



Planning applications committee

Date: Thursday, 26 February 2015

Time: 09:30

Venue: Mancroft room, City Hall, St Peters Street, Norwich, NR2 1NH

Committee members:

Councillors:

Gayton (chair)
Sands (M) (vice chair)
Ackroyd
Blunt
Boswell
Bradford
Button
Herries
Grahame
Jackson
Neale
Woollard

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Agenda

1 Apologies

To receive apologies for absence

2 Declaration of interest

(Please note that it is the responsibility of individual members to declare an interest prior to the item if they arrive late for the meeting)

3 Minutes

5 - 10

To approve the accuracy of the minutes of the meeting held on 29 January 2015.

4 Planning applications

Please note that members of the public, who have responded to the planning consultations, and applicants and agents wishing to speak at the meeting for item 4 above are required to notify the committee officer by 10:00 on the day before the meeting.

Further information on planning applications can be obtained from the council's website:

<http://planning.norwich.gov.uk/online-applications/>

Please note:

- The formal business of the committee will commence at 9.30.
- The committee may have a comfort break after two hours of the meeting commencing.
- Please note that refreshments will not be provided. Water is available
- The committee will adjourn for lunch at a convenient point between 13:00 and 14:00 if there is any remaining business.

Summary of applications for consideration

11 - 12

Standing duties

13 - 14

4(A)	Application no 1401413F - Emmanuel House 2 Convent Road Norwich NR2 1PA	15 - 36
4(B)	Application no 1401526A - Prospect House Rouen Road Norwich NR1 1RE	37 - 46
4(C)	Application no 1401846F - 27 Trinity Street Norwich NR2 2BQ	47 - 54
4(D)	Application no 1401608U - 1A Oak Street Norwich, NR3 3AE	55 - 68
4(E)	Application no 1401850F - 49 Hunter Road Norwich NR3 3PY	69 - 80
4(F)	Application no 1401798F - 19 The Avenues Norwich, NR2 3PH	81 - 96
4(G)	Application no 1401814F - 52 Arnold Miller Road Norwich NR1 2JH	97 - 104

Date of publication: **Wednesday, 18 February 2015**



Planning applications committee

10:30 to 12:00

29 January 2015

Present: Councillors Gayton (chair), Sands (M) (vice-chair), Ackroyd, Blunt, Boswell, Bradford, Button, Herries, Jackson, Neale and Woollard

Apologies: Councillor Grahame

1. Declaration of interests

Councillor Ackroyd declared that she would vacate the room during consideration of item 5 (below), Application no 1401780F – Land adjacent to 36 Sunningdale, Norwich, because she could be perceived to have a predetermined view because two of the objectors were known to her.

Councillor Boswell declared an other interest, during discussion on Application 1401413F Emmanuel House, 2 Convent Road, Norwich, NR2 1PA (item 3 below), because he had attended functions at 20 Unthank Road.

2. Minutes

RESOLVED to approve the minutes of the meeting held on 8 January 2015.

3. Application no 1401413F Emmanuel House, 2 Convent Road, Norwich, NR2 1PA

(Councillor Boswell declared an other interest in this item.)

The planner (development) presented the report with the aid of plans and slides.

A resident and the resident/proprietor of 20 Unthank Road, also known as “The Norwich Retreat”, addressed the committee with their concerns about the proposed change of use for the former office buildings. They explained that the premises at 20 Unthank Road was used for respite, healing and meditation, and provided services for vulnerable groups in a sustainable location. The garden and conservatory was an important part of the business and despite its location was quiet and peaceful. The change of use of Emmanuel House to student accommodation was considered to be detrimental to the amenity of 20 Unthank Road as the two communities had opposing needs. Councillor Little, local member for Town Close ward, also addressed the committee and said that the peace of the rear garden of 20 Unthank Road was a valued asset and its living and working conditions would be adversely affected by the proposal and therefore contrary to DM2 and the National planning policy framework (NPPF).

The planner responded to the issues raised by the speakers and referred to the aspect of the peace and tranquillity of the rear garden of 20 Unthank Road and pointed out that it was in an edge of city location and situated between two main roads. The site was an ideal location for the proposal and it was possible to mitigate potential noise. Members were advised that if this application was not approved the applicant could change the office use to residential under permitted development rights and there would be no opportunity for the local planning authority to control the use. Although students could be noisy there was nothing to say that other groups of residents would not generate noise.

Discussion ensued in which the planner and the senior planner (development) referred to the report and answered members' questions. Members expressed concern that the needs of the current occupiers of 20 Unthank Road had not been given sufficient consideration and were advised that conditions relating to landscaping and the management of the site could be amended to mitigate concerns about noise and loss of amenity, such as: boundary treatment; the provision of planters to break up the space on the car park and courtyards, to make them less accessible; and the provision of a gate on the pathway to the cathedral. Members considered that there needed to be more information on the management of the site and its tenants. Members asked questions about the arrangements for on-site warden cover and whether it would be on a 24 hour basis. They were advised it had been considered but removed as a condition given the uncertainty about whether it would be feasible. The committee requested more detail on this point for the next meeting.

Councillor Sands moved and Councillor Boswell seconded that the committee deferred consideration of this application to give the developer an opportunity to liaise with officers and the occupiers of no 20 Unthank Road to mitigate concerns about noise from the proposal.

RESOLVED, with 9 members voting in favour (Councillors Gayton, Sands, Ackroyd, Blunt, Boswell, Button, Herries, Neale and Woollard), 1 member voting against (Councillor Bradford) and 1 member abstaining (Councillor Jackson) to defer consideration Application 1401413F Emmanuel House, 2 Convent Road, Norwich, NR2 1PA to a future meeting.

4. Application no 1401881A – Prospect House, Rouen Road, Norwich, NR1 1RE

The planner (development) presented the report with the aid of plans and slides, and referred to the supplementary report of updates to reports circulated at the meeting.

A member of the Norwich Society addressed the committee and outlined the society's concerns about the use of neon signs in the city and that the proposed sign on the front façade was too imposing and out of keeping with the Bernard Meadows' sculpture. He said that sign 1 was too large, sign 3 intrusive and ugly and that sign 5 on Rouen Road was unnecessary. The committee was advised to defer consideration so that other solutions could be explored with the applicant.

The agent explained the rationale behind the application and said that Prospect House was the company's head office and that since it had changed its name the signs no longer represented the company and its other publications.

Discussion ensued in which members expressed some concern about an increase in neon signs in the city. The planning team leader (development) pointed out that one of the signs proposed by the applicant was outside the red line on the plan and that the committee should defer consideration to enable this error to be rectified by the applicant.

The planner and the planning team leader referred to the report and answered members' questions and members then commented on each of the proposed signs to give the applicant an indication of what could be acceptable. The committee was advised that the wording of the signage was red to reflect the company's logo and that the company could remove the existing signs at any time without permission. Some members considered that the Archant signage would be more acceptable if it were copper coloured to complement the sculpture at the front of the building. Another member said that he considered that signs 2 and 4 were acceptable but not 3 and 5.

RESOLVED, unanimously, to defer consideration of Application no 1401881A – Prospect House, Rouen Road, Norwich, NR1 1RE to a future meeting to allow the applicant to submit the correct site plan and for further negotiation about the proposed signs.

5. Application no 1401780F – Land adjacent to 36 Sunningdale, Norwich

(Councillor Ackroyd, having declared an interest, left the meeting for this item.)

The planner (development) presented the report with the aid of plans and slides. He referred to the supplementary report of updates to reports which was circulated at the meeting and contained a summary of additional information received from the applicant. An informative was recommended to assist the developers conduct site operations in a safe and neighbourly manner.

The planner answered members' questions about the engineering works to protect the roots of a mature tree. The council's tree protection officer would monitor the works on site during construction.

RESOLVED, unanimously, to approve application no. 14/01780/F - Land Adjacent to 36 Sunningdale, Norwich and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans
3. In accordance with the arboricultural method statement and tree protection Plan
4. Pre-commencement meeting and arboricultural supervision
5. Details of water conservation measures.

Article 31(1)(cc) statement : The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations and has approved the application subject to appropriate conditions and for the reasons outlined above.

Informative: Site operations to be conducted in a safe and neighbourly manner.

(Councillor Ackroyd was readmitted to the meeting at this point.)

6. Application no 1401757F – Land north of 2 Primrose Road, Norwich

The planner (development) presented the report with the aid of plans and slides and answered members' questions. Members were advised that the impact of the development to the rear of 27 and 29 which had been allowed on appeal had been taken into account in the officer assessment of the proposal.

RESOLVED, unanimously, to approve application no. 14/01757/F - Land North of 2 Primrose Road, Norwich and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans;
3. External materials (including samples), windows, doors, dormer, rainwater goods;
4. Landscaping scheme (to include details of access surfacing);
5. Bin and cycle store details;
6. Water conservation measures;
7. Removal of permitted development rights for extensions, outbuildings etc;
8. No site clearance between March to September;
9. Provision of a bat box.

Article 31(1)(cc) statement : The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments at the pre-application stage the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.

4. Performance of the development management service: progress on appeals against planning decisions and planning enforcement action for quarter 3, 2014-15 (1 October to 31 December 2014)

The planning team leader (development) presented the report and referred to the supplementary report of updates to reports which was circulated at the meeting.

Members commented on the reports and noted that the temporary permission for the Norwich Family Life Church to use premises at Mason Road had expired and asked for further information on enforcement and whether there has been any progress in providing a new church at the Heartsease Lane site.

RESOLVED

- (1) to note the report;
- (2) ask the planning team leader to provide information to members on the use of Mason Road by the Norwich Family Life Centre.

CHAIR

Summary of applications for consideration

ITEM 4

26 February 2015

Item No.	Case Number	Location	Case Officer	Proposal	Reason for consideration at committee	Recommendation
4(A)	14/01413/F	Emmanuel House, Convent Road	James Bonner	Change of use of offices to provide student accommodation (Class Sui Generis)	Deferred from previous meeting	Approve
4(B)	14/01526/A	Prospect House, Rouen Road	Lara Emerson	Advertisements	Deferred from previous meeting	Approve
4(C)	14/01846/F	27 Trinity Street	Lara Emerson	Replacement UPVC windows.	Objections	Approve
4(D)	14/01608/U	1A Oak Street	Caroline Dodden	Change of use to health clinic (Class D1)	Objections	Approve
4(E)	14/01850/F	49 Hunter Road	John Dougan	Extension and part c/u to children's day nursery	Objections	Approve
4(F)	14/01798/F	19 The Avenues	John Dougan	Single and two storey extensions to side and rear	Objections and councillor call in	Approve
4(G)	14/01814/F	52 Arnold Miller Road	John Dougan	Single and two storey extension to the rear	Application by councillor	Approve

STANDING DUTIES

In assessing the merits of the proposals and reaching the recommendation made for each application, due regard has been given to the following duties and in determining the applications the members of the committee will also have due regard to these duties.

Equality Act 2010

It is unlawful to discriminate against, harass or victimise a person when providing a service or when exercising a public function. Prohibited conduct includes direct discrimination, indirect discrimination, harassment and victimisation and discrimination arising from a disability (treating a person unfavourably as a result of their disability, not because of the disability itself).

Direct discrimination occurs where the reason for a person being treated less favourably than another is because of a protected characteristic.

The act notes the protected characteristics of: age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The introduction of the general equality duties under this Act in April 2011 requires that the council must in the exercise of its functions, have due regard to the need to:

- Eliminate unlawful discrimination, harassment and victimisation and other conduct prohibited by this Act.
- Advance equality of opportunity between people who share a relevant protected characteristic and those who do not.
- Foster good relations between people who share a relevant protected characteristic and those who do not.

The relevant protected characteristics are: age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation.

The council must in the exercise of its functions have due regard to the need to eliminate unlawful discrimination against someone due to their marriage or civil partnership status but the other aims of advancing equality and fostering good relations do not apply.

Crime and Disorder Act, 1998 (S17)

- (1) Without prejudice to any other obligation imposed on it, it shall be the duty of each authority to which this section applies to exercise its

various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area.

- (2) This section applies to a local authority, a joint authority, a police authority, a National Park authority and the Broads Authority.

Natural Environment & Rural Communities Act 2006 (S40)

- (1) Every public authority must, on exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity.

Planning Act 2008 (S183)

- (1) Every Planning Authority should have regard to the desirability of achieving good design

Human Rights Act 1998 – this incorporates the rights of the European Convention on Human Rights into UK Law

Article 8 – Right to Respect for Private and Family Life

- (1) Everyone has the right to respect for his private and family life, his home and his correspondence.
- (2) There shall be no interference by a public authority with the exercise of his right except such as in accordance with the law and is necessary in a democratic society in the interests of national security, public safety or the economic well-being of the country, for the prevention of disorder or crime, for the protection of health or morals, or for the rights and freedoms of others.
- (3) A local authority is prohibited from acting in a way which is incompatible with any of the human rights described by the European Convention on Human Rights unless legislation makes this unavoidable.
- (4) Article 8 is a qualified right and where interference of the right can be justified there will be no breach of Article 8.

Report to

Planning applications committee

Item

26 February 2015

Report of

Head of planning services

SubjectApplication no 14/01413/F - Emmanuel House
2 Convent Road Norwich NR2 1PA**4(A)****Applicant**

Dacre Property Holdings

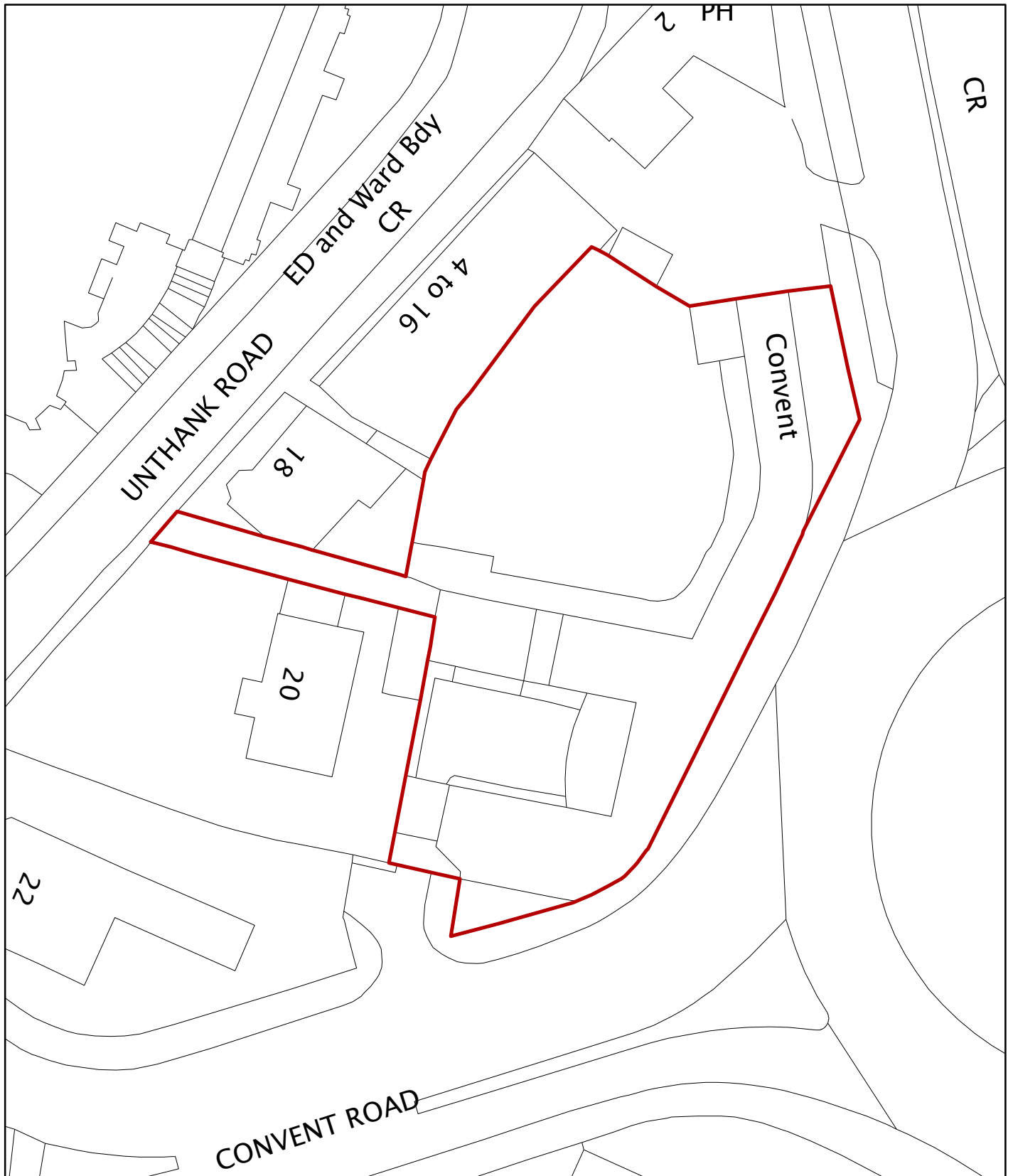
Reason for referral

Deferred from previous meeting (Objections)

Ward:	Town Close
Case officer	James Bonner - jamesbonner@norwich.gov.uk

Development proposal		
Change of use and conversion of offices (Class B1) to provide student accommodation (Class Sui Generis) including ground floor infill extension.		
Representations		
Object	Comment	Support
6 (4 neighbours)		

Main issues	Key considerations
1. Principle	Loss of office space; principle of new use
2. Neighbouring amenity	Noise, antisocial behaviour, disturbance; overlooking
3. Occupier amenity	Room sizes, communal space
4. Transport	Highway safety, cycle/refuse storage and servicing
Expiry date	25 December 2014 extended to 6 March 2015
Recommendation	Approve



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Planning Application No 14/01413/F

Site Address Emmanuel House, Convent Road

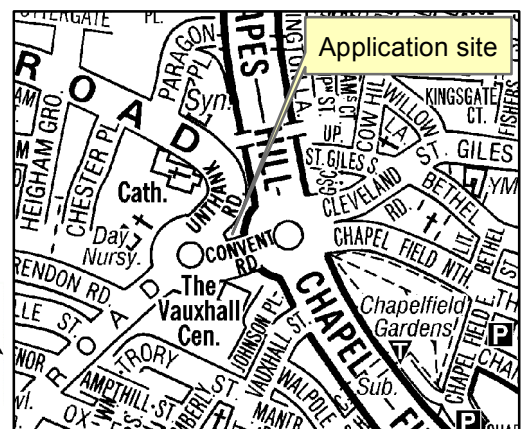
Scale 1:500



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PLANNING SERVICES

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Background

1. This application was deferred at the previous committee meeting due to lack of information on warden cover, site management and how the landscaping could maximise opportunities to reduce disturbance to residents.
2. The applicant's agent has provided additional information to offer clarification and address these points:

Landscaping

A revised site layout plan has been submitted which shows a wedge of defensive landscaping adjacent to 20 Unthank Road's annexe, south of the laundry room. With the sole door to the laundry moved to its east side, this will help prevent people congregating at the boundary with the occupied annexe. While members did express a desire to landscape this smaller courtyard entirely, this was not possible due to the need for accessible parking bays to be near the entrance. They will be clearly marked as such and the measures proposed are sufficient to channel activity towards the larger courtyard. Given this has been identified as the area with the communal amenity space and is adjacent to a pub beer garden, this approach is considered acceptable providing compliance with a satisfactory site management plan.

A fence and gate has been shown on the plan to prevent use of the passageway between 18 and 20 Unthank Road. Its final detail, including its locking method, can be secured via the landscaping condition.

Site management

Specific information on the site management is understandably difficult to provide for a speculative development, but the following has been suggested at this stage:

- (i) The direction of the management plan will follow the outline provide in the Universities UK/Guild HE code of practice for the management of student accommodation. This includes advice on all student issues including health and safety, environment, administration, behaviour issues, audit and compliance.
- (ii) The code outlining good management practice will be put into place prior to the first influx of tenants. Induction briefings will be held which will include compliance with the code of practice.
- (iii) There will be an anti-social behaviour code and disciplinary procedure covering tenants and visitors. The procedure will ensure residents and visitors act in a fit and proper manner at all times and treat property and neighbours with due regard, respect and consideration.
- (iv) All tenants will be subject to written binding statement outlining the relationship between the tenant and the landlord and the management of all obligations.

- (v) On the point about warden cover the applicant's agent has stated: 'It is not clear at this stage if the manager will be residential due to the number of rooms there will be 24 hour supervision on a management shift basis to ensure there is someone on site 24/7 to deal with management issues'.
- (vi) Cycle and car parking will be specifically allocated and strictly managed. Disabled parking will only be used for its intended purpose. An electronic tag system could be used to ensure the spaces are not misused.
- (vii) Where students start and leave the premises at the beginning and end of term times it is extremely unlikely this would be on an all-in all-out basis. Management policies will be put in place to co-ordinate arrival and departure times to coincide with available parking and will be written into the travel information plan as well as the adopted code of management.
- (viii) While the applicant cannot be precise on the institution the students will come from, it is likely to be one of the three main Higher Education Establishments in the city. Again, although it is not possible to be specific, tenants are less likely to be first year students given they are more probable to seek on-campus accommodation where they are usually given priority. *As the planning process cannot reasonably control this, the information is more of an indication of the demand for student accommodation rather than anything tangible which could inform the decision.*

If the application is approved the above information would be used as a baseline when assessing the fully detailed site management plan.

3. 14 day neighbour consultation letters were sent out to highlight the above information, with the consultation period expiring on the 23 February. An additional letter of objection has been received from the occupiers of 20 Unthank Road and the annexe. It is noted in the representations section.
4. Bearing in mind the conclusion that this edge of city centre, mixed-use locale is an appropriate site for student accommodation, the additional information submitted strengthens the mitigation against potential noise and disturbance to neighbouring occupiers' living and working conditions, particularly the annexe given its proximity to the boundary. As the proposal is speculative, the level of detail provided is considered adequate to make a decision. If accepted, the final detail can be secured through condition.
5. For the avoidance of doubt an additional condition is recommended to ensure the units are only to be occupied by students attending established Higher Education providers.

The site and surroundings

6. Emmanuel House is a two storey building on the north side of Convent Road. The brick building follows the curve along the north west side of the Grapes Hill roundabout and is separated by the properties along Unthank Road by a courtyard. Built in 1969, its retained cell-like design reflects its original use as the Convent of the Little Sisters. Most recently it has been used as offices.

7. The surrounding uses are mixed in nature, with adjacent to the site: a pub to the north, commercial and residential to west and further surrounding the site, retail, sheltered housing, the R.C Cathedral and hotels. The occupied annexe within the curtilage of 20 Unthank Road directly abuts the application building.
8. The entrance to the site is from Convent Road with vehicles passing under the building into the first smaller courtyard and under again to reach the main parking area in the larger courtyard. Pedestrians enter the building through the entrance in the first courtyard. There is a secondary entrance from Unthank Road between Nos.18 and 20 but this does not appear to have been in use given the tree growing in front of the gate.

Constraints

9.
 - Within Heigham Grove conservation area
 - Statutory listed buildings nearby – Temple Bar (grade II*), R.C Cathedral (grade I)
 - Locally listed buildings – 18, 20, 22 Unthank Road.
 - Traffic noise from Earlham Road, Convent Road and Inner Ring Road.

Relevant planning history

10.

Ref	Proposal	Decision	Date
4/1987/0382	Change of use from convent to hostel	APP	02/04/1987
4/1987/0972	Use of convent as offices at Convent	APP	18/08/1987
4/1987/1236	Change of use to supervised hostel for young homeless males (Class C2)	APP	04/11/1987
4/1989/0073	Alterations and erection of two storey extension to form offices and formation of car park.	REF	23/02/1989
4/1989/0407	Alterations and conversion to form offices and formation of car park.	INSFEE	25/05/1989
07/01216/C	Demolition of wall between Emmanuel House and 18 Unthank Road to soil level.	APPR	25/11/2009
08/01318/F	To demolish the wall between Emmanuel House and 18 Unthank Road to soil level and then rebuild using similar materials. The wall is 10M long and 2.3m High.	APPR	25/11/2009

The proposal

11. To change the use of all floorspace within the building from office (Use Class B1a) to student accommodation (Use Class Sui Generis). Also proposed is infilling ~17sqm at ground floor in the centre of the site which is currently used for vehicles exiting the courtyard.
12. Some car parking will be retained in the smaller and main courtyards with the rest of the space in the main courtyard to be used as a decked amenity area and for cycle parking. The Convent Road entrance is retained for both vehicles and pedestrians.
13. The proposal has been amended since the 29 January committee meeting with the revisions described in the opening paragraphs.

Summary information

Proposal	Key facts
Scale	
Total no. of dwellings	40 student flats
Total floorspace	1046sqm
No. of storeys	2
Appearance	
Materials	Brick to match existing on infill, render and cladding in other areas
Energy and resource efficiency measures	Air source heat pump (ASHP) at ground floor facing main courtyard
Transport matters	
Vehicular access	Existing vehicle entrance from Convent Road
No of car parking spaces	12
No of cycle parking spaces	48
Servicing arrangements	Refuse stored within site and collected from Convent Road entrance. See main issue 4.

Representations

14. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. Six letters of representation from four individuals, including one councillor objection, have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Annexe and garden directly adjacent is quiet and secluded. Proposal would alter character of area.	Location and character of area – see main issue 1.
Introduction of 40 students will be highly intrusive and disturbing, particularly late at night and early hours. Students bring noise and unruly patterns of behaviour as already experienced. Would compromise living and working conditions (the garden of No.20 is also used for work).	Noise and disturbance – see main issue 2.
Concern about music and general disturbance to garden and annexe, i.e. from bedroom windows facing residential property.	Noise and disturbance – see main issue 2.
Noise from laundry room adjacent also an issue alongside rooms.	Noise and disturbance – see main issue 2.
Overlooking from first floor windows to garden of No.20.	Overlooking – see main issue 2
Location is unsuitable and offices should remain.	Loss of office space and principle of use – see main issue 1.
Is there reliable and relevant evidence for need for student accommodation? Thriving buy to let market suggests otherwise.	Need for student accommodation – see main issue 1.
Demolition of rear boundary wall would exacerbate issues and we trust it is not part of proposal.	The boundary walls are shown as retained.
It has been some 20 years since site was used as residential and increase in traffic will cause issues for noise and air quality for some living quarters. This should be evaluated.	Occupier amenity – see main issue 3.
<i>Follow-up representation from No.20's</i>	Noise and disturbance – see main issue

<p><i>annexe following laundry room revision:</i> Although it will mitigate one concern, the students will inevitably create noise, impacting my work. Objection still stands.</p>	<p>2.</p>
<p><i>Following 14 day consultation on revised landscaping and additional management information:</i></p> <p>From occupiers of No.20 and annexe: While we appreciate some effort has been made to ameliorate the sound coming from the premises, our earlier objections still hold. The impact of the above will be minimal as even with arrangements for 24hour management it would be difficult to contain the noise generated from 40 students. Only postgraduates would make any significant difference to noise issue.</p> <p>We are surprised that suggestion was not made to sound-proof the walls of the laundry room to subdue noise from talking and machines. No further sound proofing is shown for flats nor are there measures such as higher boundary wall or fencing.</p> <p>Why is there a need for a gate to the passage to Unthank Road as we received clear assurance that it is not to be used?</p>	<p>Continued objection noted.</p> <p>It would be unreasonable to restrict the level of student living here through condition, particularly as the proposal is speculative.</p> <p>Following the revision to include the repositioned machines on noise attenuated plinths, no objections were raised from Environmental Protection with regards transfer of noise. It was not considered necessary to require further soundproofing.</p> <p>On the units this was considered less of an issue given their windows open out onto a courtyard rather than the road, reducing the effectiveness of soundproofing. There are vast numbers of adjoining habitable rooms in Norwich and it would be unreasonable to perceive it as being an issue here, particularly given the gap between the annexe and the first floor units. It is important to note the potential for the office space to be converted to a C3 residential use with no restrictions on noise within the courtyard or rooms.</p> <p>Higher boundary walls would do little to mitigate noise concerns and would begin to have other amenity implications for the occupier of the annexe. At officer level higher boundary treatments were not considered necessary but members could provide direction as to what they wish to see from the comprehensive landscaping scheme.</p> <p>The gate may be used for access and maintenance by management. Its presence is largely immaterial providing the condition preventing use of the</p>

	passageway remains in place. Details of the locking mechanism of the gate can be secured through the landscaping condition.
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Consultation responses

15. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Environmental protection

16. The laundry room is not entirely isolated from the annexe and vibrations travelling through party wall may cause issues. Details required for positioning or mounting of machines to avoid transmission of structure borne sound. Room 01 faces onto road and road traffic noise could cause concern. Condition recommended for NIA to ensure noise inside room meets WHO guidelines. Before any room is used for the proposed use the windows on the habitable rooms shall be insulated in accordance with a scheme to be agreed. This may require acoustic vents. **Following additional information:** subject to condition, laundry layout is fine; air source heat pump specification is fine to condition.

Highways (local)

17. Suitable in principle in its position and amount, edge of city centre with high potential for sustainable travel. 48 cycle spaces is welcomed and cyclepods are innovative and suitable for the usergroup in a managed private environment such as this.
18. Given the extra use by pedestrians and cyclists a number of highway improvements are needed, for instance blister tactiles at dropped kerbs on uncontrolled crossings. Cycle routes to and from the site are currently inconvenient and there is a risk that those heading towards Unthank Road and the City Centre will face difficulties. It is suggested that the northern side of Convent Road is signposted as shared use for pedestrians and cyclists alongside Advance Stop Lanes at all arms to the Convent Road roundabout. An associated network and safety audit will also be needed.
19. Reduction in car parking spaces is welcome. Premises would be eligible for business parking permits for operational use only – no resident permits would be issued to the residents. The waiting restrictions on the adjacent highway network are adequate and refuse collection would be via a commercial provider. A travel information plan would be needed, with special consideration to how students arrive and depart at the start and end of the academic year and congestion.

Norfolk police (architectural liaison)

20. Comments raised about Secure by Design, including access control, lighting, restriction to parking area, compartmentalisation of dwelling areas and other security measures.

Assessment of planning considerations

Relevant development plan policies

21. Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)

- JCS1 Addressing climate change and protecting environmental assets
- JCS2 Promoting good design
- JCS3 Energy and water
- JCS5 The economy
- JCS6 Access and transportation
- JCS9 Strategy for growth in the Norwich policy area
- JCS10 Locations for major new or expanded communities in the Norwich policy area
- JCS11 Norwich city centre
- JCS20 Implementation

22. Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)

- DM1 Achieving and delivering sustainable development
- DM2 Ensuring satisfactory living and working conditions
- DM3 Delivering high quality design
- DM4 Providing for renewable and low carbon energy
- DM6 Protecting and enhancing the natural environment
- DM7 Trees and development
- DM8 Planning effectively for open space and recreation
- DM9 Safeguarding Norwich's heritage
- DM11 Protecting against environmental hazards
- DM12 Ensuring well-planned housing development
- DM13 Communal development and multiple occupation
- DM19 Encouraging and promoting major office growth
- DM28 Encouraging sustainable travel
- DM30 Access and highway safety
- DM31 Car parking and servicing
- DM32 Encouraging car free and low car housing

Other material considerations

23. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF1 Building a strong, competitive economy
- NPPF2 Ensuring the vitality of town centres
- NPPF4 Promoting sustainable transport
- NPPF6 Delivering a wide choice of high quality homes
- NPPF7 Requiring good design
- NPPF8 Promoting healthy communities
- NPPF10 Meeting the challenge of climate change, flooding and coastal change

- NPPF12 Conserving and enhancing the historic environment

24. Heigham Grove Conservation Area Appraisal (March 2011)

Case Assessment

25. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

26. Key policies and NPPF paragraphs – DM12, DM13, DM17, NPPF paragraph 14.

27. Loss of office space

The existing floorspace is in lawful B1a office use but not in an office priority area. Of relevance is DM17 as the total floorspace is below 1500sqm and is not 'high quality'. A letter has been submitted from William Jones, Head of Norwich Commercial at Bidwells, which supports the loss of the office space. The internal layout is described as highly unlikely to suit any company's occupational requirements as the majority of occupiers in the market typically seek modern open plan offices with specifications including raised floors or perimeter trunking, suspended ceilings and recessed lighting and more often than not comfort heating and cooling. With its long and thin floors serving cellularised rooms, the layout of Emmanuel House is inefficient and inappropriate for modern office use and there is little evidence to suggest otherwise. To supplement this point Bidwells have stated that supply far outstrips demand, with around 10% lettings, the majority of which are for Grade A open plan high specification offices. For the purposes of DM17, the loss of this particular office space is justified under criteria (a).

28. New student dwellings

New student accommodation of this type is assessed against the criteria set out in DM13:

- (a) The site is not designated or allocated for an alternative non-residential use;
- (b) The site is designated or allocated for housing development and it can be demonstrated that the proposal would not compromise the delivery of a sufficient number of dwellings to meet the calculated five-year housing supply requirement for the city; and in all cases
- (c) The location provides convenient and direct pedestrian access to local facilities and bus routes;
- (d) The provision of shared amenity space is satisfactory for use by residents and visitors;

(e) Applicants can demonstrate the provision of satisfactory servicing and warden/staff accommodation.

29. The proposal is considered to accord with these criteria, some of which are assessed in greater detail later on, for instance c (main issue 4) and d (main issue 3). The proposal is speculative, but there is no clear obstruction through policy or supplementary guidance against this. There is a clear need for additional student housing in Norwich.
30. New student accommodation must also comply with the general criteria of DM12. The proposal accords with most of these criteria and where it fails to this does not present a significant issue. The criteria should be applied reasonably within the context of the development. The proposal involves conversion of an atypically-laid-out building to student accommodation where the Lifetime Homes and a mix of dwellings and uses are either impracticable or not applicable.
31. The site is well suited to student accommodation both in terms of its layout and its position in relation to the city centre, which offers excellent walking distances to services and bus routes. Alongside its cycle provision and reduction in car parking this ties in well with the overarching sustainability policy DM1. In terms of its impact upon the character of the area, the Heigham Grove conservation area appraisal sees this particular subarea (A) as an area of transition – it has a more urban character and is recognised as closely connected to the city centre despite the inner ring road separation. This is due to the scale of the buildings, the grain of development and the mixture of uses. The proposed student accommodation would continue in this vein and is an appropriate use of the building. The impact upon amenity is explored in the next main issue.

Main issue 2: Neighbouring amenity

32. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
33. As identified in the supplementary text of DM13, it is important that proposals such as this take account of effects on the surrounding area. In this case, given the mixed use of the area, its effect on a perceived residential character would be fairly minor as noted in the main issue above. The most pertinent issue would relate to the impact on the amenity and working conditions of those neighbours nearby. One of the main issues raised in letters of objection is noise from the students.
34. It is acknowledged there will be a higher level of activity within the site as well as to and from it. However this is not a peaceful and quiet area as it lies on the edge of the city centre, adjacent to the inner ring road on one side and separated from Unthank Road on the other by residential and commercial properties, including a beer garden to a public house. One important means of reducing disturbance to the adjacent dwellings would be to require a condition ensuring the passageway between 18 and 20 Unthank Road is not used. In addition, while it would be impossible for the planning process to completely remove any antisocial behaviour, it would be prudent to attach a condition requiring details of a management plan. This can then be implemented and enforced by the on-site staff. This plan should include rules on the use of the amenity area and on issues such as loud music. The students would be expected to sign up to agreements within their tenancy, for instance on specifics such as car parking, and it would not be unreasonable to expect this to overlap with the

requirements of the management plan with regards respecting the living conditions of the neighbours.

35. Given the position of the site within an area already relatively busy with both vehicular and pedestrian traffic, the proposal is considered acceptable. The ability to manage the site and the behaviour of the occupants (to a degree considered reasonable) is considered to adequately address the amenity concerns in relation to noise and disturbance from antisocial behaviour. It is important to note that any future ongoing noise issues may also be addressed through Environmental Protection legislation.
36. The laundry room abuts the occupied annexe of 20 Unthank Road, raising the potential for vibrational transfer causing disturbance to living and working conditions of the occupier. The layout has been revised to position the machines away from the Party Wall on a noise attenuated plinth. A condition is necessary to require detail of the final layout and mounting of the appliances to reduce the opportunity for disturbance. Environmental Protection are content with this approach. Above the laundry room there is a physical separation between the buildings and no significant issues are raised for transfer of noise. Matters of potential disturbance through general noise will be covered through the management condition.
37. Without any new structures at first floor there is no loss of outlook for neighbours. With regards overlooking, rooms 23, 24 and 25 on the first floor directly face the rear windows of 20 Unthank Road, but at a distance of ~21m this is not considered to lead to a significant loss of privacy. The windows facing into the courtyard on rooms such as 20 and 26 do not provide realistic opportunities for overlooking into the windows or gardens of 18 and 20 Unthank Road given the oblique angles and the position of the annexe. Views of the garden of No.20 are fairly limited and what little privacy is lost is acceptable in the urban context.
38. Due to the distance from the neighbours the proposed air source heat pump will not cause significant noise issues.
39. The amenity of those occupying the student flats is included in the main issue below.

Main issue 3: Occupier amenity

40. Key policies and NPPF paragraphs – DM2, DM11, DM12, DM13, NPPF paragraphs 9 and 17.
41. The main issues for the future occupiers come from how liveable the place will be, including considerations of floorspace, shared facilities, noise and overlooking.
42. Its original use as a convent clearly informed the design of the building, which fundamentally remains the same today. The rooms are separated from the road by the corridor which has small openings and skylights providing daylight. It is clear from visiting the site that this buffer will satisfactorily address any concerns about road noise disturbing the occupants. One exception to this is room 01 on the ground floor, adjacent to the Convent Road entrance. This room has windows opening out onto the road and Environmental Protection are happy to condition details of their replacement in order to bring internal noise levels within World Health Organisation standards. The condition will require these details prior to occupation and will ensure their retention thereafter.

43. An important consideration in DM13 is the shared amenity space. The size and layout of the external space in the courtyard is adequate and will be subject to a landscaping condition to make sure. Internally there is one main communal area on each floor. The application has been amended to provide an additional kitchenette on each floor to better serve some of the rooms on the periphery. In terms of room sizes, the rooms range from 7.3sqm to 12.1sqm, with those in the southern end of the site generally being more generous than those along the corridor to the north. The two accessible rooms, at 23 and 17.2sqm, are the only rooms featuring en-suites.
44. Although the council's policy now includes space standards, these do not extend to student accommodation such as this. For single rooms without bathrooms these sizes are acceptable given the adequate internal and external communal facilities, including a communal gym. This is helped by relatively good natural light and outlook for the majority of the rooms. There will be some overlooking between some units facing the smaller courtyard. Within this tight-knit site and surroundings, the distance of ~11m is not severe and should not raise significant issues.
45. The air source heat pump has to be located near the existing boiler, which places it near one student bedroom in particular. An indicative specification of the type of ASHP required has been provided which shows that the noise it would typically produce would be unlikely to cause significant disturbance to the point mitigation measures would be needed. A condition will require the final specification and a schedule of maintenance.
46. The Grapes Hill Air Quality Management Area is adjacent to the site. As the habitable windows do not face onto the road there are no significant issues for the air quality of the rooms. The scheme should in theory be a less polluting use given the reduction in car parking spaces and its sustainable location for the proposed use. Environmental Protection raise no issues on the matter as they have done some monitoring in the area and have not identified a significant problem.

Main issue 4: Transport

47. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, DM32, NPPF paragraphs 17 and 39.
48. There is an overall reduction of four car parking spaces to leave a total of 12 spaces, which is welcomed. No parking permits will be issued for residents but the premises would be eligible for business parking permits where an operational need is demonstrated. The main means of transport would be via foot, bus and bicycle, and 48 spaces are provided within the main courtyard via 'cyclepods' (vertical cycle storage), an acceptable specification and number. With its position on the north side of Convent Road there is a potential risk for cyclists looking to make their way to Unthank Road and Earlham Road given the three city-bound traffic lanes on a roundabout with a history of cycle injuries. Those approaching from the city centre along the Grapes Hill roundabout may also face risks and at the very least would be dissuaded from cycling.
49. To overcome this a number of minor highway works will be required, including signposting the north and south sides of Convent Road to allow shared use of the footpath for cyclists and pedestrians. On the south side this will stretch from the existing shared use to the pedestrian crossing point near the Convent Road

roundabout. On the north side it will stretch from the pedestrian crossing by 22 Unthank Road all the way east and north around the top of the Temple Bar to where the footpath meets Unthank Road again. At this point a dropped kerb can be put in to allow safer access onto Unthank Road. Also required will be blister tactiles at the dropped kerbs on Convent Road and the adjacent junction with Unthank Road. Advance Stop Lanes are also likely to be required at all arms of the convent Road roundabout. This approach has been discussed and agreed with the applicant's agent and it is considered the most practical means of securing these mitigation works is through condition (see condition 3). Given their minor scale there are more than reasonable prospects of the works being done within the time limit of the application and it is considered to pass the tests of reasonability and enforceability. To ensure flexibility it is recommended that within two months of commencement details are sought of the works to be done, which then should be carried out in full prior to occupation.

50. At the beginning and end of term time there could be expected to be fairly large numbers of people picking up and dropping off students and although there is some capacity within the courtyards, to reduce disruption and highway safety issues it would be prudent to attach a condition requiring a Travel Information Plan to be agreed and in place prior to first use.
51. Refuse storage will be stored within the main courtyard, the final position of which will be confirmed through condition. Due to the low height of the entrance refuse collection will be made from the pull-in from Convent Road. The agent has indicated that this would be via a smaller commercial vehicle, which if less than 7.1m long would not cause obstruction on Convent Road. The details of this will also be required via condition.

Compliance with other relevant development plan policies

52. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Design and Heritage	JCS2, DM3, DM9, NPPF paras 9, 17, 56, 60-66 and 128-141.	Yes subject to condition. Proposed use has no adverse impact on character of wider or adjacent conservation areas (see main issue 1). The operational development is not considered to have an appreciable impact on nearby locally and statutory listed buildings or conservation areas. External works relate to replacement windows and fire exit door and surround on Convent Road. The former are plain PVC and the latter is of no interest and so their replacement is fine to be sorted via condition.
Landscaping and trees	DM3, DM9, NPPF paras 9, 17 and 56.	Yes subject to condition. While some landscaping is being removed, the main courtyard retains enough soft landscaping to provide a visually amenable area. The

Requirement	Relevant policy	Compliance
		indicative plan shows some new tree planting.
Cycle storage	DM31	Yes subject to condition
Car parking provision	DM31	Yes subject to condition
Refuse Storage/servicing	DM31	Yes subject to condition
Energy efficiency	JCS 1 & 3 DM3	Yes subject to condition. Sustainable constructions measures are not particularly feasible given the constraints of the existing building. An air source heat pump will provide 25% of the estimated heating demand for the building – an estimated reduction in overall energy requirements of 13.5%. Three clothes driers in the courtyard will help reduce energy demand.
Water efficiency	JCS 1 & 3	Yes subject to condition on details of measures to maximise water efficiency.
Sustainable urban drainage	DM3/5	The site is within a critical drainage catchment and the only additional floorspace is a small infill over existing hardstanding. This is not considered to raise significant runoff issues.

Equalities and diversity issues

53. There are no significant equality or diversity issues.

Local finance considerations

54. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.

55. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.

56. There are no significant local finance considerations as the development will not attract a Community Infrastructure Levy charge.

Conclusion

57. Student accommodation is appropriate for this mixed use area on the edge of the city centre and subject to conditions, including on the management of the accommodation, the proposals are not considered to adversely affect the living or working conditions of any adjacent occupiers. Internally and externally the scheme also provides acceptable living conditions for the future occupiers. The proposed highway works will improve the accessibility to and from the building by foot and bicycle and as such there are no outstanding transport concerns. As there are no adverse impacts for the setting or character of any nearby heritage assets the proposal is considered acceptable.
58. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 14/01413/F - Emmanuel House 2 Convent Road Norwich NR2 1PA and grant planning permission subject to the following conditions:

1. Standard time limit (3 years);
2. In accordance with the approved plans;
3. Within 2 months of the development commencing details shall be agreed in writing with the local planning authority on a full scheme of works for improvement to:
 - (a) Advance Stop Lanes at arms to Convent Road roundabout
 - (b) Blister tactiles at crossings on Convent Road
 - (c) Convent Road footpaths, including extent of shared use and associated signage and works required.No occupation of the development shall take place until these works have been completed in accordance with the approved details and certified as such in writing by the local planning authority.
4. Within 2 months of the development commencing, full details of the proposed management agreement are to be agreed, including the supervision, security and operation and welfare support/provision for the student occupiers and consequences for the impact on the students on the neighbourhood. Use of the site shall be in accordance with the approved management scheme unless otherwise agreed in writing with the local planning authority.
5. Within 2 months of the development commencing details of a landscaping scheme to be agreed (including boundary treatments and proposed lighting), carried out in accordance with details prior to occupation and retained as such.
6. Within 2 months of the development commencing details of replacement windows to be agreed. This detail will include an acoustic assessment to show evidence that noise levels inside room will meet WHO standards. The windows shall then installed in accordance with agreed details prior to occupation and retained as such.
7. Within 2 months of the development commencing details (including scaled drawings) of door(s) and surround to be agreed (including material and finish). The door(s) shall then installed in accordance with agreed details prior to occupation and retained as such.

8. Within 2 months of the development commencing details of parking, refuse/recycling and covered and secure cycle parking to be provided, carried out in accordance with details prior to occupation and retained as such.
9. Within 2 months of the development commencing details of the refuse and recycling collection to be agreed in writing with the local planning authority. Servicing of the development should be carried out in accordance with these details unless otherwise agreed in writing.
10. Within 2 months of the development commencing details of a Travel Information Plan to be agreed in writing. The TIP shall:
 - (a) Include provision for travel information to be made publicised to staff and existing and future potential occupants of the flats; and
 - (b) specify different methods to be used for publicity and frequency of review.
 The TIP shall be in place and made available prior to occupation of the development hereby approved and maintained thereafter in accordance with the agreed review details.
 The information within the TIP shall include:
 - (i) details of the public transport routes and services available within half a mile walking distance of the site, cycle parking provision and facilities for cyclists on site and any other measures which would support and encourage access to the site by means other than the private car.
 - (ii) details of the management of arrivals and departures at the start and end of term times.
11. Within 2 months of the development commencing details to be submitted of measures to maximise water efficiency. The measures shall then installed in accordance with agreed details prior to occupation and retained as such.
12. Within 2 months of the development commencing details of ASHP (manufacturer specification, location and maintenance schedule). The ASHP shall then be installed prior to the first occupation of the building and retained as such in accordance with the agreed maintenance schedule.
13. No use of the passageway between 18 and 20 Unthank Road by occupants or visitors of approved scheme.
14. The residential units hereby permitted shall only be occupied by students enrolled with higher educational providers.

Article 31(1)(cc)

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined in the officer report.

Informatives

1. Highway works subject to shared use notice fee, Section 278 fees and signs and lines costs. Any scheme may require modification in light of network and safety audit feedback. The applicant to fund all design and implementation costs and fees.
2. It is an offence to carry out any works within the Public Highway without the permission of the Highway Authority. This development involves work to the public highway that can only be undertaken within the scope of a legal agreement between the developer and Norwich City Council. Please note that it is the

applicants' responsibility to ensure that, in addition to planning permission, any necessary Agreements under the Highways Act 1980 are also obtained. Advice on this matter can be obtained from the City Council's Transport Team based at City Hall, Norwich. Please contact: transport@norwich.gov.uk

3. Parking permits: The development will not be eligible for residential on street parking permits, but will be eligible for business permits if justified by operational need.
4. Travel information plan
<http://www.norwich.gov.uk/TransportAndStreets/Transport/Pages/TravelPlans.aspx>
5. Street naming and numbering:
Contact Kay Baxter at Norwich City Council if required, tel 01603 21 2468
(Mons & Tuesdays only)

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CLIENT
DACRE PROPERTY
Little Sisters

CONTENT
Ground Floor Layout
Proposed GF Layout
Layout 01

DATE
09 - 09 - 2014

DRG. No.

FDD 0636 GMD / SIS 004 (a)

SCALE
1:100 @ A1

DRAWN BY
HLC

REVISED

Rev C: 03 - 02 - 15

Planting added & laundry room access altered

COMMENTS

PLANNING





CLIENT

DACRE PROPERTY
Little Sisters

CONTENT

First Floor Layout
Proposed FF Layout
Layout 02

DATE

09 - 09 - 2014

DRG. No.

FDD 0636 GMD / SIS 004 (b)

SCALE

DRAWN BY

1:100 @ A1

HLC

REVISED

Rev A: 05 - 01 - 15

WCS reconfigured & kitchenette added.

COMMENTS

PLANNING



NOTES

- EXISTING TREE
- PROPOSED TREE
- SHRUBBERY



CLIENT
DACRE PROPERTY
Little Sisters

CONTENT
Site Layout
Proposed Site Layout
Layout 01

DATE
09 - 09 - 2014

DRG. No.

FDD 0636 GMD / SIS 003 (a)

SCALE
1:200 @ A1

DRAWN BY
HLC

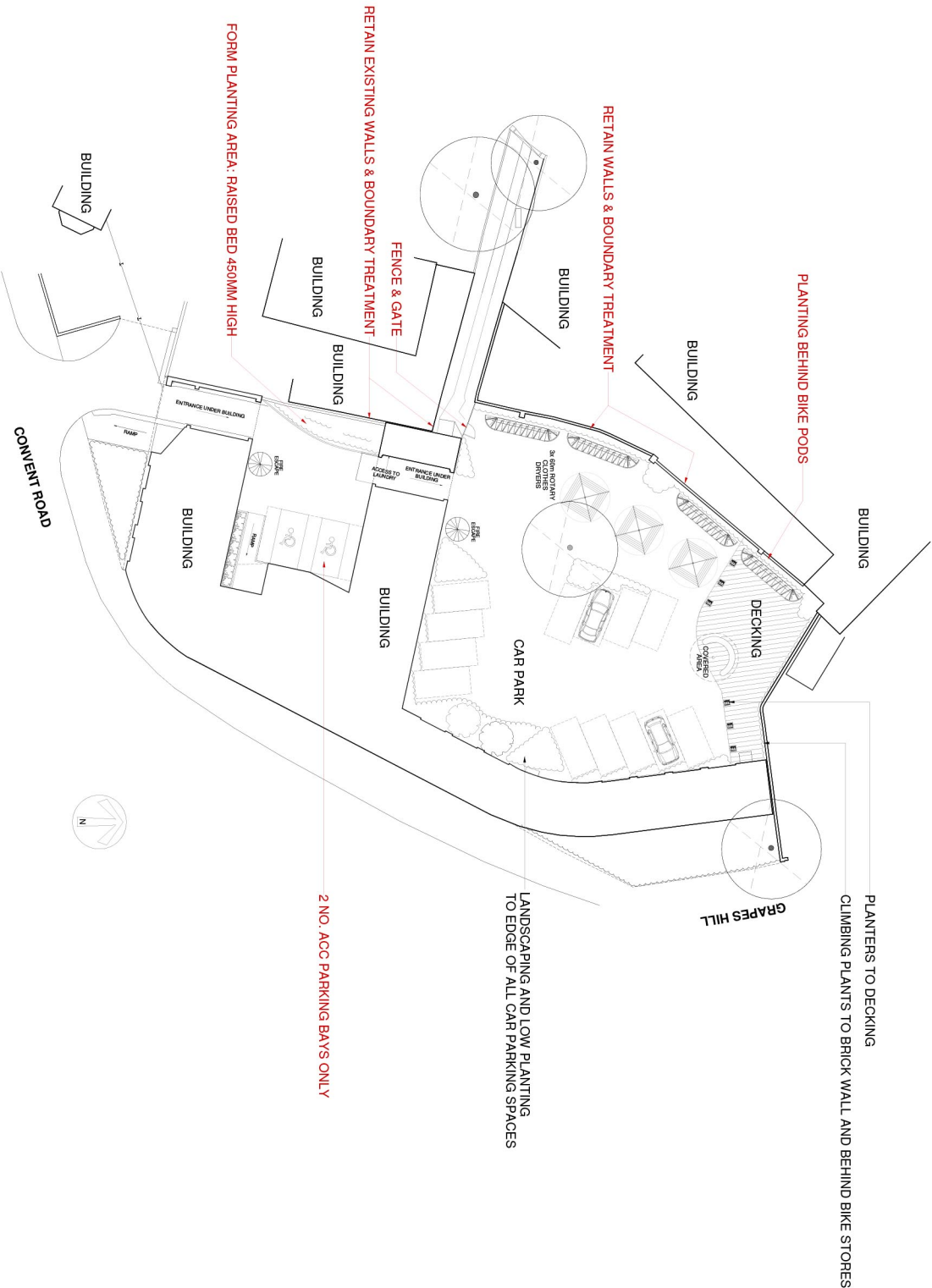
REVISED

Rev B: 03 - 02 - 15

Planting and gate added & annotation updated

COMMENTS

PLANNING



Report to Planning applications committee

26 February 2015

Report of Head of planning services

Subject Application no 14/01526/A - Prospect House
Rouen Road Norwich NR1 1RE

Applicant Archant

Reason for referral Objections and deferred from previous meeting

Item

4B

Ward:	Mancroft
Case officer	Lara Emerson – laraemerson@norwich.gov.uk

Development proposal		
Display of 4 No. illuminated signs.		
Representations		
Object	Comment	Support
2	0	0

Main issues	Key considerations
1) Design & Heritage (Amenity)	Illuminance, size
2) Public Safety	Distraction to motorists
Expiry date	12 th January 2015
Recommendation	Approve

Background, site and surroundings

1. Members will recall that this application was reported to the last planning committee meeting on 29 January 2015. At this meeting members raised concerns over some of the signs and it was also identified during the meeting that there was a discrepancy between the site plan and red line plan. As such the application was deferred for future consideration. It transpired that whilst the red line plan was correct the site plan indicating the location of the signs was incorrect so far as it related to sign 3. Since the last meeting sign 3 has been omitted from the proposals and the illumination is now only proposed between 7am and midnight
2. The building is a large and striking office building dating from the 1960s which occupies a prominent site within the city centre. The building has several significant features including a Bernard Meadows statue at the front entrance and bronze-coloured 'Eastern Daily Press' signage on various parts of the building.
3. This is a mixed use area with various commercial and residential uses.
4. The topography of the area is such that Rouen Road to the east of the site is on significantly lower land than Ber Street to the west of the site.

Constraints

5. The site is within the City Centre Conservation Area and there are some locally and statutorily listed buildings in the vicinity.

Relevant planning history

Ref	Proposal	Decision	Date
4/1989/1125	Two non-illuminated fascia-level signs.	Temporary permission approved	10/10/1989
4/2001/0258	Display of high level intermittent illuminated digital sign.	Approved	03/09/2001
4/2001/0308	Display of advertising banner for a temporary period between 1st May to 14th May 2001	Approved	02/05/2001
4/2002/0252	Installation of an internally illuminated high level sign.	Approved	12/04/2002
04/01323/A	Temporary display of a banner.	Approved	05/01/2005

The proposal

6. Removal of all existing signage.
7. Erection of 4 signs to the north, east and south elevations, each displaying the 'Archant' logo in a red colour. Illumination between 7am-midnight.

	Sign 1	Sign 2	Sign 4	Sign 5
Location	North elevation	North elevation	South elevation	East elevation
	Flint wall	Flint wall	Building façade	Building façade
Size of sign	6m x 3m	3m x 1.5m	3.3m x 1.7m	3.3m x 1.7m
Materials	Steel & aluminium	Steel & aluminium	Steel & aluminium	Steel & aluminium
Text	ARCHANT	ARCHANT	ARCHANT	ARCHANT
Colour	Red	Red	Red	Red
Height above ground level	1.6m	0.5m	7m	9m
Illumination	External LEDs	Internal LEDs	Internal LEDs	Internal LEDs
	7am - midnight	7am - midnight	7am - midnight	7am - midnight

Representations

8. This type of application does not require adjacent properties to be notified nor does it require a site notice or press notice to be erected.
9. 2 letters of representation have been received (1 of which is from the Norwich Society) citing the issues as summarised below. Full representations can be viewed at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Letter of representation (to previous proposals)	Response
The large sign on the cobbled wall is ugly and this sign should be refused (sign 1)	Paragraph 20
Replacement Archant signage should only be allowed on the upper portion of the Castle frontage and on the Rouen Road frontage	Paragraphs 18 - 25
The Eastern Daily Press and Evening News branding and signage is an important part of the city's heritage	Paragraph 28
The gold lettering should be retained	Paragraph 28
Norwich Society comments (to previous proposals)	Response
The proposed signs are large, illuminated, inappropriate and clumsy	Paragraphs 18 - 25

The signs damage the visual quality of this well-known building which has a strong presence in the city	Paragraphs 18 - 25
The existing signs complement the important Bernard Meadows sculpture	Paragraph 28
It is not necessary to connect the EDP and the EEN with the Archant brand	Paragraph 29
Norwich Society comments (to revised proposals)	Response
We support the omission of sign 3	Paragraph 22
Sign 1 is out of scale with its background	Paragraph 20
Sign 2 is acceptable	Paragraph 21
Sign 4 is acceptable	Paragraph 23
Sign 5 is superfluous	Paragraph 24
Illumination is unnecessary, especially since it is now only proposed during the day	Paragraph 19 & 25
The red colour of the signs is not sympathetic to the bronze of the Bernard Meadows sculpture	Paragraph 18 - 25

Consultation responses

10. Consultation responses are summarised below. The full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

11. There is no objection to the signage on the building. However it would be preferable not to have signage on the flint retaining walls and it should be located elsewhere on the building itself. Sign 3 is the most objectionable (and this has subsequently been removed).

Assessment of planning considerations

Relevant development plan policies

12. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS2 Promoting good design
13. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM3 Delivering high quality design
 - DM9 Safeguarding Norwich's heritage

- DM30 Access and highway safety

Other material considerations

14. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF7 Requiring good design (particularly paragraph 67)
- NPPF12 Conserving and enhancing the historic environment

Case Assessment

15. Planning law stipulates that advertisements should be subject to control only in the interests of amenity and public safety, taking into consideration the development plan, so far as material, and any other relevant factors.
16. Factors relevant to amenity include the general characteristics of the locality, including the presence of any feature of historic, architectural, cultural or similar interest. Factors relevant to public safety include highway safety (including railways, waterways and aerodromes), whether the display of the advertisement in question is likely to obscure, or hinder the ready interpretation of, any highway sign or signal and whether the display of the advertisement in question is likely to hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle.

Main issue 1: Design & Heritage (Amenity)

17. Key policies and NPPF paragraphs – JCS2, DM3, DM9, NPPF paragraphs 9, 17, 56, 60-67 and 128-141.
18. The building is a prominent and striking building which can be viewed from a number of surrounding streets. Views from Golden Ball Street are restricted by a number of street trees. The most significant feature is the 1968 Bernard Meadows designed sculpture outside the front entrance.
19. The replacement signage is modest in size when compared with the scale of the building itself. In fact the proposed signs are substantially smaller than the existing signs. The illuminance of some of the signs is not considered to detract from the overall visual amenity of the building and its surroundings.
20. Sign 1 is on a flint wall on the northern elevation and is the largest of the signs. However, being set back from the street, screened somewhat by mature vegetation and only illuminated between 7am-midnight prevents over-dominance.
21. Sign 2 is also on a flint wall on the northern elevation but it is smaller and causes no design concerns.
22. Sign 3 has been omitted from the proposals.
23. Sign 4 is small and unobtrusive on the south elevation.
24. Sign 5 is small and unobtrusive on the east elevation. It is necessary due to this being the main visitor entrance.

25. The signs will have a negligible impact on the setting of the conservation area and nearby listed buildings. A condition is recommended which limits the illumination of signs to 7am-midnight.

Main issue 2: Public Safety

26. Key policies and NPPF paragraphs – DM30, NPPF paragraphs 35 and 66.
27. The signs themselves and their static illumination are unlikely to cause any distraction to passing motorists. Therefore, the signs do not pose a threat to public safety.

Other matters raised

28. The existing signs can be removed at any time without the need for planning consent so the loss of these signs does not form part of the consideration of this application.
29. The content of the signs and association with any brand cannot be considered as part of this application.

Equalities and diversity issues

30. There are no significant equality or diversity issues.

Conclusion

31. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

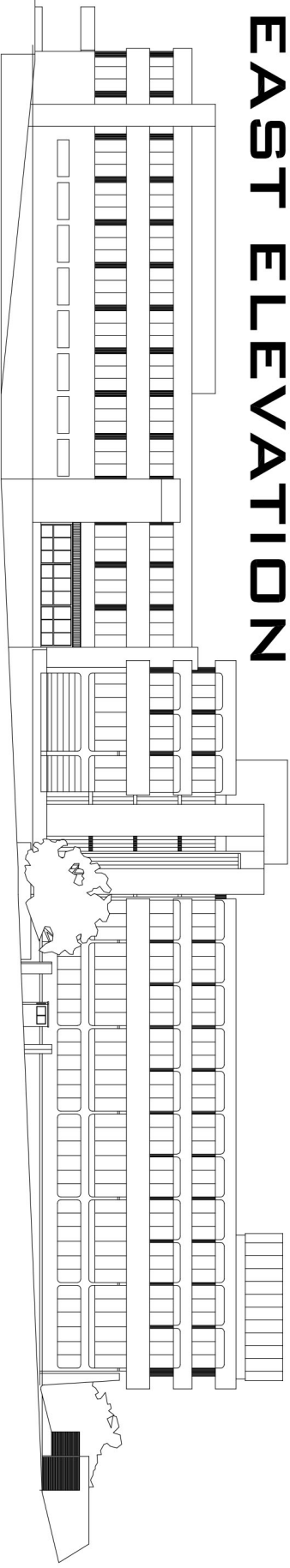
Recommendation

To approve application no. 14/01526/A - Prospect House Rouen Road Norwich NR1 1RE and grant planning permission subject to the following conditions:

1. No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.
2. No advertisement shall be sited or displayed so as to –
 - (a) endanger persons using any highway, railway, waterway, dock, harbour or aerodrome (civil or military);
 - (b) obscure, or hinder the ready interpretation of, any traffic sign, railway signal or aid to navigation by water or air; or
 - (c) hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle.
3. Any advertisement displayed, and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.
4. Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a condition that does not endanger the public.

5. Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair the visual amenity.
6. In accordance with plans.
7. No internal or external illumination of the signs shall be used on the site between 00:01 hours and 07:00 hours on any day.

EAST ELEVATION



BASEMENT



GROUND FLOOR



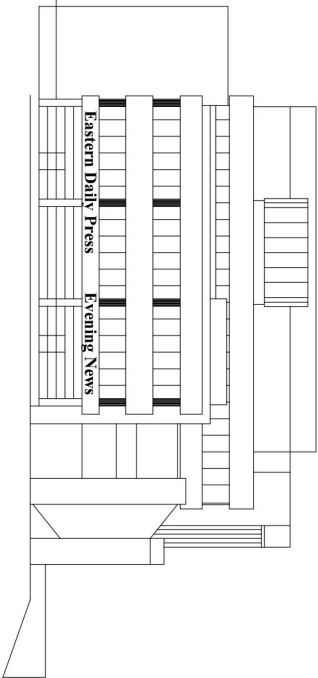
FIRST FLOOR



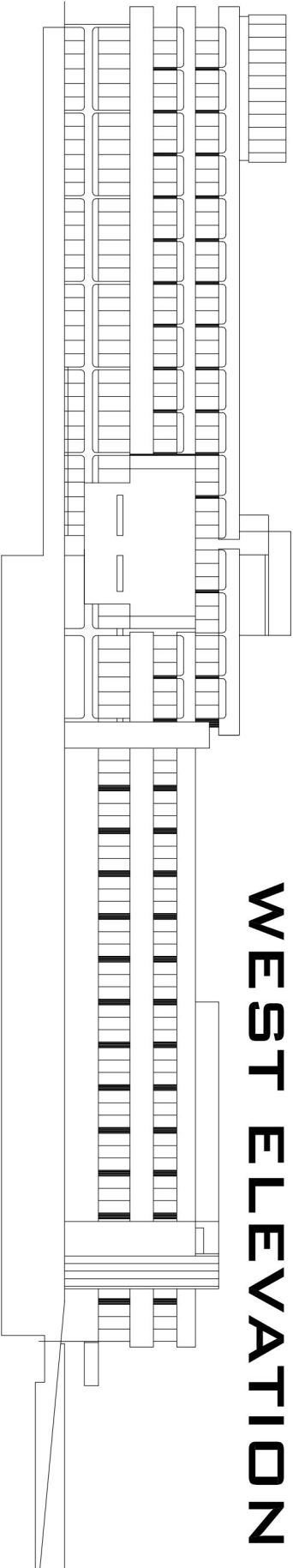
SECOND FLOOR



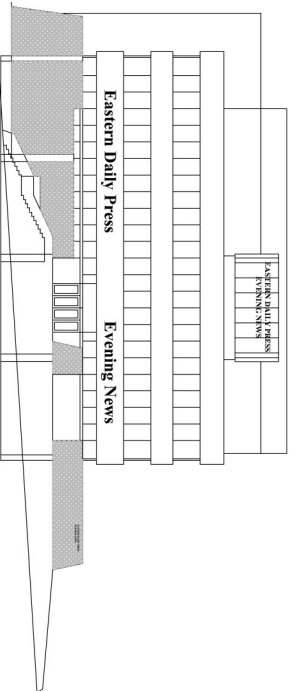
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



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3 MILLER ROAD, THORPE & MAREK, NORWICH, NORFOLK, NR7 6JZ
01603 445454, 01603 445455, 01603 445456, 01603 445457, 01603 445458

ARCHANT
Existing Elevations
Exterior

E

Prospect House
Norwich

Revisions

A1

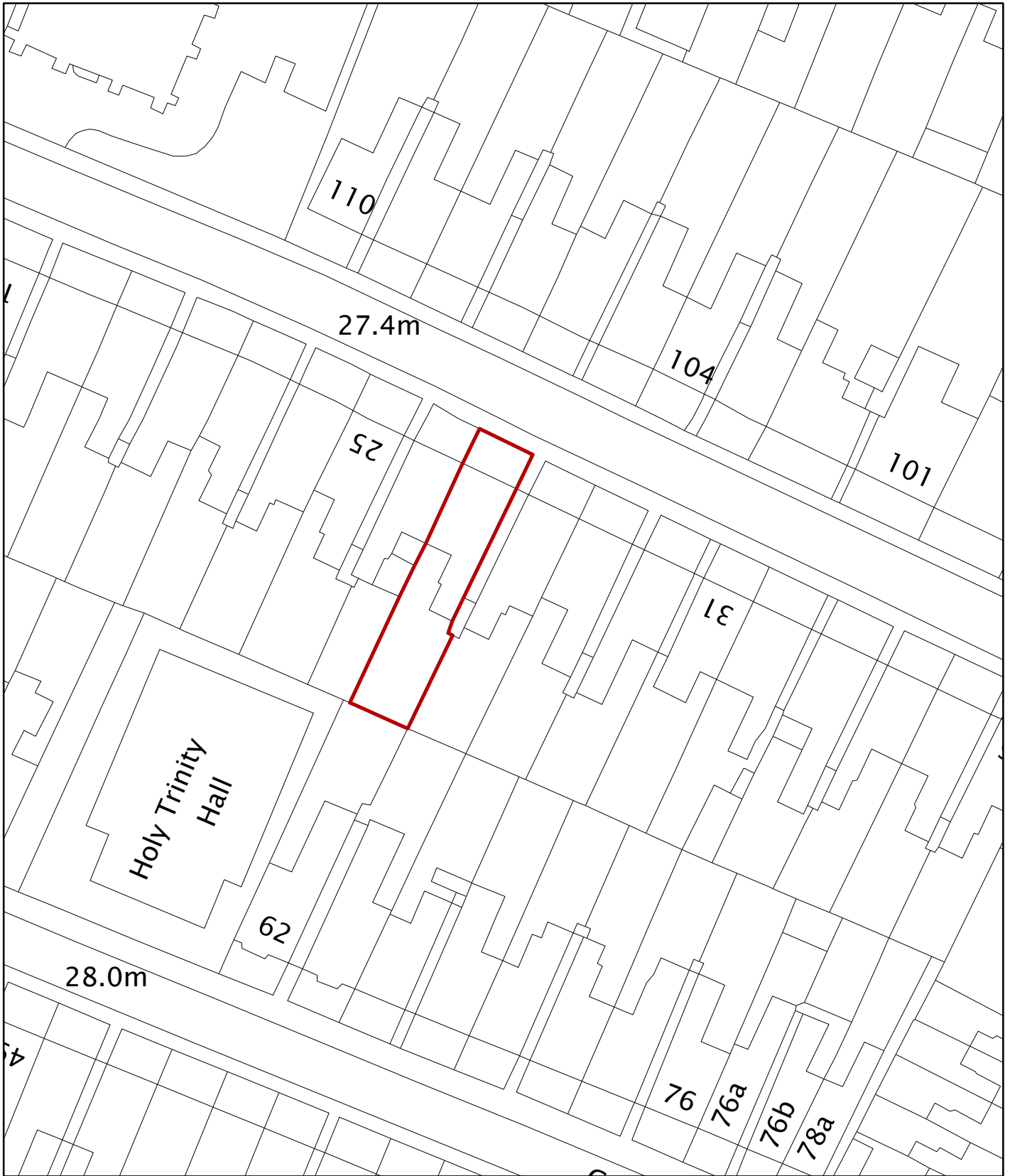
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Report to	Planning applications committee	Item
	26 February 2015	
Report of	Head of planning services	
Subject	Application no 14/01846/F - 27 Trinity Street Norwich NR2 2BQ	4(C)
Applicant	Miss Fiona Anderson	
Reason for referral	Objections	

Ward:	Town Close
Case officer	Lara Emerson - laraemerson@norwich.gov.uk

Development proposal		
Replacement windows.		
Representations		
Object	Comment	Support
4	0	0

Main issues	Key considerations
1) Design & Heritage	Materials, detailing
Expiry date	9 March 2015
Recommendation	Approve



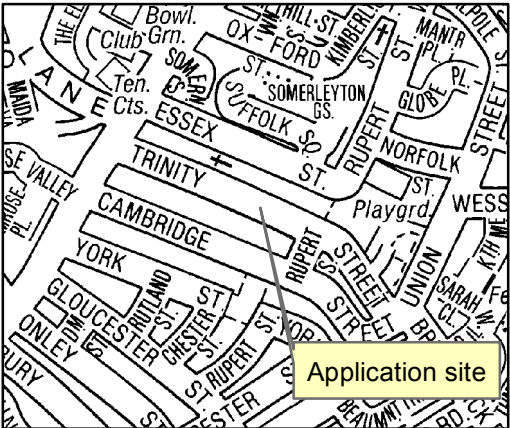
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Planning Application No 14/01846/F
 Site Address 27 Trinity Street

Scale 1:500



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The site and surroundings

1. This is a mid-terrace Victorian property which sits on the south side of Trinity Street to the west of the city

Constraints

2. The site sits within the Heigham Grove Conservation Area
3. The property is locally listed and is covered by an Article 4 Direction which restricts the replacement of windows on the front elevation
4. Near to the site is the Grade II listed Holy Trinity Church

Relevant planning history

5. No recent planning history.

The proposal

6. Replacement of 3 wooden sash windows with PVC sliding sashes of a replicative design on the front elevation. The windows are of the 'Rehau' brand which is a design that has been previously supported by the council within Article 4 areas.

Representations

7. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. 4 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
UPVC windows would have a detrimental impact on the character of the street	Paragraphs 15-17
Timber sashes should be used instead in order to preserve the identity and heritage of the street	Paragraphs 15-17
The existing windows are not in a poor condition	Paragraph 18
This will set a precedent for UPVC windows in conservation areas	Paragraph 19

Consultation responses

8. Consultation responses are summarised below. The full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Design and conservation

9. The proposals are acceptable so long as no sash horns are proposed, windows are set back within the window reveal, and the stone sills are retained.

NB: Confirmation of these details has since been received from the agent.

Assessment of planning considerations

Relevant development plan policies

10. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
- JCS2 Promoting good design
11. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
- DM3 Delivering high quality design
 - DM9 Safeguarding Norwich's heritage

Other material considerations

12. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
- NPPF7 Requiring good design
 - NPPF12 Conserving and enhancing the historic environment

Case Assessment

13. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Design & Heritage

14. Key policies and NPPF paragraphs – JCS2, DM3, DM9, NPPF paragraphs 9, 17, 56, 60-66 & 128-141.
15. Owing to the matching dimensions, detailing and method of opening, the replacement windows are considered to be acceptable despite the use of UPVC instead of timber.
16. These Rehau windows have been carefully designed with features (i.e. chamfered external glazing bars, no window horns and a sliding method of opening), that allow these PVC windows to have an appearance similar to their timber predecessors. It is worth noting that the Rehau window is one that has been supported by the council previously because of its design.

17. The building façade is also set back a distance of 3.5m from the pavement, and from this distance the material will not be obvious. It is therefore considered that the proposed windows would have a minimal impact on the appearance of the building or on the wider conservation area.

Other matters raised

18. Some objectors have stated that the windows are not in poor condition. However, on inspection there does appear to be some deterioration of the existing timber windows. In any case, it is not for the planning authority to decide whether the proposals are necessary, or desirable, but simply to consider the acceptability of the proposals put before us.
19. An objector also raised concerns about setting a precedent. An application is required for replacement windows fronting the highway on any property covered by the Article 4 Direction and each case will be judged on its own specific and particular merits. The council has refused and taken enforcement action against PVC windows of an inappropriate design within Article 4 areas. It is the detailed design that is considered to be the determining factor in making an assessment rather than simply the material alone.

Equalities and diversity issues

20. There are no significant equality or diversity issues.

Local finance considerations

21. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
22. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
23. In this case local finance considerations are not considered to be material to the case.

Conclusion

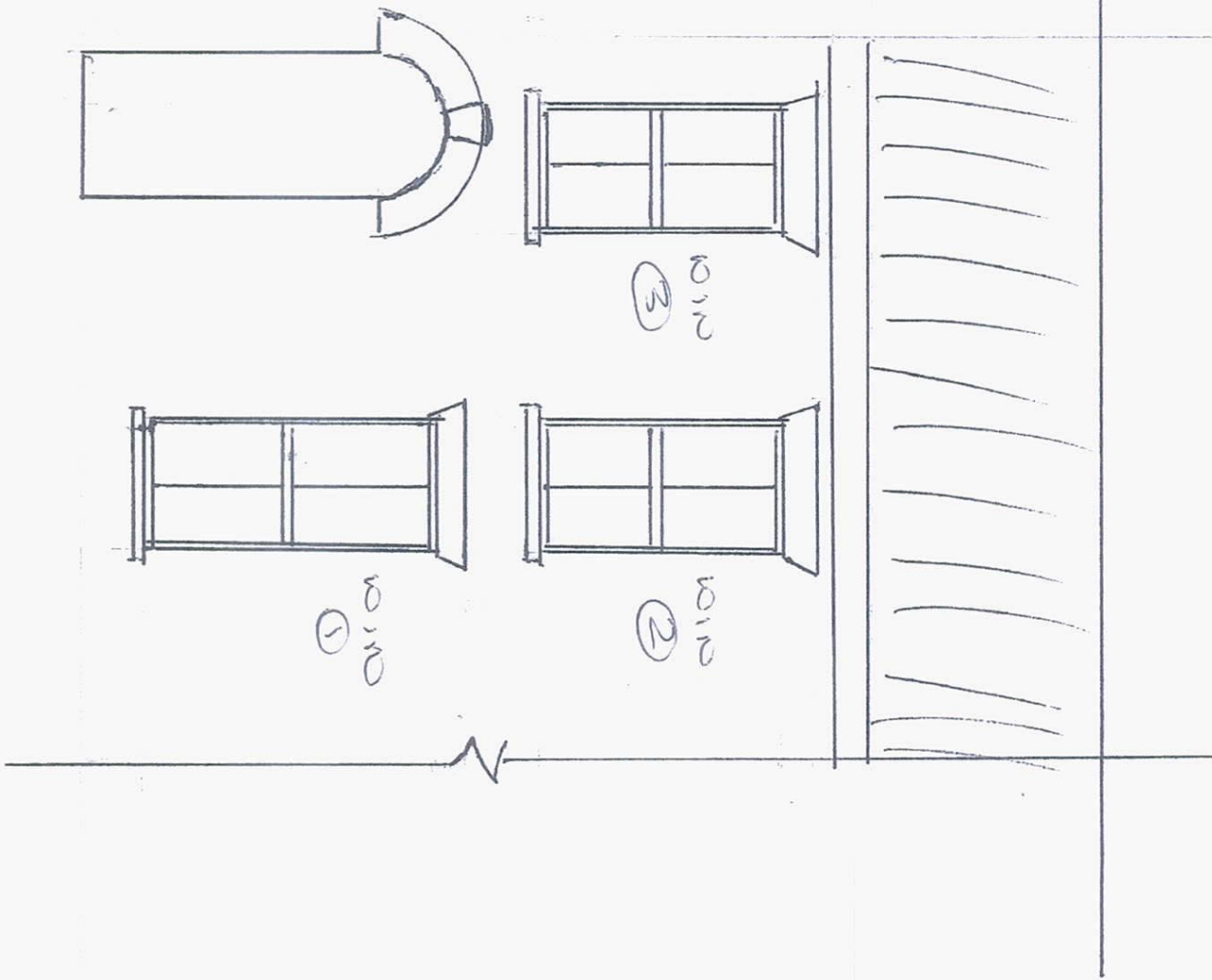
24. The windows have been designed to closely replicate the original windows, and therefore there will be minimal impact on the appearance of the building or the surrounding conservation area. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

To approve application no. 14/01846/F - 27 Trinity Street Norwich NR2 2BQ and grant planning permission subject to the following conditions:

1. Standard time limit;
2. In accordance with plans.

PROPOSED REPLACEMENT WINDOWS
TO 27 TRINITY STREET DEDICATED
EXISTING TIMBER TO BE REPLACED
WITH REPAIR HERITAGE GUIDANCE
GLASS WINDOWS.



Report to Planning applications committee

26 February 2015

Report of Head of planning services

Subject Application no 14/01608/U - 1A Oak Street
Norwich, NR3 3AE

Applicant Serco

Reason for referral Objections

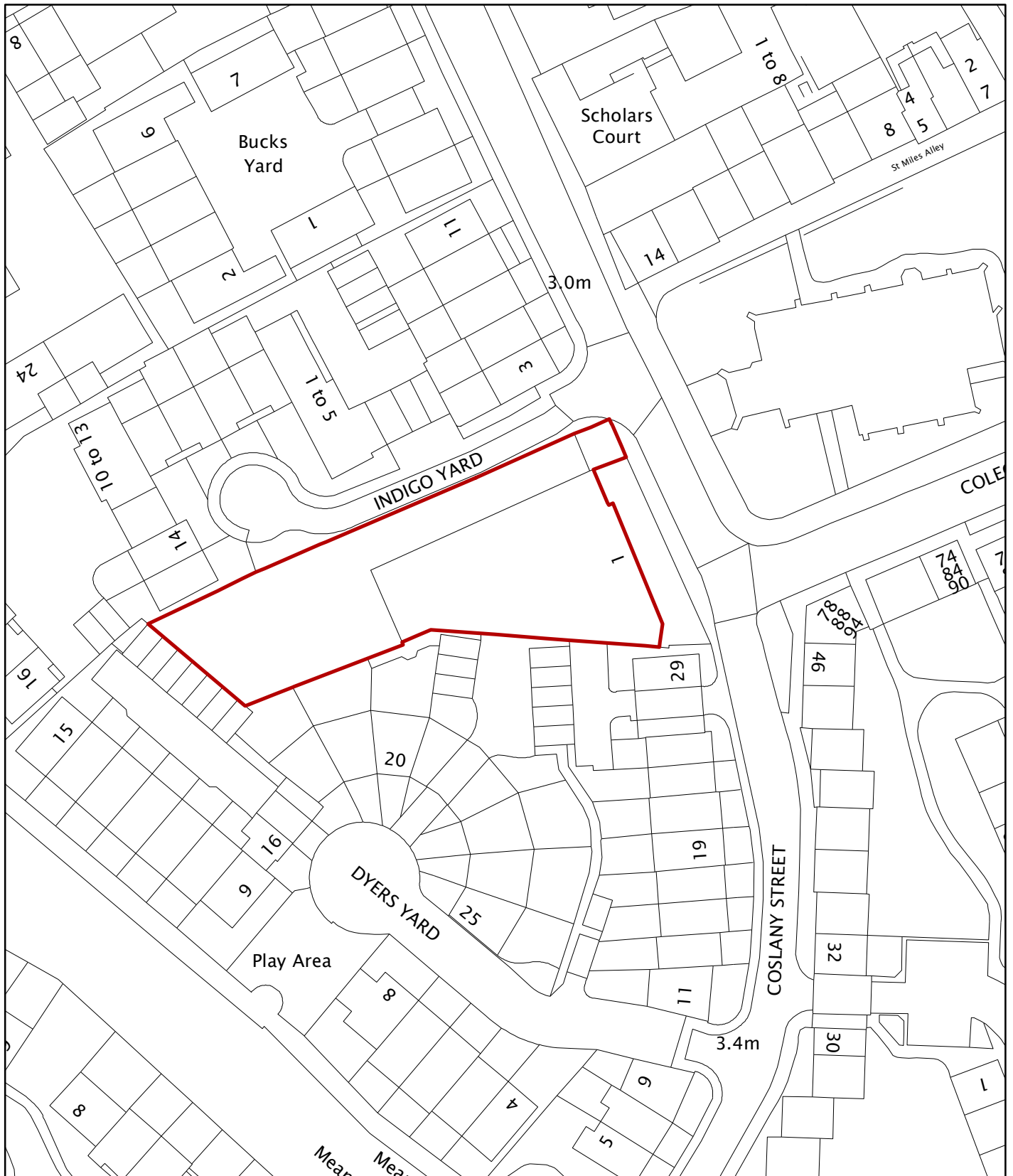
Item

4(D)

Ward:	Mancroft
Case officer	Caroline Dodden - carolinedodden@norwich.gov.uk

Development proposal		
Change of use from office to health clinic (Class D1).		
Representations		
Object	Comment	Support
12		

Main issues	Key considerations
1) Principle of development	Principle of health use in city centre
2) Office floor space	Assessment of loss of office floor space
3) Amenity	Impact on nearby residents
4) Accessibility and parking	Level of accessibility and adequacy of parking
Expiry date	5 March 2015
Recommendation	Approve



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Planning Application No 14/01608/U

Site Address 1A Oak Street

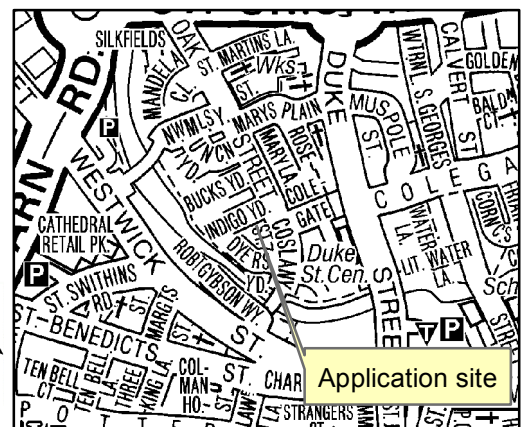
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City Council

PLANNING SERVICES

Page 56 of 104



Application site

The site and surroundings

1. No. 1A Oak Street is a flat roofed office building with a wedge shaped footprint, situated on the west side of the road. Residential dwellings within Dyers Yard and Indigo Yard bound the site to the north, south and west and the Grade I listed church of St. Michael Coslany is located on the opposite side of Oak Street on the corner of Colegate.
2. The immediate area is largely residential in nature with Barnards Yard, Dyers Yard, Indigo Yard and St. Miles Alley being the closest groups of residential dwellings. Oak Street Medical Centre is located approximately 160 metres away on Oak Street.

Constraints

3. The site falls within the city centre conservation area, being part of the Northern Riverside characterisation area, where the residential dwellings to the north and south of the building are identified as having positive frontages. The Grade I church of St. Michael Coslany, on the opposite side of Oak Street, is identified as a local landmark within the city centre conservation area appraisal.
4. The site is within the boundary of the Northern City Centre Area Action Plan, where it falls within an area of main archaeological interest, an area identified for city centre regeneration and an area for reduced parking.

Relevant planning history

5.

Ref	Proposal	Decision	Date
4/2002/0438	Conversion of first floor from manufacturing use to offices including erection of entrance lobby and external ladder.	APPROVED	03/07/2002
04/01214/F	Installation of new windows to first floor offices.	APPROVED	14/12/2004
05/00882/F	Installation of 16 air conditioning units to flat roofed area on north side of building.	REFUSED	08/11/2005
06/00755/F	Retention of air conditioning units in a modified form.	APPROVED	06/11/2006
15/00044/F	Erection of new rooftop fence, ventilation units, refuse storage area and provision of cycle stands with minor associated alterations.	PENDING	

The proposal

6. To change the use of the rear part of the ground floor and the first floor of the premises from offices to a health clinic (Class D1) with associated off-street parking.

Proposal	Key facts
Scale	
Total floorspace	740 square metres
Operation	
Opening hours (times open to members of the public).	Mon & Wed: 9am – 7.30pm Tues, Thurs, Fri: 9am – 6pm Sat: 10am – 2pm
Transport matters	
Vehicular access	Vehicular access to the north side of the building leading to an existing car park at the rear
No of car parking spaces	17 parking spaces including 2 disabled spaces
No of cycle parking spaces	8 covered cycle parking spaces (existing)
Servicing arrangements	Bin storage proposed to rear of building (proposed details form part of pending application 15/00044/F)

Representations

7. Advertised on site and in the press. Adjacent and neighbouring properties have been notified in writing. Twelve representations from ten households have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
The building is an eyesore in the streetscape and this proposal would extend the life of this building. It should be demolished and the site redeveloped for	Paragraph 20

Issues raised	Response
residential use	
Concerned about the intensiveness of the clinic as there would multiple treatment rooms and the clinic will sometimes be open beyond normal office hours in this predominantly residential area.	Paragraphs 29-31
Oak Street is narrow and the clinic will exacerbate existing parking, access and highway safety problems. No visitor parking should be available.	Paragraphs 36-38
Concerned about privacy, as obscure glazed windows facing on to Dyers Yard properties can be opened.	Paragraphs 32-34
There are vacant office buildings in more suitable locations in the city centre, such as St. Marys Works.	Paragraphs 23-26
The proposal is contrary to the local plan for residential and the proposal will downgrade our residential environment.	Paragraphs 19-20

Consultation responses

8. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Environment Agency

9. The site lies in flood zone 2. The proposed change of use will result in the building moving from the less vulnerable to the more vulnerable use category. A flood risk assessment should be completed and assessed.

Highways (local)

10. The existing car parking area and cycle parking provision is acceptable for this city centre location. A condition requiring a Travel Information Plan would be appropriate based on the floorspace of the proposed clinic.

Assessment of planning considerations

Relevant development plan policies

11. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**

- JCS1 Addressing climate change and protecting environmental assets
- JCS6 Access and transportation
- JCS7 Supporting communities
- JCS11 Norwich city centre
- JCS19 The hierarchy of centres

12. Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)

- DM1 Achieving and delivering sustainable development
- DM2 Ensuring satisfactory living and working conditions
- DM5 Planning effectively for flood resilience
- DM17 Supporting small business
- DM22 Planning for and safeguarding community facilities
- DM31 Car parking and servicing

Other material considerations

13. Relevant sections of the National Planning Policy Framework March 2012 (NPPF):

- NPPF0 Achieving sustainable development
- NPPF2 Ensuring the vitality of town centres
- NPPF4 Promoting sustainable transport
- NPPF8 Promoting healthy communities
- NPPF10 Meeting the challenge of climate change, flooding and coastal change

Case Assessment

14. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

15. Key policies and NPPF paragraphs – JCS7, DM22, NPPF paragraph 70.
16. Paragraph 70 of the NPPF states that planning policies and decisions should ensure an integrated approach to considering the location of housing, economic uses and community facilities and services.
17. The proposed use as a health clinic falls within use class D1. As such, it is not a defined main town centre use within the NPPF. The principle of the proposal is assessed against Policy DM22 which permits new or enhanced public or community facilities where they are located within or adjacent to the city centre or existing and proposed local and district centres. It continues that proposals

within centres will be accepted where their location is appropriate to, and their scale and function is compatible with, the centre in which they are proposed.

18. The health clinic would be provided for people living in Norwich and the surrounding area. In addition, the proposed clinic would deliver two sessions per week from Thetford, Cromer and Swaffham, in order to offer services closer to patient's homes, which should also reduce the footfall of patients through the proposed central hub at Oak Street. These locations have been identified by the commissioning authority, Norfolk County Council, following the completion of a health needs assessment, which identified these as high need areas.
19. The proposed site at Oak Street is located within the city centre and given the proposed scale and function of the clinic, as described above, it is considered that this central position is fully consistent with the requirements of DM22.
20. The site is surrounded by residential properties, but it is not an identified housing site within the adopted site allocations and site specific policies plan. Consequently, there is no planning requirement to seek the redevelopment of the site for residential purposes, as suggested by a number of the objectors to the application.

Main issue 2: Loss of office space

21. Key policies – JCS5, DM17
22. The front section of the ground floor is currently in office use and this proposal does not affect this continuing Class B1 use.
23. Policy DM17 permits proposals where the possibility of re-using the building or site for similar or alternative business purposes has been fully explored and it can be demonstrated that there is no demand for small and medium scale business units in this area and that there would be an overriding community benefit from a new use which could not be achieved by locating that use in a more accessible or sustainable location.
24. A letter has been submitted from property and business consultants confirming that the premises has been marketed in a number of ways from April 2014 and that the general market for offices in Norwich has been very difficult throughout the recession.
25. In addition, information has been provided detailing seven other premises within the city centre that were considered. These include St. Crispins and St. Marys House on Duke Street and Wensum House on Prince of Wales Road. The seven premises were considered unsuitable for a number of reasons including the lack of a lift for 1st floor accommodation, no parking, too small or too big and the accommodation being split over too many floors.
26. Bearing in mind the evidence provided and that the office accommodation at Oak Street is not considered to be of high quality, the loss of approximately 75% of the office floor space to a health clinic, which would provide a community benefit to the wider Norwich area, is considered to be acceptable in this particular case. It is also relevant to note that the specific proposed use

is comprised of a mixture of office space and consulting rooms and in this sense can be considered to be an alternative form of business use.

Main issue 3: Amenity

27. Key policies and NPPF paragraphs – DM2, NPPF paragraphs 9 and 17.
28. Under Policy DM2 development will be permitted where it would not result in an unacceptable impact on the amenity of the area or the living or working conditions or operations of neighbouring occupants. Particular regard is given to matters including overlooking, loss of privacy and disturbance from noise.
29. The site is surrounded by residential properties to the north, south and west. The vehicular access to the rear car park is located adjacent to the access road in to Indigo Yard on the north side, from where a number of dwellings overlook the site. Dyers Yard has two garage courts and residential gardens that back onto the southern side of the site. A number of the dwellings within Dyers Yard overlook either the application building (which forms the southern boundary of the site) or the rear car park.
30. The health clinic is proposed to be open five and a half days a week, with approximately 10 clinical staff and 10-15 administration and health promotion staff operating both drop-in sessions and appointments throughout the week. A comparable service is currently provided in Ipswich, which has approximately 300 service users per week over 6 days (including Saturday morning) attending. This equates to approximately 50 people visiting per day (or half day) or about 6 people per hour, on average.
31. Other than the extended hours to 7:30pm on two days a week and four hour opening on Saturdays, the operating times are comparable to typical office hours which could currently operate from the premises. Bearing in mind, it is likely that these extended times of opening are likely to be generally quieter periods for the clinic, it is considered that its general activity would not cause significant harm to the residential amenities of the neighbouring properties by way of noise disturbance.
32. There is concern from neighbours regarding the potential for overlooking and loss of privacy. This application relates to the proposed change of use of part of the ground floor and all of the first floor of the building only. There are a number of first floor windows to the northern elevation of the building that face on to residential properties at Indigo Yard, where there are a number of mainly small secondary windows looking towards the building. On the south side of the building there are four small obscure glazed windows, which it is understood are fitted with opening restrictors.
33. Given the distance between the properties to the north of the site and the likely need for privacy of the consulting rooms, it is considered that the potential for overlooking or loss of privacy to residents facing the northern side of the building is likely to be minimal. The first floor accommodation on the southern side of the building is proposed to be used as offices. Bearing in mind the existing nature of the first floor windows, it is considered that the proposed change of use would not increase the potential for overlooking or loss of privacy to residential occupiers located on the south side of the building. It

should be noted that clearly the exact internal layout could change at a future date, however it is not considered that this would lead to any harm to neighbour amenity.

34. It is proposed to attach a condition to ensure that the southern first floor windows remain obscure glazed and fitted with restrictors.
35. In addition, it is proposed to attach a condition that would restrict the use of the floorspace for a health centre only within the D1 use class, as other D1 uses, such as day nurseries or places of worship are likely to have different noise implications that would need separate assessment.

Main issue 4: Accessibility and parking

36. Key policies and NPPF paragraphs – JCS6, DM31 and NPPF paragraph 39.
37. Being in the city centre, the location of the proposed clinic is considered to be sustainable, within walking distance of many bus stops and the train station. In addition, the site is located approximately 300 metres from St. Andrews multi-storey car park and there is on-street parking bays located on Colegate, adjacent to the church of St. Michael Coslany and near St. Mary's works to the north of the site.
38. The proposed clinic would utilise the existing car park to the rear of the building for staff and visitors, which can accommodate approximately 17 car parking spaces, including two disabled spaces. There is an existing cycle store located along the northern side of the building, which would be adequate for the proposed use.
39. If committee members are minded to approve the application, a condition would be attached to require the submission of a Travel Information Plan to ensure that staff and customers are made aware of all of the transport opportunities available.

Compliance with other relevant development plan policies

40. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Cycle storage	DM31	Yes subject to condition
Car parking provision	DM31	Yes subject to condition
Refuse Storage/servicing	DM31	Yes subject to condition
Energy efficiency	JCS 1 & 3 DM3	Not applicable

Requirement	Relevant policy	Compliance
Water efficiency	JCS 1 & 3	Not applicable
Sustainable urban drainage	DM3/5	Not applicable

Flood risk

41. The site falls within Flood Zone 2 and a Flood Risk Assessment (FRA) was submitted to take account of the Environment Agency advice regarding 'more vulnerable' development.
42. Data within the FRA shows that the site would not flood during a 1:100 event and that safe refuge on the first floor of the clinic would be available during a 1:1000 event. It is proposed to attach a condition to require the submission of a Flood Response Plan.

Equalities and diversity issues

43. There are no significant equality or diversity issues. It is recognised that there is not a lift up to the second floor accommodation, however, all necessary facilities would be available on the ground floor, which has ramped access to the main entrance door.

Local finance considerations

44. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
45. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
46. In this case local finance considerations are not considered to be material to the case.

Conclusion

47. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.
48. It is considered that the proposal would provide much needed health facilities at a sustainable, city centre location, which has adequate existing car and cycle parking provision.

Recommendation

To approve application no. 14/01608/U - Julian Housing Support Trust 1A Oak Street Norwich NR3 3AE and grant planning permission subject to the following conditions:

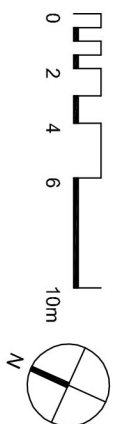
1. Commencement of development within three years;
2. In accordance with approved plans and details;
3. The premises shall be used as a health centre and for no other purpose (including any other purpose in Class D1);
4. Provision of car parking and cycle parking prior to occupation;
5. The existing first floor glazed windows on the southern elevation of the premises shall remain obscure glazed and have opening restrictors unless otherwise agreed in writing with the council, as local planning authority;
6. Submission of a Travel Information Plan;
7. Submission of a Flood Response Plan.

Article 31(1)(cc) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations and has approved the application subject to appropriate conditions and for the reasons outlined in the officer report.

Informative notes:

This use would not be eligible for on street parking permits.



Report any discrepancies to the Contract Administrator at once.

This drawing is to be read with all relevant Architects and Engineers drawings and other relevant information.

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Report to	Planning applications committee	Item
	26 February 2015	
Report of	Head of planning services	
Subject	Application no 14/01850/F - 49 Hunter Road Norwich NR3 3PY	4(E)
Applicant	Mrs Jenny Harper	
Reason for referral	Objection	

Ward:	Catton Grove
Case officer	John Dougan - johndougan@norwich.gov.uk

Development proposal		
Rear extension and part change of use of ground floor to children's day nursery (Non-Residential Institution, Class D1).		
Representations		
Object	Comment	Support
6	0	1

Main issues	Key considerations
1 Principle of a child care facility in this location	Provision of a community use, supporting small businesses and safeguarding housing stock
2 Transportation	Vehicular movements and parking
3 Residential amenity	Internal and external noise nuisance
Expiry date	11 February 2015
Recommendation	Approval

The site and surroundings

1. The character of the area is residential comprising blocks of two-storey terraced properties with gardens / driveways to the front and long gardens to the area. Catton primary School / Sure Start facility, including the associated external play facilities are located to the west of the residential area.
2. Hunter Road has a relatively wide carriageway with a footpath either side of the road. There are no parking restrictions on the main stretch of this public highway, except for the numerous accesses to residential properties. However the turning head at the end of the road is designated as being no parking and directly adjacent to the access / egress for the Sure Start facility. During the site visit it was evident that there was spare parking capacity on Hunter Road, but incidences of unauthorised parking on the turning head by either parents or residents of Hunter Road.
3. It is noted that this entrance is primarily the access to the Sure Start car park. However some parents may use this entrance to walk through to the primary school.
4. The application site is located adjacent to the turning head / access to the Sure Start car park, comprising a two-storey 3 bed terraced dwelling with a shared alley way. A child minding service is currently operated from the premises, for approximately 6 children aged under aged under 8. This child minding facility currently operates in a manner which is ancillary to the residential use of the site and does not require planning permission.
5. The frontage of the site is undefined, accommodating 2-3 cars. The rear of the site comprises a long garden having a 1.8 metre high close boarded fence to the east and west. The adjoining property to the north has a small single storey lean-to extension a series of mature shrubs and small trees in close proximity to the boundary fence with the application site.

Constraints

6. Critical drainage area (DM5)

Relevant planning history

- 7.

Ref	Proposal	Decision	Date
14/01069/PDE	Erection of single storey rear extension. The extension extends six metres beyond the rear wall of the original dwelling. The height at the eaves is 2600mm. The height at the highest point of the extension is 3100mm.	Prior approval application granted.	01/09/2014

The proposal

8. The proposed comprises a rear extension which is the same footprint of what has been recently approved as part of the prior approval consent (6.7 metres wide and 6 metres depth).
9. The building will continue to be used as a dwelling (C3). However during the day, the existing and extending ground floor area will be used as a child care facility (D1) for a maximum of 16 children, mainly catering for 2 year olds to a maximum age of 4. The children would be cared for by up to 4 adult members of staff. The application has been submitted as the nature of the child minding facility now proposed is considered to be of such a scale that it can no longer be considered as an activity which is ancillary to the residential use of the premises. As such the proposed use would therefore require planning permission.
10. Hours of operation will be from 7:45am until 3:45pm. Drop off and pick up times would be staggered at 8.00 / 8.15am and 2.30 / 2.45pm respectively in order to manage vehicle movements and parking demand in the area.
11. Play time in the rear garden would be managed to only have 8 children in the garden at any one time.
12. The site would have parking for 1 car, cycle stands to the frontage for parents and children arriving by bike and secure / covered cycle storage for staff to the rear.
13. The applicant also proposes that staff would greet parents and children at the front of the property guiding parents on matters relating to considerate parking, together with a regular newsletter to promote considerate parking.
14. The applicant has gained funding for an expanded child care facility from the Norfolk community foundation, a fund to expand early learning provision for two year olds in identified priority areas within the city. This is to help meet the government commitment to expand provision of free childcare to two year olds who meet certain eligibility criteria, based around receipt of benefits such as job seekers allowance or working families' tax credit.

Summary information

Proposal	Key facts
Scale	
Total floorspace	The child care will primarily operate from the new ground floor area comprising 50sqm. The extension projects 6 metres in depth and is 3 metres at its highest
Appearance	
Materials	To match existing
Construction	Flat roof

Energy and resource efficiency measures	No details submitted or are required.
Transport matters	
Vehicular access	As existing
No of car parking spaces	1 no.
No of cycle parking spaces	4 to the front 4 to the rear
Servicing arrangements	Bin storage to the rear

Representations

15. Neighbouring properties have been notified in writing. 6 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
There are already highway safety / parking problems on this street linked with the school. The day nursery would make things even worse.	See main issue 2
People often park outside our gate meaning that we can't leave our property. Being disabled, having to access or car on the street. Being disabled, I can't walk very far, meaning I would struggle to get to the car if I had to park on the road.	See main issue 2
I work night shifts, so the increased noise levels would adversely impact on my sleep patterns	See main issue 3
It is noted that the submission states that nursery provision is not great. However, the newly opened little explorers attached to Catton Grove has not yet filled its places, indicating a low need for another facility.	See main issue 1
The phasing would mean that there would be an AM and PM intake, potentially leading to 32 children being dropped off or picked up plus 4 staff cars. This in conjunction with	See main issue 2

Catton Grove nursery and explorers finishing at 11.30 would far outweigh parking facilities and lead to aggressive parking or accidents.	
The existing school playground to the north is already quite noisy. A childcare facility with 16 children will just make things worse.	See main issue 3
The extension will sever the roots of my laurel tree which is in place for my privacy	See other relevant issues section
The development would result in the sewerage system leading to overflow into my back garden	See other relevant issues section
The builders and their lorries are going to cause problems for residents	See main issue 3

16. A letter of support from the Sure Start facility on Hunter Road stating that the Catton Grove, Fiddlewood and Mile Cross area is an area of significant deprivation and approved early years settings in the catchment are currently handling substantial waiting lists for this provision. Data made available to the Children's Centre by Norfolk County Council estimates that by September 2014 there will be over 97 eligible two year olds who will not be able to access early education due to the lack of available places in our Children's Centre reach area. For this reason, and given the relevant quality assurance, we believe that Mrs Harpers proposal represents a sustainable business investment.
17. Revised plans and further supporting information was received and subject to an additional period of consultation expiring on 13th February.

Consultation responses

18. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Highways (local)

19. The proposed use would be a more intensive use in terms of traffic generation compared to its extant residential use. If approved there could be approximately 40 additional trips a day if you include staff and clients; this would be a mix of modes by car or on foot. This is significantly more activity than a residential use, but relatively low for a business. Yet these types of uses can have an acceptable traffic impact on residential areas.
20. It is considered in this case that the street could accommodate the additional traffic, although it is accepted that disturbance during drop of and pick up times would be controversial with local residents. However impact would be limited to only certain times of day and mitigated by some journeys being made by walking and cycling due to the numbers of children and staff living locally.

21. If approved it is recommended that the front garden is landscaped to make it pedestrian only as it is imperative that there is safe access for children to the premises. It would also be preferable for cycle parking to be provided prominently at the front. In addition as the adjacent turning head does not have waiting restrictions, a Traffic Regulation Order to install double yellow lines in the turning head would help to reduce congestion caused by parked vehicles and enable vehicles to turn safely. Although in practice it is noted that yellow lines are often ignored near schools, and so nuisance could persist.
22. Staggered start times would smooth out traffic and parking in the locality sufficient to be accommodated with this cul-de-sac. The provision of cycle parking and single car parking space is appropriate for this small business activity. The location of community facilities in local neighbourhoods is vital if working parents are to have the child care services they need locally.

Tree protection officer

23. The protection of the trees and mature shrubs in the neighbour's property is achievable subject to the submission of an arboricultural method statement and protection plan.

Assessment of planning considerations

Relevant development plan policies

24. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS2 Promoting good design
 - JCS5 The economy
 - JCS6 Access and transportation
 - JCS7 Supporting communities
25. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM5 Planning effectively for flood resilience
 - DM7 Trees and development
 - DM11 Environmental hazards
 - DM15 Safeguarding the city's housing stock
 - DM16 Supporting the needs of business
 - DM17 Supporting small business
 - DM22 Planning for and safeguarding community facilities
 - DM28 Encouraging sustainable travel
 - DM30 Access and highway safety
 - DM31 Car parking and servicing

Other material considerations

26. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**

- NPPF0 Achieving sustainable development
- NPPF1 Building a strong, competitive economy
- NPPF4 Promoting sustainable transport
- NPPF7 Requiring good design
- NPPF10 Meeting the challenge of climate change, flooding and coastal change
- NPPF11 Conserving and enhancing the natural environment

Case Assessment

27. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Principle of development

28. Key policies and NPPF paragraphs – DM15, DM22, NPPF paragraphs 7, 19 and 69.
29. The principle of providing an extended child care or early years educational facility on this site, in a residential area with an identified shortfall of home based care facilities for 2 year olds in an area of deprivation is acceptable and would be supported by policy DM22. Specifically it would not undermine the objectives for sustainable development in DM1 in particular by increasing the need to travel by private car.
30. It is noted that there is a facility at Catton grove primary school providing child care facilities for 2 years. However, as the facility only opened in January 2015 and there is no additional evidence that the shortfall in facilities in the area has been resolved, it is still appropriate to consider that there is still a shortfall in the area.
31. Part of the existing house will be lost during the day to accommodate the expanded child minding facility. However, as the facility will revert back to a residential use in the evenings and such an activity is not untypical in a residential area no significant harm on the city housing stock will result, in accordance with policy DM15.

Main issue 2: Transport

32. Key policies and NPPF paragraphs – JCS6, DM28, DM30, DM31, NPPF paragraphs 17 and 39.
33. The site would in effect comprise a mixed use as a dwelling (C3) and a nursery (D1).
34. The local highway authority state that the road can physically accommodate traffic associated with the business although it would be a more intensive use in terms of traffic generation compared to its extant residential use.

35. If approved there could be an approximately 40 additional trips a day by staff and clients; this would be a mix of modes by car or on foot. This is significantly more activity than a residential use, but relatively low for a business.
36. The local highway authority also considers that the street could accommodate the additional traffic, although this concern has been raised by local residents. However community uses such the one proposed can also be perceived as having an acceptable impact on residential areas due to the nature of the use.
37. Officers raised concerns at the outset that use of the site as a day nursery for up to 16 children would result in significantly increased vehicular movements and potential parking demand. The original submission provided 3 parking spaces to the frontage which left very little space for access to the side alley way and front door of the dwelling.
38. The applicant was advised to reduce the car parking to a single space, delivering a more usable space for push chairs or wheel chair users and providing prominent space for cycle stands and hopefully encouraging parents to use sustainable alternatives to the car. It is acknowledged that such parking provision is a concern to residents, especially in light of the incidences of unauthorised parking on the turning head and vehicular movements associated with nearby entrance to the Sure Start car park.
39. However there are a number of factors which would mitigate impacts upon parking. The nature of the use and associated vehicular movements cannot be considered untypical in residential context and only occurring at certain times of the day. Indeed, there are many examples in the city of schools being located in residential areas. In this case the existing Sure Start Centre entrance and secondary access to a primary school are located in close proximity to the site, and generate vehicle and pedestrian movements.
40. The applicant has proposed to phase the drop off and pick up times to spread out any such movements and ensure that they occur outside the drop off / pick up times for the nearby Sure Start facility and primary school. Such a measure could reduce the incidences of unauthorised parking and the number of vehicular movements around the turning head. The local highway authority is of the view that the staggered start and finishing times would have the effect of smoothing out traffic and parking in the locality. It is recommended that the hours of operation and drop of times be conditioned.
41. Furthermore, the remainder of Hunter Road has no parking restrictions so users could choose to park there on a temporary basis whilst dropping off or picking up their child.
42. The applicant proposes that staff would greet parents as they arrive and advise parents to park their cars in a considerate manner. Newsletters would also encourage consideration to surrounding residents. The applicant is also required by condition to prepare a Travel Information Plan which they could use to manage the impacts of the car and also highlight the other sustainable options open to parents such as walking, cycling using the nearby bus network. In addition given the sites location in a residential area, nearby users may travel to site on foot or by cycle, instead of by car.

43. Taking all of the above factors into consideration, the proposals are likely to result in a noticeable change in the amount of traffic movements and demand for parking towards the end of Hunter Road. However this is not considered to result in undue impact upon the local highway network, or excessive disruption to nearby residential occupiers.

Main issue 3: Amenity

44. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
45. The ground floor area is considered to be of an adequate size to accommodate 16 small children and 4 members of staff. Together with access to the large garden to the rear, the site will provide adequate amenity provision to accommodate the existing residential use and new nursery use.
46. It is acknowledged that 16 children and 4 members of staff is a large number of people for a property of this size, potentially increasing the levels of noise currently emitted from the property.
47. The new extension will be constructed using modern methods of construction with insulated cavity walls which will help reduce sound penetration to the adjoining properties. However the original property is relatively old and noise transmission may be greater, potentially having an adverse impact on the occupants of the neighbouring properties. A condition is therefore proposed requiring supplementary details of how noise transmission between the properties is to be reduced to the north and south.
48. It is acknowledged that some residents may work nights and therefore sleep during the day and could be disturbed by noise from children or increased pedestrian and vehicular movements to the frontage of the application and wider street scene.
49. However a higher background noise level during the day, in comparison to the night is unavoidable. The site is also in proximity to a primary school and Sure Start Centre, and a child minding facility currently operates from the dwelling, with children using the garden for outdoor play. In comparison to this existing situation the proposed additional children would not generate such an increase noise levels, that this would detract from residential amenity to a significant degree.
50. In addition conditions are proposed restricting the hours of operation and arrival / departure times of children and limiting a maximum of 8 children in the rear garden at any one time. Furthermore children are likely to be taken for trips to local parks as part of the learning and development, meaning that the property will occasionally be unoccupied or occupied less intensively.
51. The scale of the construction works are typical of the impacts associated with a small householder extension. It is therefore unlikely that any construction activities will cause significant sustained impacts on the amenity of neighbouring properties.
52. As such it considered that the proposals would not result in excessive harm to residential amenity, in accordance with policy DM2.

Compliance with other relevant development plan policies

53. The following matters have been assessed and considered satisfactory and in accordance with relevant development plan policies, subject to appropriate conditions and mitigation, see table below:

Requirement	Relevant policy	Compliance
Cycle storage	DM31	Yes subject to condition
Car parking provision	DM31	No, but see paragraphs 32 - 43
Refuse Storage/servicing	DM31	Yes
Tree issues	DM7	Yes. Concerns with regard to impact on trees within neighbouring gardens are noted. However protection of these trees is feasible subject to conditions
Impact of extension on daylight / sunlight / outlook to adjoining residential properties	DM2	Yes. The proposals would not result in undue loss of daylight / sunlight or outlook to adjoining properties.
Impact on the appearance of the surrounding area.	DM3	Yes. Proposals would not be visible from the public realm and would not harm the appearance of the parent building or surrounding area.
Sustainable urban drainage	DM3/5	Yes. The submission indicates that water butts are to be used with water from the paved area being directed to either an existing soak away or mains sewer. Further details are required to clarify exactly how this will be achieved and that water can be disposed of efficiently.
Sewerage issues		The development is small scale. It would not therefore cause harm to local sewerage infrastructure.

Equalities and diversity issues

54. It is not considered that the proposals would raise any significant equality or diversity issues.

Local finance considerations

55. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance

considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.

56. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
57. In this case local finance considerations are not considered to be material to the case.

Conclusion

58. The acceptability of the proposal is finely balanced. There is a shortfall of home based care facilities in an area which experiences high levels of deprivation. The proposal will contribute to reducing that shortfall, providing a service to the community. It will also assist the applicant's development their small business, therefore contributing to the local economy.
59. However it is acknowledged that the vehicular movements associated with the use may result in parking pressures around the turning head and entrance to the Sure Start facility, resulting in some inconvenience for the residents. Activity as a result of visits to and from the site, and from children's play in the rear garden, would also increase noise levels in the surrounding area. These impacts could be partly mitigated by use of the proposed conditions.
60. Taking all of the above factors into consideration, on balance it is considered that the benefits of the proposals in terms of expanded childcare and education opportunities would outweigh the impacts of the proposals upon the amenity of the surrounding area and potential increased parking pressure. As such the proposals are considered to accord with the aforementioned development plan policies.

Recommendation

To approve application no. 14/01850/F - 49 Hunter Road Norwich NR3 3PY and grant planning permission subject to the following conditions:

1. In accordance with plans
2. Hours of operation
3. Number of children and staff
4. Phasing of child play in the rear garden
5. Submission of a travel information and parking management plan
6. Details of noise suppression measures
7. Submission of an arboricultural method statement and tree protection plan
8. Details of SUDs to be submitted for approval
9. Four Sheffield cycle stands to the frontage to be installed prior to commencement
10. Cycle storage to the rear to be made available prior to commencement

Article 31(1)(cc) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national

planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined above.

Report to Planning applications committee

26 February 2015

Report of Head of planning services

Subject Application no 14/01798/F - 19 The Avenues
Norwich, NR2 3PH

Applicant Mr James Jones

Reason for referral Objection and called in by an elected member

Item

4(F)

Ward:	Nelson
Case officer	John Dougan - johndougan@norwich.gov.uk

Development proposal		
Erection of two-storey side/rear extension and single-storey front and rear extension.		
Representations		
Object	Comment	Support
2	0	1

Main issues	Key considerations
1 Scale and design	Character of the area, visual amenities of the street scene and appearance of the new property
2 Residential amenity	The impact of the development on adjoining properties to the west (no.21) and east (no.17) – overlooking / privacy, outlook and sunlight / daylight.
Expiry date	29 January 2015 (extended to 27 February)
Recommendation	Approval

The site and surroundings

1. The character of the area is residential, comprising large two-storey detached dwellings of varied styles on large plots fronted by street trees with many properties having mature landscaping within them. Some dwellings are in close proximity to their side boundaries. The properties benefit from playing fields to the rear and Heigham Park on the opposite side of the road.
2. It is noted that the adjoining property to the west is a locally listed building described as a good representative example of a 1930's two-storey detached dwelling, key features being the hipped roof profile, over-sailing eaves, red brick walls, sash windows and central entrance door.
3. The existing dwelling on the plot is a two-storey white render dwelling, of smaller scale compared to the larger dwellings evident on the street, some of which have two-storey elevations in relatively close proximity to the boundary. With the above in mind, the site has the capacity to accommodate significant additions and alternations, making the property more reflective of the other larger examples on the street.

Constraints

4. Critical drainage area (DM5).

Relevant planning history

5. None

The proposal

6. Erection of a single / two storey extension to the side and rear in red brick including retention of the yew and beech hedge along the east boundary. It should be noted that the application has been revised following its submission. The extension has been reduced in width and set 1m further away from the boundary (so that it is now 2.8m from the boundary). The two-storey element of the rear extension has been reduced in depth by 1 metre and the ridge height of the two-storey extension has been reduced by 0.65 metres.

Summary information

Proposal	Key facts
Scale	
No. of storeys	Single and two-storey
Max. dimensions	See attached site plan and elevations
Appearance	
Materials	Red brick

	Red clay clay pan-tiles
Transport matters	
Vehicular access	As existing

Representations

7. Adjacent and neighbouring properties have been notified in writing. The application was also subject to a further period of consultation. 3 letters of representation have been received citing the issues as summarised in the table below. All representations are available to view in full at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Issues raised	Response
Not appropriate to the character of the area and setting of the local listed building	See main issue 1
The extension is of a scale and design which is inappropriate and will compromise the visual amenities of the street scene.	See main issue 1
<p>The revised proposal is still uniquely intrusive in the context of the neighbourhood and the scale is very different to all others.</p> <p>There are 20 other houses on the street and no other extensions have been approved on the east side let alone a rear extension.</p> <p>The current proposal would leave a much smaller gap than is typical in the street.</p>	See main issue 1
<p>Loss of light and direct sunlight to our ground floor kitchen/dining room, study utility room, upstairs bedroom and garden (no.17).</p> <p>The extension will prevent the setting sun in summer from reaching my conservatory impacting on quality of life (no.15)</p>	See main issue 2
The extension is of a scale which will appear oppressive (no.17)	See main issue 2
Loss of privacy of our main living areas and garden (no.17)	See main issue 2
Impact on the existing yew hedge contributes to the character of the area (no.17)	See main issue 2 and other issues section

The extension could compromise our utilities which run along the east boundary (no.17)	See paragraph 52
<p>The revised plans do not go far enough in making the proposal acceptable. We have provided a photograph to show that the extension will grossly overshadow our living area from area (no.17)</p> <p>Furthermore, the sunlight lies northwest in the summer afternoons / evening so the rear extension would reduce sunlight reaching houses to the east</p>	See main issue 2
<p>Letter of support:</p> <ul style="list-style-type: none"> • The extension is proportionate to the size of the plot and in keeping with the houses in the area • As the property was previously rented it suffered from lack of care. The proposal will improve the aesthetics of the area. • It is pleasing to see a young family in the area and it is fully expected that they would wish to improve and extend it. 	See main issue 2

Other responses

8. Cllr Denise Carlo – Residents (no.15 and no.17) have expressed concern about the impact of the development on their amenity. Does the council meet the 45 degree and 21.3 metres separation standards, taken from the Cannock Chase District Council design guide, as referred to in previous Norwich City Council committee report?

Consultation responses

9. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Tree protection officer

10. The protection of the yew hedge is feasible subject to condition.

Assessment of planning considerations

Relevant development plan policies

11. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
12. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM5 Planning effectively for flood resilience
 - DM7 Trees and development
 - DM9 Safeguarding Norwich's heritage

Other material considerations

13. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
 - NPPF0 Achieving sustainable development
 - NPPF6 Delivering a wide choice of high quality homes
 - NPPF7 Requiring good design
 - NPPF10 Meeting the challenge of climate change, flooding and coastal change
 - NPPF11 Conserving and enhancing the natural environment
 - NPPF12 Conserving and enhancing the historic environment

Case Assessment

14. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Design

15. Key policies and NPPF paragraphs – JCS2, DM3, DM9, NPPF paragraphs 9, 17, 56 and 60-66.
16. The character of the area is residential comprising large two-storey detached dwellings of varied styles on large plots fronted by street trees with many properties having mature landscaping within them. It is noted that that the adjoining property to the west is a locally listed building described as a good representative example

of a 1930's two-storey detached dwelling, key features being the hipped roof profile, over-sailing eaves, red brick walls, sash windows and central entrance door.

17. The existing dwelling on the plot is two-storey white render dwelling but of a smaller scale compared to the larger dwellings evident on the street, many of which have two-storey elevations in relatively close proximity to the boundary. With the above in mind, the site has the capacity to accommodate significant additions and alternations, making the property more reflective of the other larger examples on the street.
18. The original submission was considered to result in a well-balanced frontage, which was of a scale and positioning within the site which was typical of other examples on the street and respecting the spatial characteristic between its self and the adjoining properties to the west and east.
19. That being said, the applicant was invited to reduce the scale of the extension to reduce any amenity impacts on the adjoining property to the east (no.17). The reduction of the width of the extension resulted in an improvement to the original submission increasing the spatial characteristics between the new building and the dwelling in no.17. This reduction in width would also have the effect of reducing the prominence of the side extension in the context of the original gabled ended frontage.
20. The choice of red brick will help define the new addition from the white render frontage, helping enhance the original gable profile and also reflecting the brick used on other examples in the street e.g. nos. 15 and 21. It is recommended that the choice of brick be conditioned, ensuring that they are sympathetic to the bricks on the locally listed building to the west. Replicating the red clay pan-tiles will help deliver a sympathetic transition with the original roof.
21. The retention of the mature yew hedge along the east boundary alongside the street trees will also have a further mitigating effect of softening the appearance of the new extension in the street scene.
22. It is not accepted that the extension would be uniquely intrusive or of a scale and layout which would compromise the character of the area and the visual amenities of the street scene. Specifically, the spacing between other properties in the street is very varied, their being examples of two-storey buildings being in close proximity to the boundary e.g. the adjoining property to the west (no.21). The revised proposals would ensure a sense of openness between adjoining dwellings when viewed from the street. Views of rear gardens and trees beyond would be retained, ensuring the proposals would not conflict with the character of the surrounding area.
23. In conclusion, the extension will result in a well-proportioned dwelling which is sympathetic to the character of the area, still delivering adequate spacing to the boundary which respects the visual amenities of the street scene and the setting of the locally listed building to the west.

Main issue 6: Amenity

24. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.

25. The key areas of consideration in this application are potential impacts in terms of overlooking and loss of privacy, overshadowing of gardens and loss of daylight, sunlight and outlook to windows of adjoining properties. The nearest potentially affected properties in relation to these issues are no.21 to the west and no.17 to the east.

Overlooking and privacy.

26. There are no new windows which directly face to the west, so no significant impacts on no.21 will result.
27. There are no first floor windows to the new east elevation but two new ground floor windows serving a utility room and WC which are opposite 2 no. ground floor windows and a door serving no.17's utility room and study. The applicant has confirmed that both windows and the door to this elevation will be of obscure glazing. Furthermore, as there is a mature yew hedge between both sets of windows, no significant overlooking of no. 17's utility room will result. To ensure continued privacy for both properties, it is recommended that a condition be added requiring that the yew hedge be retained and the ground floor windows be of obscure glazing.
28. The proposals include a new first floor window serving bedroom 3. As the window is offset 3.7 metres from the east boundary and north facing, no significant additional loss of privacy of no.17's rear amenity area will result.
29. Comments from Cllr Carlo refer to separation distance standards from Cannock Chase District Council, which were mentioned within previous Norwich City Council reports. The policies and guidance of other councils are not material to the consideration of this application. However such standards are generally devised from the "Site layout planning for daylight and sunlight: a guide to good practice" (Building Research Establishment (BRE) 2011) which is often used as a guide within the English planning system.
30. Separation distances mentioned in this guidance relate to separation distances between the rear elevations of proposed dwellings, in order to prevent overlooking. Such standards are not applicable in this case as the proposals are for a side / rear extension, which does not have any side facing windows at first floor level facing adjoining properties.

Daylight / Sunlight / Overshadowing

31. The proposals are not considered to result in loss of daylight to the rear facing windows of nos.17 and 21, as it is set in from the boundary and does not project a significant distance beyond the rear elevations of these neighbouring properties. Potential impact upon daylight received by rooflights of the rear extension at no.17 is noted. It should also be noted that these rooflights are secondary windows, which light a room which also receives daylight from other unobstructed windows. In addition the proposed extension is a sufficient distance from these rooflights to ensure that no undue loss of daylight to these rooflights would occur.
32. Concerns are noted with regard to the impact of the proposals upon windows within the side elevation of no.17. In particular that they would be contrary to the '45 degree line' standards used by other councils.

33. As noted above such standards are derived from BRE guidance, which states that extensions which intersect a 45degree line taken in both plan and elevation from the affected windows could result in loss daylight. It is accepted that the proposals would not meet this BRE guideline. However in this case the potentially affected windows are sited in the side elevation of the dwelling in close proximity to the site boundary, and daylight is already obstructed by the existing boundary hedge. The BRE document recognises that in these unusual situations, given the proximity of the windows to the boundary and its outlook towards the neighbouring site, daylight to these windows cannot be protected to the same degree as rear facing windows.
34. In addition the BRE guidelines also note that windows to non-habitable rooms such as bathrooms and utility rooms should not receive the same protection as main living spaces. Furthermore the revised proposals setting back the development from the boundary with no.17 has further reduced any potential loss of daylight to this property. Given the above factors it is considered that the proposals would not result in undue loss of daylight to neighbouring properties.
35. In terms of sunlight, the rear windows of nos.15, 17 and 21 are north facing and receive little sunlight in the existing situation. The proposals would not result in any significant reduction in sunlight to adjoining windows, or overshadowing of adjoining gardens, in comparison to the shadow already cast by the existing buildings on site and by adjoining buildings.
36. It is not accepted that the two-storey element would result in significant overshadowing of no.15's conservatory or west facing windows due to the fact that a large proportion of the addition is set behind no.17 and is approximately 18 metres from no.15's west elevation.

Outlook

37. The extension will be apparent when viewed from no.17. However the revised proposal in the form of increased distance (3.6m) between the two dwellings, reduction in ridge height and reduced projection of the rear element reduces the massing of the overall massing of the proposal. These changes in conjunction with the retention of the mature yew hedge will mean that the side element of the proposal will not appear significantly overbearing when viewed from the ground floor windows serving no.17's utility room and study or rear garden.

Compliance with other relevant development plan policies

38. A number of development plan policies include key targets for matters such as parking provision and energy efficiency. The table below indicates the outcome of the officer assessment in relation to these matters.

Requirement	Relevant policy	Compliance
Sustainable urban drainage	DM3/5	39. Yes subject to condition. As the site is within a critical drainage area, consideration needs to be given to surface water run-off. It is likely that suitable sustainable urban drainage system is feasible for a development of this scale. However, it is recommended that a

		suitable system be secured by condition.
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Equalities and diversity issues

40. There are no significant equality or diversity issues.

Local finance considerations

41. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
42. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
43. In this case local finance considerations are not considered to be material to the case.

Conclusion

44. The proposal will result in a dwelling which is reflective of the varied design styles and position evident in area, being sympathetic to the character of the area and the visual amenities of the street scene.
45. The extension will result in some loss of daylight to the side windows of the adjoining property to the east. However the revised proposals have significantly reduced amenity impacts. When site specific circumstances are considered, the proposals would not result in an undue loss of daylight, sunlight or outlook to neighbouring properties.
46. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

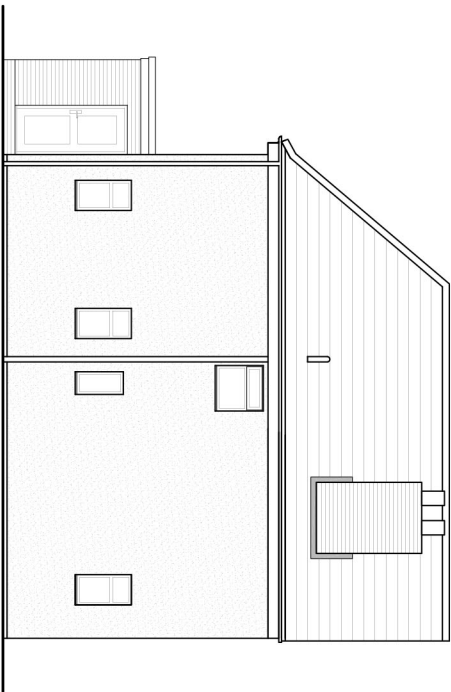
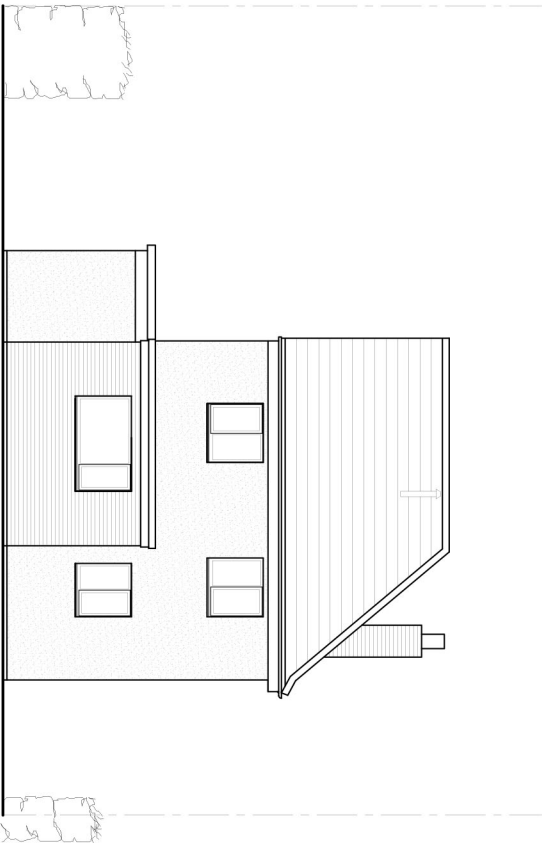
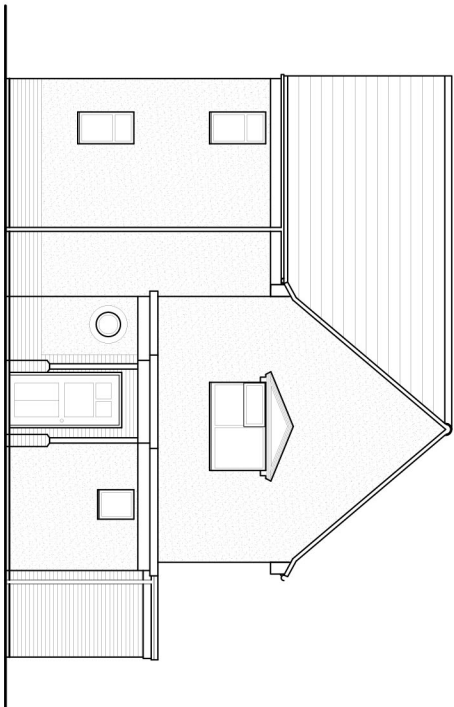
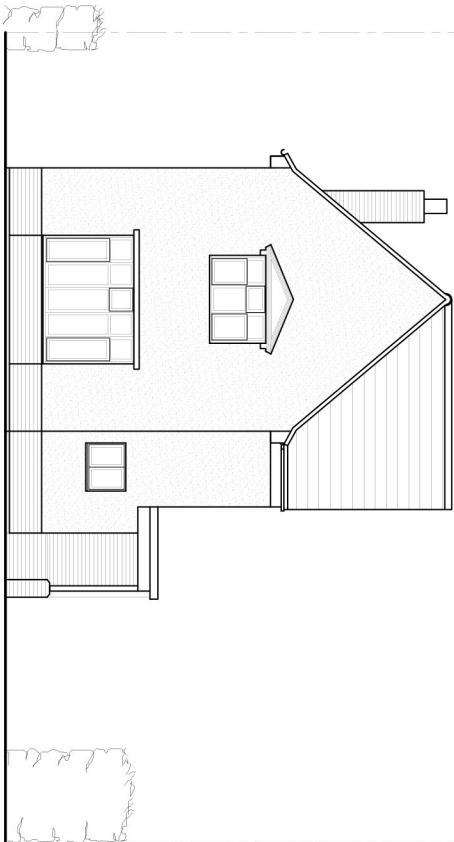
Recommendation

To approve application no. 14/01798/F - 19 The Avenues Norwich NR2 3PH and grant planning permission subject to the following conditions:

1. Standard time limit
2. In accordance with plans
3. Brick samples to be submitted for approval.
4. Yew hedge along the east boundary to be retained
5. All ground floor windows to the east elevation of the extension to be of obscure glazing
6. Details of sustainable urban drainage

Article 31(1)(cc) statement

The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations, following negotiations with the applicant and subsequent amendments the application has been approved subject to appropriate conditions and for the reasons outlined above.



P2	22.01.15	MINOR CORRECTIONS, DETAIL ADDED	MPF	CND
P1	22.08.14	PRELIMINARY ISSUE ONLY	MPF	
REV	0488	0488	by	revise

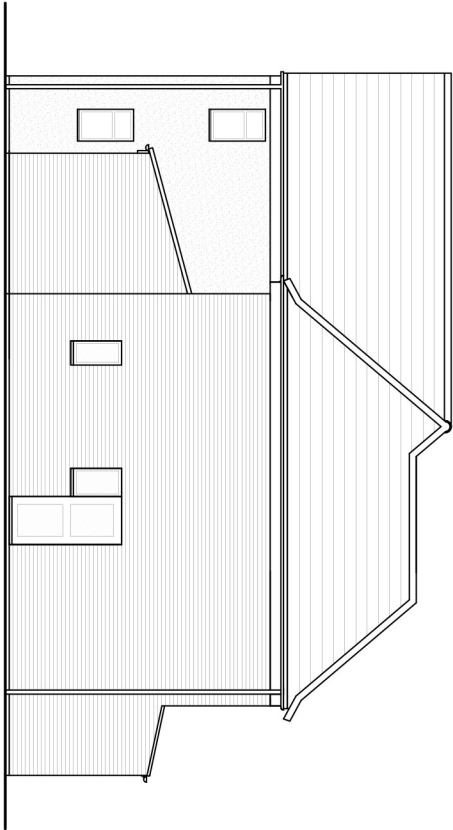
DRAWN		PROJECT	
MR J JONES		19 THE AVENUES, NORWICH	
		NR2 3PH	
PROJECT		1:50	
EXISTING ELEVATIONS		204458-02	



PROPOSED FRONT ELEVATION (SOUTH)

SCALE 1:50

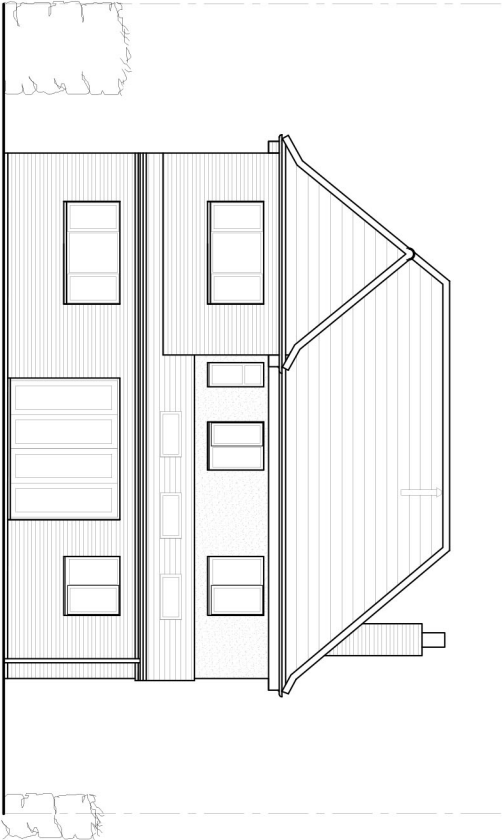
NOTE: NO ALTERATIONS
TO BOUNDARY
TREATMENTS EXISTING
THES KNUX HEDGES
ALREADY MARKED



PROPOSED SIDE ELEVATION (EAST)

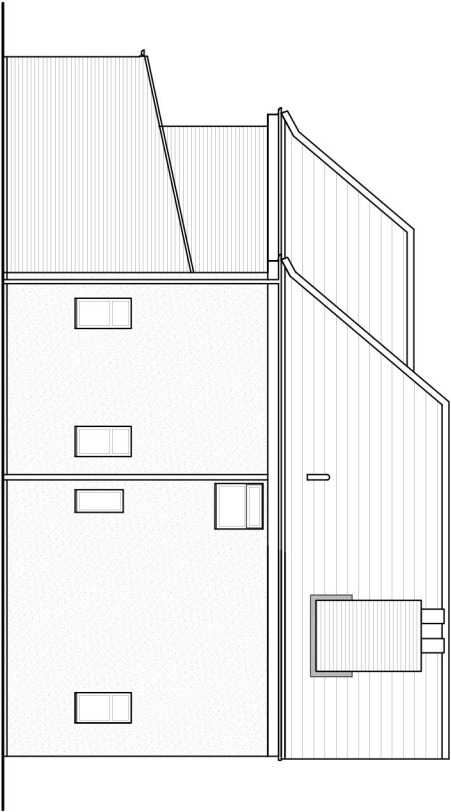
SCALE 1:50

OBSCURED GLAZING TO
PROPOSED DOOR AND
WINDOW



PROPOSED REAR ELEVATION (NORTH)

SCALE 1:50



PROPOSED SIDE ELEVATION (WEST)

SCALE 1:50



P6	23.01.14	EXTENSION SIZE REDUCED. DETAILS ADDED	MPP	client	MR J JONES	project	19 THE AVENUES, NORWICH NR2 3PH
P5	01.12.14	MINOR REVISIONS	MPP				
P4	06.11.14	MINOR REVISIONS	MPP				
P3	09.10.14	REVISED TO CLIENT COMMENTS	MPP				
P2	01.09.14	PRELIMINARY ISSUE ONLY	MPP				
P1	22.08.14	PRELIMINARY ISSUE ONLY	MPP				
REV	0608		by	checked			

CCJ AT 1915 L20 DRAWING NOT TO BE HAND REVERSED OR SCALING IN 2D/3D/360						
client	design	checked	scale	date	drawn	204458-04
MPP	1:50@A1	08.14				

PROPOSED ELEVATIONS	19 THE AVENUES, NORWICH NR2 3PH
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GARAGE

-GRASS-

-PAVING-

-PAVING-

-GRAVEL-

FENCE

BOUNDARY FENCE & LAUREL HEDGE

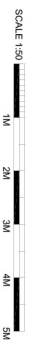
-GRAVEL DRIVE

YEW HEDGE

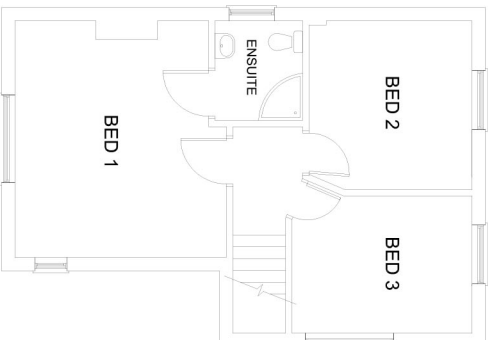
BOUNDARY FENCE

BAY 3.5m

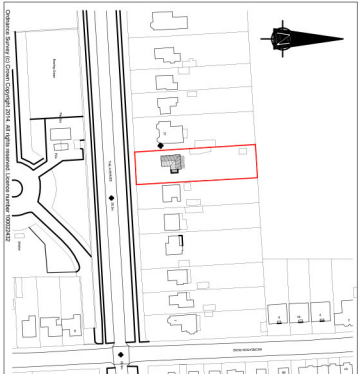
EXISTING GROUND FLOOR PLAN
SCALE 1:50



17 THE AVENUES



EXISTING FIRST FLOOR PLAN
SCALE 1:50



SITE LOCATION PLAN
SCALE 1:1250



EXISTING SITE PLAN
SCALE 1:500

P2	22.01.15	DETAIL ADDED	MPF	CND
P1	22.08.14	PRELIMINARY ISSUE ONLY	MPF	
REV	date	details	by	checked

DRAWN		MR J JONES		PROJECT		19 THE AVENUES, NORWICH	
CHECKED				DATE		NR2 3PH	
EXISTING PLANS				SCALE		1:50 @ A108.14	
PROJECT NUMBER				PROJECT NAME		204458-01	



Canham Consulting Ltd
The Old School, School Lane, Norwich
NR2 3PH
Tel: 01603 610000 Fax: 01603 610001
Email: info@canham.co.uk
Website: www.canham.co.uk

Structural Engineers

Civil Engineers

Building Surveys

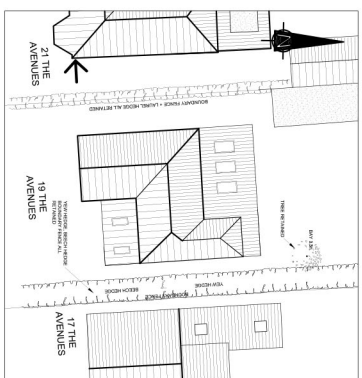


PROPOSED SITE PLAN
SCALE 1:500

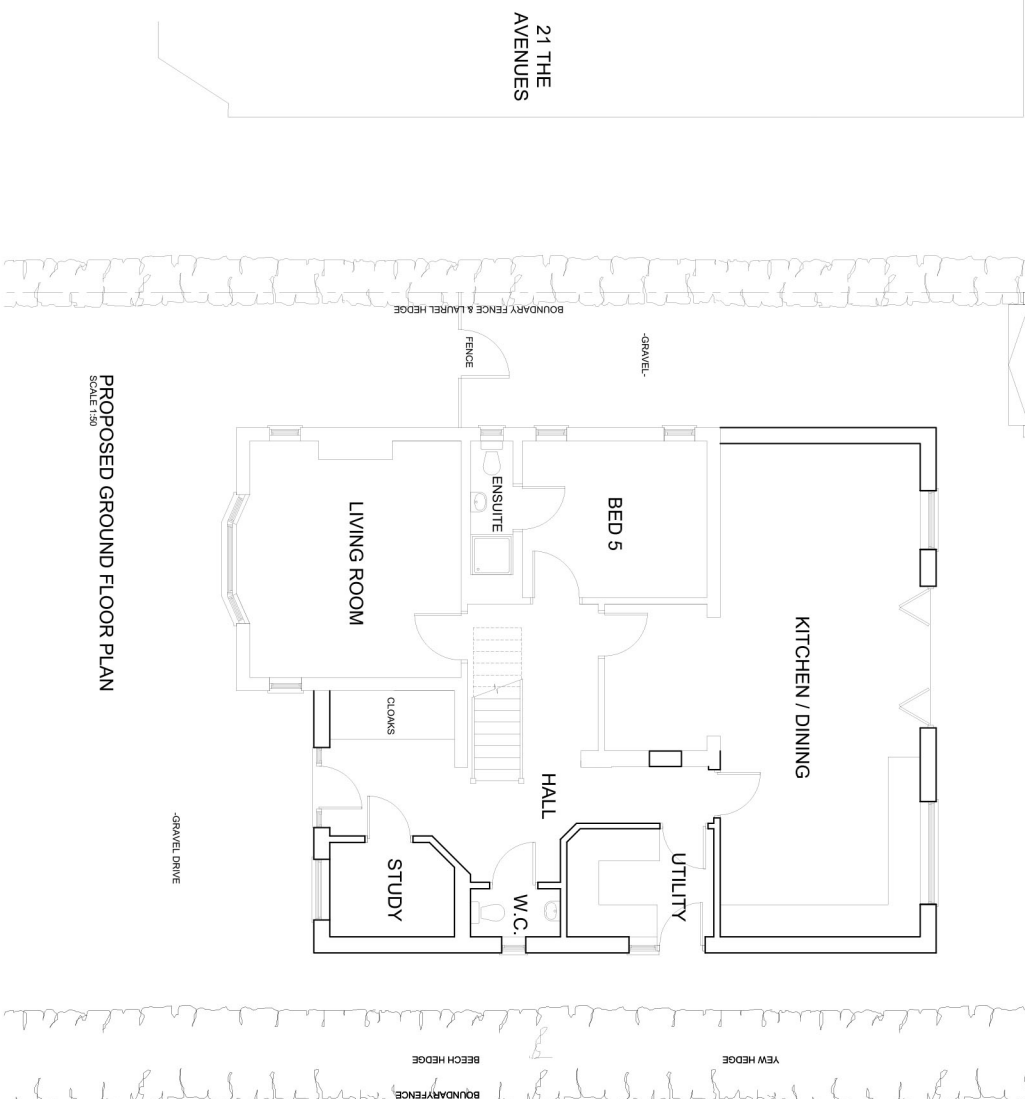


PROPOSED SITE PLAN

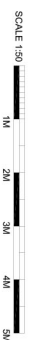
SCALE 1:200



NOTE: NO ALTERATIONS
TO BOUNDARY
TREATMENTS EXISTING
TREES AND HEDGES
ALL RETAINED



PROPOSED GROUND FLOOR PLAN
SCALE 1:50



PROPOSED FIRST FLOOR PLAN
SCALE 1:50

P3	23.01.14	EXTENSION SIZE REDUCED. DETAILS ADDED	MPF	
P2	01.09.14	PRELIMINARY ISSUE ONLY	MPF	
P1	22.08.14	PRELIMINARY ISSUE ONLY	MPF	
rev	date	details	by	checked

client	project
M R J JONES	19 THE AVENUES NORWICH NR2 3PH
proposed plans	
NO	
PROPOSED PLANS	
FROM ARCHITECT	
C/L A 1015 C/O DRAWING NOT TO BE HAND MOVED OR SIGNED IF IN DOUBT ASK drawing	204458-03
MPF	1:50@A1 08.14

Report to

Planning applications committee

Item

26 February 2015

Report of

Head of planning services

SubjectApplication no 14/01814/F - 52 Arnold Miller
Road Norwich NR1 2JH**Applicant**

Mr and Mrs Little

Reason for referral

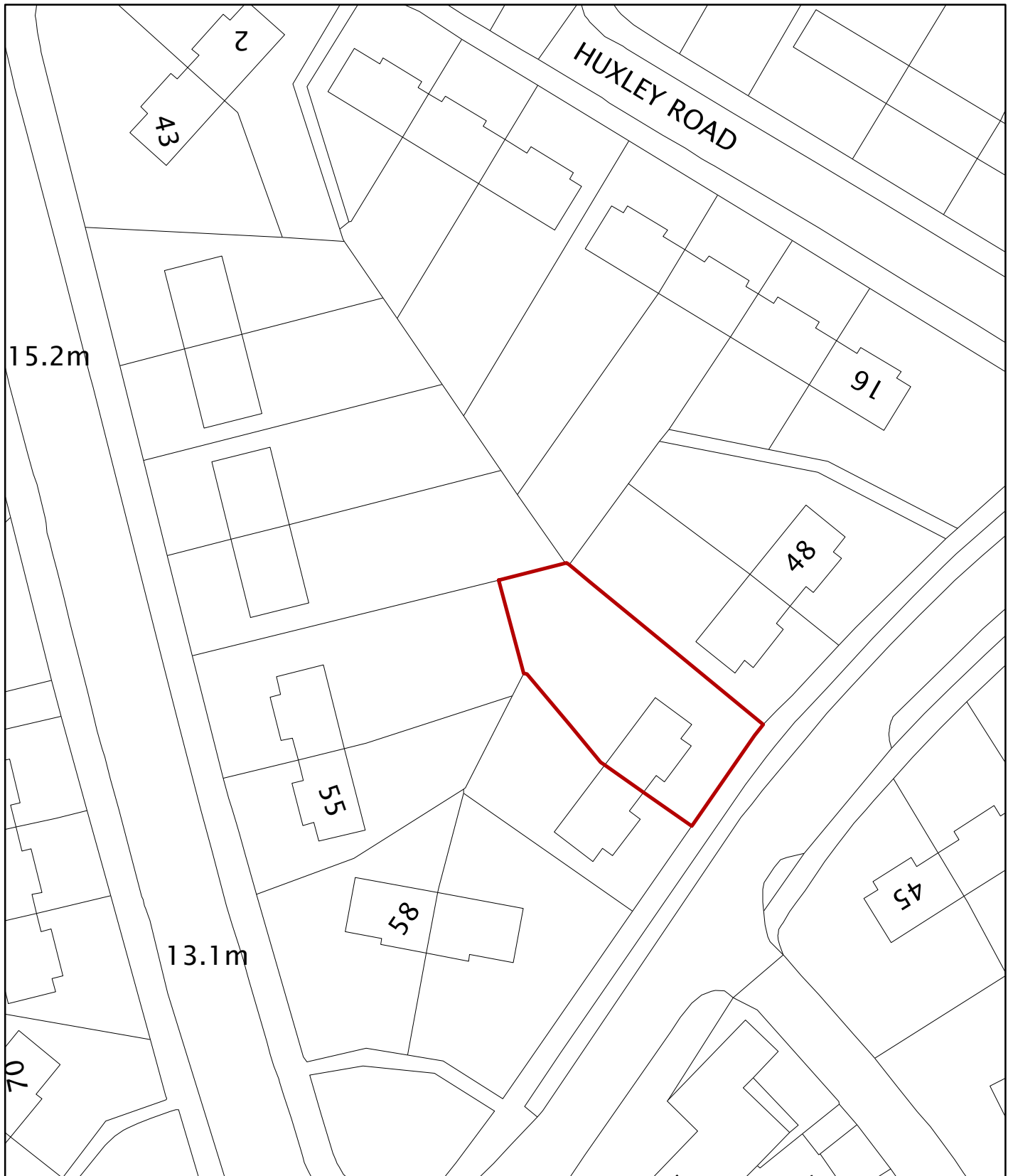
Member application

4(G)

Ward:	Lakenham
Case officer	Mr John Dougan - johndougan@norwich.gov.uk

Development proposal		
Erection of single and two storey rear extension.		
Representations		
Object	Comment	Support
0	0	0

Main issues	Key considerations
1 Scale and design	Character of the area, visual amenities of the street scene and respecting the appearance of the parent dwelling
2 Residential amenity of neighbouring properties	Privacy, overshadowing / daylight and outlook
Expiry date	12 February 2015
Recommendation	Approval



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Planning Application No 14/01798/F

Site Address 52 Arnold Miller Road

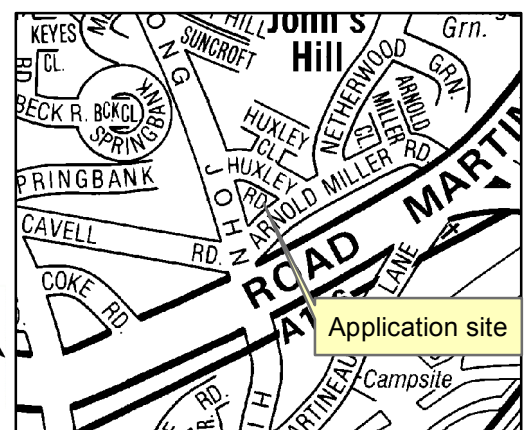
Scale 1:500



NORWICH
City Council

PLANNING SERVICES

Page 98 of 104



The site and surroundings

1. The area is residential comprising two-storey semi-detached dwellings on large plots.
2. The application site is one two semi-detached dwellings with a garden to the front and large garden to the rear.

Constraints

3. None

Relevant planning history

4. None

The proposal

5. This is an application by Councillor Little for the erection of a single and two storey extension to the rear

Summary information

Proposal	Key facts
Scale	
No. of storeys	Single and two storey
Max. dimensions	The two storey extension projects 3.2 metres to the rear and is 4 metres from the north east boundary
Appearance	
Materials	As existing

Representations

6. Adjacent and neighbouring properties have been notified in writing. No letters of representation have been received.

Consultation responses

7. Consultation responses are summarised below the full responses are available to view at <http://planning.norwich.gov.uk/online-applications/> by entering the application number.

Tree protection officer

8. No significant arboricultural implications

Assessment of planning considerations

Relevant development plan policies

9. **Joint Core Strategy for Broadland, Norwich and South Norfolk adopted March 2011 amendments adopted Jan. 2014 (JCS)**
 - JCS1 Addressing climate change and protecting environmental assets
 - JCS2 Promoting good design
10. **Norwich Development Management Policies Local Plan adopted Dec. 2014 (DM Plan)**
 - DM1 Achieving and delivering sustainable development
 - DM2 Ensuring satisfactory living and working conditions
 - DM3 Delivering high quality design
 - DM7 Trees and development

Other material considerations

11. **Relevant sections of the National Planning Policy Framework March 2012 (NPPF):**
 - NPPF7 Requiring good design
 - NPPF11 Conserving and enhancing the natural environment

Case Assessment

12. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Relevant development plan policies are detailed above. Material considerations include policies in the National Planning Framework (NPPF), the Councils standing duties, other policy documents and guidance detailed above and any other matters referred to specifically in the assessment below. The following paragraphs provide an assessment of the main planning issues in this case against relevant policies and material considerations.

Main issue 1: Design

13. Key policies and NPPF paragraphs – JCS2, DM3, NPPF paragraphs 9, 17, 56 and 60-66.
14. The principle of extending an existing residential dwelling is acceptable provided that it would not detract from the appearance of the parent building or surrounding area. The development is to the rear of the property, having a minimal impact on the visual amenities of the street scene.
15. Both the single and two storey additions are subordinate in both height and footprint and matching materials, ensuring that it will be sympathetic to the appearance of the original dwelling, in accordance with aforementioned policies.

Main issue 2: Amenity

16. Key policies and NPPF paragraphs – DM2, DM11, NPPF paragraphs 9 and 17.
17. The nearest residential properties adjoin to the north and south.

18. The southern element of the extension is single storey and set back from the boundary ensuring that it will not appear oppressive or result in significant overshadowing of the adjoining property to the south.
19. The application site is lower than the adjoining property to the north. The two-storey extension projects a modest 3.2 metres in depth and is set back from the boundary by 4 metres. It would not therefore result in significant overshadowing or loss of outlook to this property.
20. The new bedroom will be served by a first floor window. However, as the window is offset to the boundary by 4.5 metres no significant direct overlooking of the dwelling to the north will result.

Other matters

21. The development is 4 metres away from the boundary hedge to the north with no significant trees in close proximity to the excavation area. Therefore no adverse impact on those features is expected.

Equalities and diversity issues

22. There are no significant equality or diversity issues.

Local finance considerations

23. Under Section 70(2) of the Town and Country Planning Act 1990 the council is required when determining planning applications to have regard to any local finance considerations, so far as material to the application. Local finance considerations are defined as a government grant or the Community Infrastructure Levy.
24. Whether or not a local finance consideration is material to a particular decision will depend on whether it could help to make the development acceptable in planning terms. It would not be appropriate to make a decision on the potential for the development to raise money for a local authority.
25. In this case local finance considerations are not considered to be material to the case.

Conclusion

26. The extension is of scale and design which is appropriate to the character of the area and is sympathetic to the appearance of the original dwelling and amenities of neighbouring properties.
27. The development is in accordance with the requirements of the National Planning Policy Framework and the Development Plan, and it has been concluded that there are no material considerations that indicate it should be determined otherwise.

Recommendation

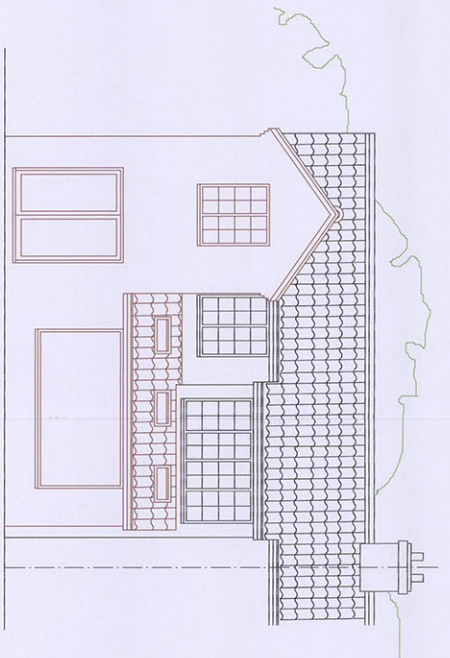
To approve application no. 14/01814/F - 52 Arnold Miller Road Norwich NR1 2JH and grant planning permission subject to the following conditions:

1. Standard time limit;

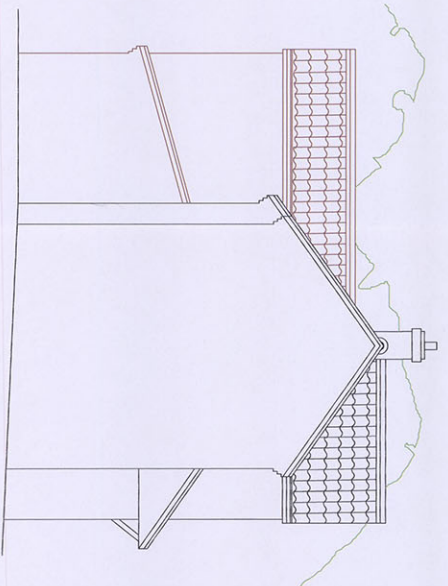
2. In accordance with plans;

Article 31(1)(cc) statement

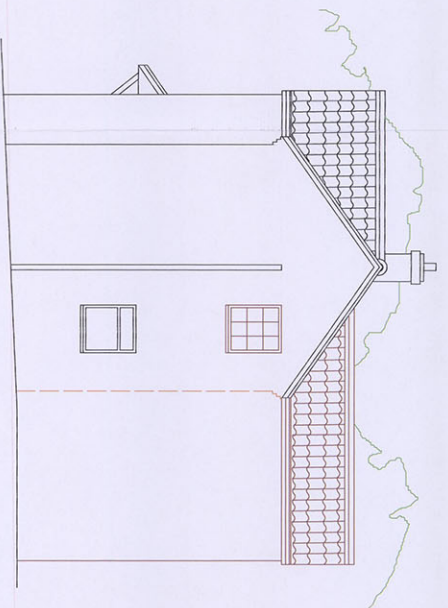
The local planning authority in making its decision has had due regard to paragraph 187 of the National Planning Policy Framework as well as the development plan, national planning policy and other material considerations and has approved the application subject to appropriate conditions and for the reasons outlined above.



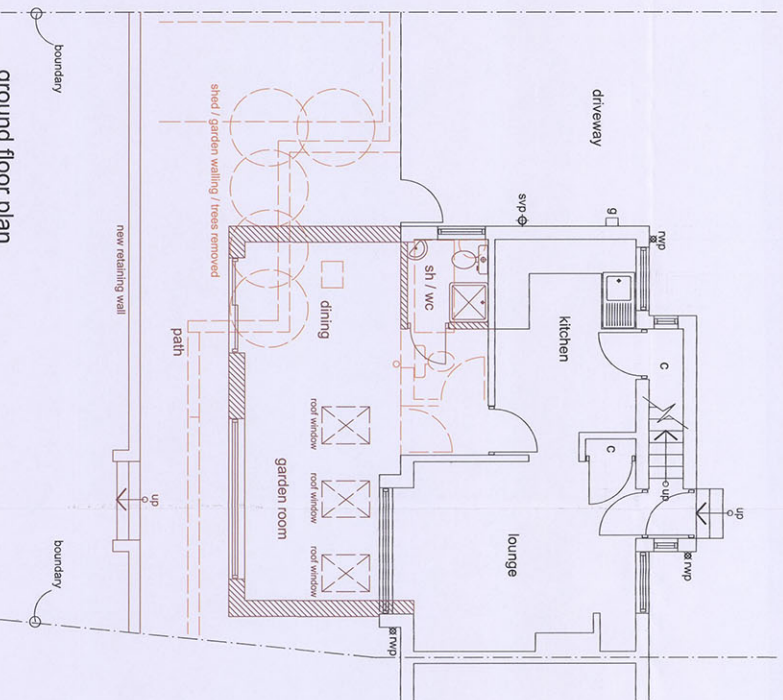
rear elevation



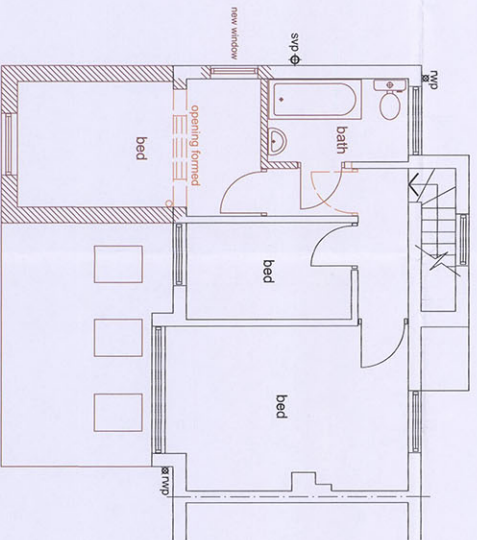
side elevation



side elevation



ground floor plan



first floor plan

Operational Development
09 DEC 2014
Preliminary

existing retained
existing demolished
proposed

CHITECTURAL DESIGN

ALAN RAWLINGS

alanarchdesign@btinternet.com
01362 658151

Scale: 1:50
Date: 06/12/14

Client	Mr and Mrs Little	Project	Proposed extension / alterations
Drawing	52 Arnold Miller Road Norwich	Dwg no	738 / 05
Date	06 / 12 / 14	Scale	1 : 50 @ A1

