the curtilage of dwellings and for these areas to be subsequently maintained and managed in accordance with the plan to be agreed.
8. That plan was subsequently submitted and agreed (application 12/01692/D and 12/01488/D in respect of condition 7 of revised reserved matters for part of the site 12/00354/RM).
9. The approved soft landscaping of the site included areas of wildflower planting and the associated landscape management plan included provisions to maintain these with the objectives of:

“To maintain sustainable grassland and wildflower areas for visual amenity and wildlife benefit: To include mixes for meadows and wetland areas. To maintain healthy biodiversity in the sward. To ensure freedom from water logging, burning, drought and excessive wear that might cause degradation and failure.”
10. To achieve these objectives, the management regime for these areas includes cutting in the early spring and winter. The documents also makes provision to replace the wildflower areas if they are distressed, failing or degraded.
11. The approved wildflower planting includes a large area at the entrance from Fifers Lane, strips along Dowding Road, an area within a central grassed space to Embry Crescent and areas along Taylor’s Lane.
12. The application proposes amending the permission to apply to a revised landscape management plan. The revision to the landscape management plan proposes removing all wildflower areas, except the largest at the Fifers Lane entrance, and to replace these with grass to be mown in accordance with the agreed measures for the other existing areas of amenity grass. The affect of this change will be to grant a new outline permission for the existing development.
13. The application has arisen from negotiations with the applicants to improve management of the land and achieve compliance with the previously agreed management plan. Representations received on the application highlight some of the local concerns which have informed these negotiations.

Representations

14. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 6 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
<p>Additional housing is being requested on our continued reduction of Green spaces, the open spaces here are for the use of our community and is used everyday. Object to the planning permission to reduce our valued and much wanted greens spaces within our community.</p>	<p>This individual has been contacted to clarify the nature of the proposal and confirm that no new housing is proposed in the application. No further response has been received.</p>
<p>Stop cutting trees down and ruining the bird wildlife, would rather hear the birds sing which is more calming than noisy disturbance by yet more residents. Impacts on health.</p>	<p>See main issue 2 for biodiversity. There is no proposal to remove trees in this application.</p>
<p>The wild flower meadows in question, were beautiful and people came and admired them from far and wide. Unfortunately they have not been looked after well and no longer flower as they once did. This applies to whole area, it is a poor example of what it was once.</p>	<p>See main issue 1.</p>
<p>Pleased the plan will be enacted to improve the amenity of the area but not clear whether existing hedges, which provide a visual amenity, habitat for birds and wildlife and security to property, would be protected. Hope these would remain.</p>	<p>The amended landscape management plan does not propose making any changes to the management of hedges or trees.</p>
<p>Object to this amendment, or at least look to adjust the landscape with reference to planting. 5 Mature Flowering Cherry Trees needed to be cut down over the last 3 years and nothing has been done to replace any of them leaving ugly stumps. Sure that they should have replaced. Why not request that the applicant Plant / replace these trees and also look to plant Native species in replacement of the flowering meadow which only looks</p>	<p>Trees protected by TPO have been removed with permission and the TPO regulations require replacement planting. This can be enforced separately to this application. Alternative planting proposals noted.</p>

attractive for 2 months. Tree planting will look pleasing and create shape (especially with a flowering species used) and also have a Green Carbon catchment / benefit.	
The site is failing - including the wildflower meadows, due to lack of care and failure to comply with the planning requirements by the owners. I would hope that as part of the decision making a firmer commitment by the owners is sought to ensure that they contractually deliver the management scheme as set out in the document, something they have never done.	See main issue 1

Consultation responses

15. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Landscape

16. I note: 3.4.5 Replacement of Wildflower Areas; The Wildflower areas on the site shall be replaced with grass as soon as reasonably practicable and thereafter maintained in accordance with this document.
17. This would represent a reduction of the approved landscape scheme. No explanation seems to be provided and no alternative features to replace the landscape and ecological benefits appear to be proposed.
18. Please could the applicants submit a revised report that explains clearly what revisions to the approved scheme are proposed together with reasoned justification?
19. Without this, I am unable to support the application.

Assessment of planning considerations

Relevant development plan policies

20. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
21. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
- DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM6 Protecting and enhancing the natural environment

- DM8 Planning effectively for open space and recreation
- DM12 Ensuring well-planned housing development

Other material considerations

22. **Relevant sections of the National Planning Policy Framework February 2019 (NPPF):**
- NPPF2 Achieving sustainable development
 - NPPF8 Promoting health and safe communities
 - NPPF12 Achieving well-designed places
 - NPPF15 Conserving and enhancing the natural environment
23. Supplementary Planning Documents (SPD)
- Trees, development and landscape SPD adopted June 2016

Case Assessment

24. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

25. Key policies and NPPF paragraphs – DM1, DM2, DM3, DM6, DM8, DM12, NPPF sections 8, 12 and 15
26. In accordance with Policy DM8, the open spaces would be retained as part of the proposal and remain open for use and enjoyment by residents.
27. This application is a result of negotiations with the land owner which have sought to achieve compliance with the previously approved landscape management plan.
28. Since 2015, the Council have received complaints about the standard of, or lack of, maintenance of the landscaped green spaces. Management responsibilities are split between two different land owners, and the complaints have only concerned those areas which are the responsibility of the applicants for the current application. Whilst grass areas have been mown on a reasonably regular basis, the less regular tasks, such as hedge pruning, replacing trees and cutting the wildflower areas have often been neglected. Complaints have focused on the appearance of the wildflower areas, hedges and shrubs overgrowing paths and litter and fly tipping. Officers have monitored the site and sought to resolve this with the applicants. In August 2016 a breach of condition was served but this was not complied with promptly and the situation has continued.
29. More recently, whilst maintenance has continued to fall short of the standards set out in the approved management plan, the overall appearance and amenity of the area has not deteriorated to a point where officers have considered it expedient to use enforcement powers to require compliance. The most recent visit found the site

to be actively managed with the grass mown and hedges cut back from paths. It should be noted that correspondence with complainants and negotiations with the land owners has been time intensive for officers and, to date, has achieved limited voluntary compliance with the existing management plan.

30. The application seeks to remove all but the largest wildflower area, which have deteriorated in appearance due to weeds and nettles in places, in order to reduce the management burden and improve the appearance of the site. The smaller areas which are proposed to be removed include narrow strips within grass verges which are inherently difficult to mow around and manage; mowing continuous areas of grass in these areas would be less onerous and more likely to result in a neat and tidy appearance.
31. Representations received highlight some of the local concerns about the standard of management and maintenance here and, in principle, an amendment to the management plan which would improve the amenity and appearance of the area is welcomed.
32. The amended management plan retains all other maintenance and management measures as previously approved and it is considered that these remain relevant and appropriate.
33. It should be noted that an alternative to approving the proposed amendment is to enforce the provisions of the existing landscape management plan, in particular the requirement to replace the degraded wildflower areas.
34. The merits of the proposal in respect of biodiversity and amenity are considered below.

Main issue 2: Biodiversity

35. Key policies and NPPF paragraphs – JCS2, DM6, NPPF section 15
36. One of the objectives of incorporating the wildflower areas in the landscaping was for wildlife benefit.
37. The comments of the Landscape Officer (above) in this respect are noted and it is appreciated that the application documentation does not set out the rationale or justification for the proposal, nor does it propose any alternative biodiversity enhancement in place of the wildflower areas. The proposal has, however, been amended since the initial submission which proposed removal of all wildflower areas, to instead retain the largest and most impactful area at the entrance from Fifers Lane.
38. Policy DM6 and paragraph 170 of the NPPF seek the enhancement of biodiversity in new development. This proposal would remove one aspect of an approved scheme which delivered that enhancement and this is regrettable. Regard is also had to paragraph 130 of the NPPF which advises that local planning authorities should seek to ensure that the quality of approved development is not materially diminished as a result of changes to a permitted scheme.
39. As approved, the wildflower areas should have delivered biodiversity benefits, however they have failed to thrive and have become dominated by less beneficial species. Any benefit they offer must be balanced against the harm their degraded

appearance has, as visual amenity was another stated objective for the wildflower planting and this is considered below.

40. It is proposed to remove the wildflower areas in spring so that the operation of removing them does not result in any harm to biodiversity.

Main issue 3: Amenity

41. Key policies and NPPF paragraphs – DM2, DM3, DM6, DM8, DM12, NPPF sections 8 and 12
42. In respect of visual amenity, wildflower areas can contribute to the soft landscaping of a high quality housing development to enhance the character of the area and enjoyment of the open spaces. However, the areas in question are small and hard to maintain and have attracted complaints, along with the maintenance of the rest of the area. Proper management and, restoration if necessary, would be the optimum solution, although the state of the areas has not been such as to warrant further enforcement action. The submitted proposal aims to strike a compromise which would respond to some of the concerns raised by residents, maintain the largest wildflower area and would secure more manageable larger areas of amenity grass instead.
43. The amendment to retain the largest area at the most publically visible position at the junction with the busy Fifers Lane is welcomed and will retain the biggest benefit in respect of visual amenity.

Equalities and diversity issues

44. There are no significant equality or diversity issues.

Local finance considerations

45. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
46. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
47. In this case local finance considerations are not considered to be material to the case.

Conclusion

48. This application has arisen from a regrettable situation where an existing management plan has not been fully complied with and the approved landscaping scheme has not achieved its stated aims.
49. Proposing an amendment which removes some of the biodiversity and visual amenity benefits from a landscaping scheme is regrettable and, contrary to

paragraph 130 of the NPPF, does diminish the quality of the approved development.

50. However, given the context of this situation where the wildflower areas have attracted local complaints, it is considered that the most pragmatic way forward is for all but one of the wildflower areas to be removed and replaced with grass which can be mown and maintained with the surrounding spaces. This is considered to be the solution which is most likely to achieve an improvement to visual amenity in the long term. The amendment which has been negotiated to retain the largest area that has the greatest biodiversity interest and most significant enhancement to visual amenity is considered necessary to make the proposal acceptable.
51. It is recognised that this is something of a compromise position however, on balance, the development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan.
52. Procedurally, it is necessary to vary the outline permission which this proposal relates to (rather than the reserved matters approval) and this was subject to a section 106 agreement securing on-site works, off-site contributions and affordable housing. Whilst the development has been completed and these works and contributions delivered, there are ongoing obligations in the agreement concerning the affordable housing which it is necessary to retain. A deed of variation is therefore necessary to secure this and the recommendation is to approve the application subject to completion of an appropriate agreement. The applicant is aware of this but has not yet progressed discussions with the other necessary parties. In order to ensure the application is determined promptly, the recommendation is subject to a time period to resolve this, after which the application should be refused.
53. Whilst the current state of the site is not strictly being maintained in alignment with the current management plan, it is necessary to consider the expediency of any further enforcement action. Some improvements to management have been made and it is not considered that on the basis of the current state of the site that further enforcement action would be expedient were this application to be refused. Clearly this could be kept under review were the state of the site to deteriorate further. However, it is anticipated that approval of this proposal will assist the satisfactory management of this site and address some of the complaints which have been received about its appearance and amenity.

Recommendation

To:

- 1) approve application no. 20/00267/VC - Land At Dowding Road Taylors Lane and Douglas Close, Norwich, and grant planning permission subject to the re-imposition of all conditions from the former outline consent with the following amendments/additions and a deed of variation:
 1. In accordance with plans
 2. In accordance with approved reserved matters
 3. Landscaping as agreed
 4. Surface water drainage to be retained as agreed

5. Foul drainage to be retained as agreed;
6. Pollution control as agreed;
7. Surface water from roads and impermeable surfaces to discharge via trapped gullies;
8. Water, energy and resource efficiency as approved;
9. 10% renewables as approved;
10. Waste management plan as approved;
11. Parking to be retained;
12. Fire hydrants as approved;
13. Access as approved;
14. Footpaths to be retained as approved;
15. Trees to be managed as agreed;
16. Noise mitigation to be retained as agreed;
17. Water conservation measures to be retained as agreed;
18. Solar panels to be retained as agreed;
19. Open spaces to be managed in accordance with revised landscape management plan;
20. External lighting to be retained as agreed.

And;

- 2) where, a satisfactory legal agreement is not completed within six months of the date of this committee meeting, to refuse planning permission, for the following reason:
 1. The proposal fails to secure commitment to ongoing obligations concerning affordable housing. The proposal is therefore contrary to Policy 4 of the adopted Joint Core Strategy for Broadland, Norwich and South Norfolk (2011, amendments adopted 2014), Policy DM33 of the adopted Development Management Policies Local Plan (2014) and paragraph 63 of the National Planning Policy Framework (2019).

Article 31(1)(cc) statement

The local planning authority in making its decision has had due regard to paragraph 38 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments to retain the largest existing wildflower area, the application has been recommended for approval subject to appropriate conditions and for the reasons outlined in the officer report.

LANDSCAPE MANAGEMENT AND MAINTENANCE PLAN

**GUIDE TO THE MANAGEMENT OF SHARED
AREAS AT FIFER'S LANE, NORWICH**

1.1 INTRODUCTION

1.2 PURPOSE AND SCOPE OF DOCUMENT

This Landscape Management and Maintenance Plan ("Management Plan") has been prepared to provide details as to how the shared landscaped areas within the Fifer's Lane development will be maintained and managed. It has been prepared in compliance with Condition 10 of the reserved matters approval (reference 11/00766/RM) for this development. It includes supporting plans, reports and specifications that illustrate the works carried out during the construction of the grounds as follows:- (drawing numbers JBA 11/74/05,06,07,08,09,&10). It also includes details about how the public open space within the site will be managed as required by the Section 106 Agreement for this development dated 30 March 2009. The purpose of this document is to schedule all required maintenance regimes, operations and works necessary for the satisfactory management of the landscape after the initial five years contractual, establishment maintenance period has ceased. The Management Plan divides the work required to manage the site into two types: Annual Works and Occasional Works. The Annual Works are those works that will be required every year, such as watering, weeding and cleaning. The Occasional Works are those that will be required on an irregular or cyclical basis, such as repairs and renewals.

1.3 THE SITE

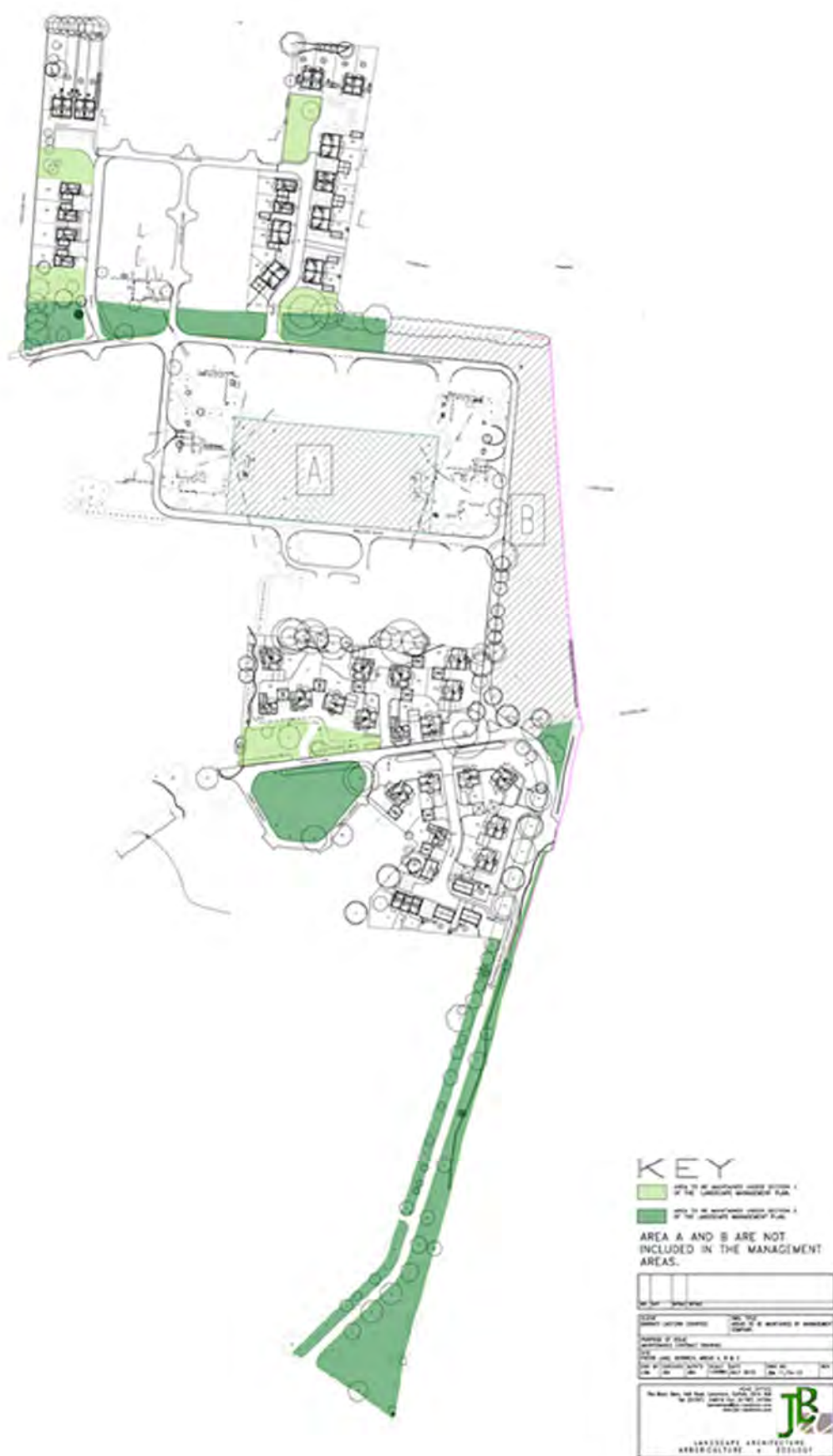
1.3.1 Location

The site is located at Fifer's Lane, Norwich. The site is surrounded by residential areas to West, South and East. To the north the site is bounded by Norwich Airport. See Fig's 1 and 2.

Fig 1. Location plan: Road Map: Not to scale



Fig 2. Location plan: Close up: Not to scale



Contractor, up to and not exceeding 5% of the plant stock. Specimens, shrubs or herbaceous plants so replaced shall be the same as those specified, previously supplied and approved. Include any works necessary to enable planting to be properly carried out, i.e. removal and disposal of dead material. Once annually the site shall be considered for the need for any strategic replacement or enhancement planting, to broaden the age class of tree groups, in the interests of the long-term sustainability of strategically important vegetation.

3.4.2 Newly Planted Trees

Any tree that dies or is necessarily felled as a result of storm damage, vandalism, mechanical damage, fungal decay or other such cause, but which is not felled or removed as part of any programme of thinning or coppicing, shall be replaced like for like. Such replacement shall be with a specimen of either the same species or similar species as those existing. Possible damage to the drainage and waterproofing of any capping layer (where such exists) must be considered before choosing a replacement tree. The option for replacing with a different species is to allow some flexibility and to avoid problems encountered with 'Same Species Disease' to ensure a sustainable shrub cover in the interests of visual amenity. Where alternative species are being considered, then the species should be suitable to the character of the site, either native or if ornamental, then appropriate to the type of trees adjacent to them.

3.4.3 Existing Mature Trees

Following the annual arboricultural assessment, works recommended for each tree shall be carried out by an approved skilled, qualified and approved arboricultural contractor, and any work to trees protected under a Tree Preservation Order (TPO) shall first have a formal application made for such works to the LPA. Arisings from such works shall be removed from site, unless needed to enlarge or renew Eco piles.

3.4.4 Non-native Shrubs and Herbaceous Plants

Cut back any shrubs, herbaceous plants or hedgerow plants where they have become old, misshapen, leggy or they have lost their vigour. Replace shrubs plants that are lost, damaged or become sick or weak from senescence, vandalised, theft, disease, drought, inclement or stormy weather, fungal or other pathogenic or pest attack, chemical spillage or other adverse cause. Replace such shrubs or hedgerow plants with the same or similar species on a one for one basis. Nursery stock shall be container grown and shall be a minimum stock size of 3L pot to horticultural trade association classifications of stock size, quality, and number of breaks. Include grubbing out any existing shrubs or hedgerow plants to be replaced, including chipping all arisings and bagging up accumulations and carting off site.

3.4.5 Replacement of Wildflower Areas

The Wildflower areas on the site shall be replaced with grass as soon as reasonably practicable and thereafter maintained in accordance with this document except the area nearest to the entrance to Dowding Lane which is shown cross hatched black on the plan below:



In respect of the above area of retained wildflower, and in the event that it is distressed and failing, dead material will be removed and the topsoil will be recultivated to a depth of 100mm. Small areas may be reseeded following the autumn cut by spreading the cut arisings onto the bare soil to set seed. For more wholesale degradation of the wildflower meadow sward, cultivate the affected area until a fine, level tilth is achieved, removing rocks and stones greater than 20mm diameter. Do not fertilise or herbicide. Evenly seed with an appropriate mix of wildflowers and grasses, to a mix and at a rate as agreed with the Landscape Architect or consultant ecologist. Carefully rake in thoroughly to ensure that the seed is a few millimetres below the surface. Roll using a very light roller or a cylinder mower, ensuring the surface is even and level. In the event of unexpected dry weather water thoroughly to field capacity using a fine spray hose and continue to water to maintain a moist soil until complete establishment. Protect newly seeded areas by metal stakes and high visibility tape to restrict access and hand weed out persistent residual weeds and new germinated ruderal weed seed.

3.4.6 Hard Landscape Surfacing, Street Furniture and Playable Items

Where scheduled inspection detects any paved areas, enclosing elements, structures and street furniture are in need of replacement, extension or alteration to function satisfactorily and to minimise risk of injury, then these repairs or renewals should be effected immediately. Relay unit paving where there occurs differential settlement or the units wobble, or are not firmly bedded, jointed or pointed. Ensure that the units are relayed to match the bonding pattern existing on site. Repaint the metalwork where there occurs chipping and flaking, using paint type and colour to match that existing. Repair any fences where rails, braces, panels, etc have become loose or weak. Replace any broken panels or units, carting away the failed materials to skip. Replace playable items as required following monthly inspections, where such items are found to be beyond repairable condition.

5.1 ANNUAL WORKS FOR SECTION 2 (LANDSCAPED AREAS SHOWN IN DARK GREEN ON FIGURE 2)

5.2 AIMS

5.2.1 To Ensure Health and Safety of All Visitors to the Grounds

Rysa Lodge Residential Properties Ltd will uphold its duty of care that the landscape elements, both hard and soft, are safe, clean, and that all reasonable steps have been taken to minimise risk of injury and damage to persons and property, including in relation to pedestrian paving and planting; avoiding trip hazards and injury by thorny unkempt stems.

5.2.2 To Achieve a standard of Maintenance

To maintain hard and soft landscape elements in good condition, state of repair and clean, free from snags and hazards. To this end, the areas will be inspected regularly and any works that become necessary in respect to the condition, cleanliness and soundness of structures, features, facilities, vegetation and surfaces will be carried out. These works shall include sweeping; wiping; washing; staining; painting; tidying and other such ancillary works in respect of hard landscape elements. Maintenance of soft works shall include weed control, pest control, watering, pruning, fertilising, grass cutting and general lawn care, such as spiking and scarifying and any other such ancillary works in respect of soft landscaping; all set out in the clauses below.

5.3 OBJECTIVES

5.2.3 Tree: Existing

To provide a sustainable landscape feature, managed to a suitable height, width and profile to ensure maximum longevity and amenity benefit. To ensure that the trees do not present Health and Safety problems and maximise diversity.

5.2.4 Trees: New Tree Planting

To provide an attractive visual amenity by defining space and through creating a sense of height and scale. Proposed trees shall be maintained to ensure survival and health and open growth. To achieve typical heights, spreads and characteristic density of foliage common to the respective specie without compromising safety or access issues.

5.2.5 Amenity Grass, Lawns and Greens

To maintain healthy, hard wearing grass with a consistent colouring. To ensure freedom from pests and diseases, water logging, drought and excessive wear that might cause degradation and failure. To ensure safe and comfortable use of amenity spaces.

5.2.6 Wildflower Mixes

To maintain sustainable grassland and wildflower areas for visual amenity and wildlife benefit: To include mixes for meadows and wetland areas. To maintain healthy biodiversity in the sward. To ensure freedom from water logging, burning, drought and excessive wear that might cause degradation and failure.



In respect of the above area of retained wildflower, and in the event that it is distressed and failing, dead material will be removed and the topsoil will be recultivated to a depth of 100mm. Small areas may be reseeded following the autumn cut by spreading the cut arisings onto the bare soil to set seed. For more wholesale degradation of the wildflower meadow sward, cultivate the affected area until a fine, level tilth is achieved, removing rocks and stones greater than 20mm diameter. Do not fertilise or herbicide. Evenly seed with an appropriate mix of wildflowers and grasses, to a mix and at a rate as agreed with the Landscape Architect or consultant ecologist. Carefully rake in thoroughly to ensure that the seed is a few millimetres below the surface. Roll using a very light roller or a cylinder mower, ensuring the surface is even and level. In the event of unexpected dry weather water thoroughly to field capacity using a fine spray hose and continue to water to maintain a moist soil until complete establishment. Protect newly seeded areas by metal stakes and high visibility tape to restrict access and hand weed out persistent residual weeds and new germinated ruderal weed seed.

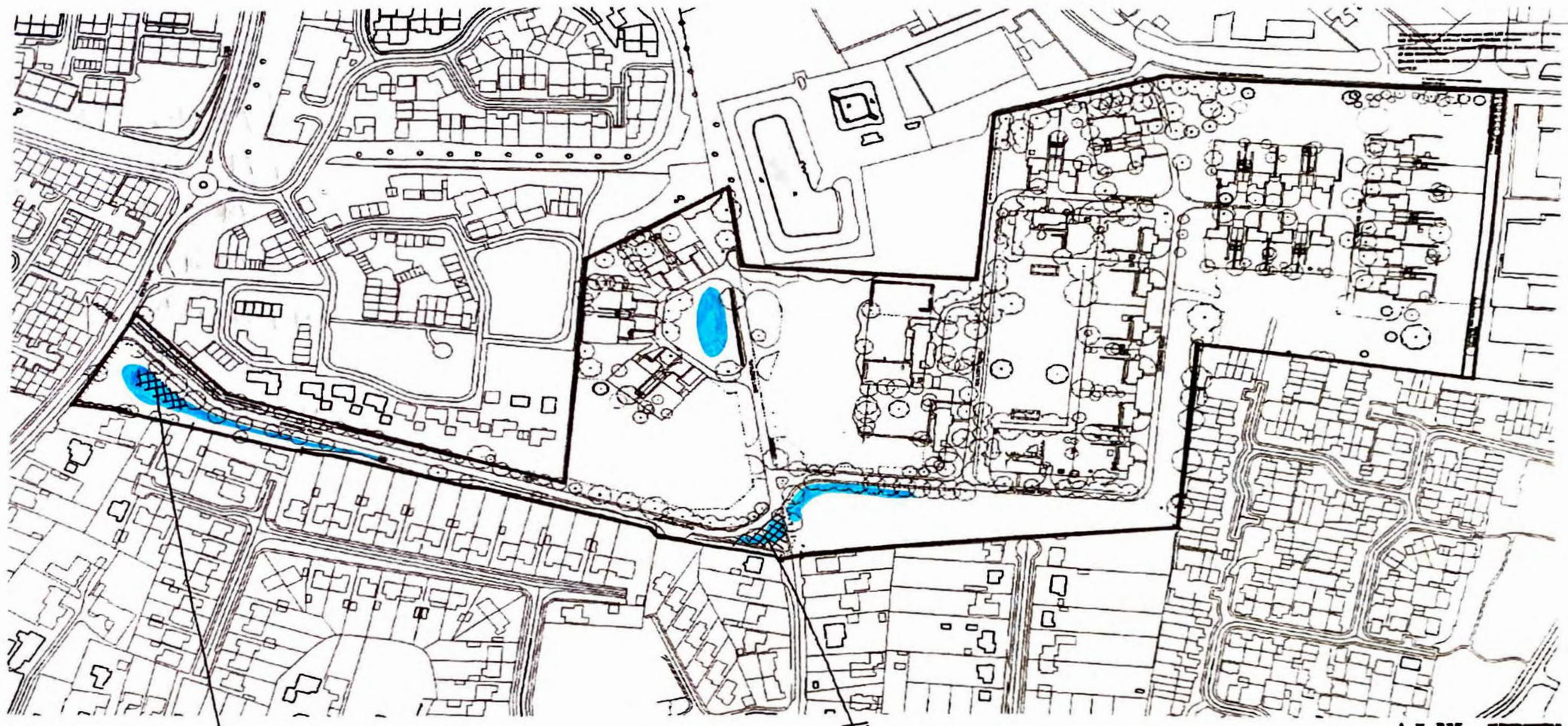
5.3 METHOD

5.3.7 Wild Flower Mixes

Strim/mow rough grass and meadow areas with suitable strimmer or flail equipment, to a height of 75mm, once annually. The timing shall be in accordance with any specialist instructions from the consultant ecologist to ensure that any reptiles are protected, or in the event of no reptiles being present, in late August. It is essential that the August cut be carried out in a period of continuous dry weather. Delay the cut, if necessary, until the weather is forecast to be dry for at least 4 days. All cut material shall be left for a maximum of 3 days after cutting (but only if dry) to allow the cut material to dry out, helping to set the seed. Rake off cut material no later than 3 days after cutting, (and at once in the event of unexpected wet weather to prevent the cut material rotting and damaging the wild flower sward). Then remove arisings from site at once. An extra cut may be carried out if required in the late spring, following the same procedure as above.

5.3.8 Amenity Grass

Mow grass with a rotary mower once during the spring (late March), to a height of 50mm, and then every 7 days thereafter between April and March using a cylinder mower cutting at intervals as required according to growth rate. Allow for 20 cuts per year, continuing cutting until November. Cut to a height of 25mm and increase to 50mm in continuously hot and dry weather conditions.



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RYSA LODGE PROPERTIES LTD
 PIPERS LAKE
 SITE LOCATION PLAN

Scale	1:1	Sheet	A
Date	03.08.07	Drawn	2580